



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

September 20, 2022

**Project Name**  
Foley Equipment

**Docket #12**

**Request**  
CD-CPC-2022-00132  
Rezoning to UR/MPD

**Applicant**  
Perla Diosdada  
Kimley-Horn

**Owner**  
Craig Highfall  
Foley Equipment

Location 5701 E. 87th St  
Area About 30.26 acres  
Zoning UR  
Council District 5<sup>th</sup>  
County Jackson  
School District Hickman Mills 140

**Surrounding Land Uses**  
**North:** B3-2, B4-2, and UR, commercial and multi-family uses.  
**South:** UR, undeveloped land and rock quarry  
**East:** Interstate 435  
**West:** UR, rock quarry

**Major Street Plan**  
E 87th Street is classified as a four-lane thoroughfare requiring between 100-120 ft of right-of-way. No additional right-of-way dedication for E 87th Street is required.

**Land Use Plan**  
The Hickman Mills Area Plan recommends Commercial and Open Space/Buffer land use for the subject property.

## APPROVAL PROCESS



## PROJECT TIMELINE

The application for the subject request was filed on 07/29/2022. Scheduling deviations from 2022 Cycle Q have occurred.

- The case was continued from 09/06/2022 to 09/20/2022 per the applicants request.

## NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

There are no registered neighborhood or homes associations tied to the subject site.

## REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. "Applicant hosted a meeting on 08/24/2022. A summary of the meeting is attached to the staff report, see Attachment #3.

## EXISTING CONDITIONS

The 30.26-acre site is currently home to the Foley Equipment facility located at the southwest corner of I435 and E. 87<sup>th</sup> Street.

## SUMMARY OF REQUEST + KEY POINTS

A request to approve a major amendment to an approved UR (Urban Redevelopment) Development Plan to construct two buildings and a fuel island on about 30.26 acres generally located at E. 87th Street and Interstate 435.

## CONTROLLING + RELATED CASES

CD-CPC-2020-00058 – approval of a major amendment to a previously approved UR Plan per Ordinance No. 130144 to include stream re-alignment, a larger building to the west in the future, and building additions to the existing building on Lot 1 was approved by the CPC on June 1<sup>st</sup>, 2021 (Ordinance No. 210501).

CD-AA-2021-00105- approval of a UR final plan to amend the proposed orientation of the proposed building on Lot 2 and the defined layout of the employee parking.

## PROFESSIONAL STAFF RECOMMENDATION

Docket #12 Recommendation  
Approval with Conditions

**PLAN REVIEW**

Foley Equipment Company, located on the southwest corner of E. 87<sup>th</sup> Street and Interstate 435 is proposing a new "Return to Rent" (RTR) building, a new trench storage building, a new fuel island and additional concrete pavement on the site. Due to the large size of the overall site the above-mentioned buildings, fuel island and expansion of impervious surface area triggers a "major amendment" according to the Zoning and Development Code. The proposed development complies with the general operations and daily activities of what currently occurs at the Foley site. The applicant is also illustrating a future 8,000 square foot building addition on the west side of building #1. The applicant has submitted the approved landscape plan which was previously approved by the City Plan Commission on June 16, 2021 (Case No. CD-CPC-2020-00058).

**PLAN ANALYSIS**

The proposed industrial buildings and uses and permitted and the architectural materials and style match the existing buildings located on this site. The applicant will provide color elevations when they apply for their UR final plan prior to receiving a building permit. The proposed plan is not making any changes to the previously approved landscape plan. The existing landscape plan is primarily focused along the southside of E. 87<sup>th</sup> Street.

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes	
Outdoor Lighting Standards (88-430)	Yes	Yes	
Sign Standards (88-445)	Yes	Yes, subject to conditions	All signage shall comply with 88-445.
Pedestrian Standards (88-450)	Yes	Yes	

**SPECIFIC REVIEW CRITERIA****Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**

The plan complies with all standards of the Code and all other applicable city ordinances and policies.

**B. The proposed use must be allowed in the district in which it is located;**

The proposed uses of the additional buildings and accessory uses to be constructed comply with the permitted uses of the existing UR (Urban Redevelopment) controlling plan.

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

The plan as proposed does allow for safe, efficient and convenient movement of traffic not only within the site but also along E. 87<sup>th</sup> Street.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

The proposed plan provides safe and efficient pedestrian and bicycle movement along E. 87<sup>th</sup> Street.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

The plan does provide for adequate utilities based on City standards.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The proposed buildings are of the same material and style of the existing buildings currently located on site.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The applicant shall provide consistent screening with shrubs of at least 4' in height along E. 87<sup>th</sup> Street.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The overall site and uses found within it was previously approved by Council and does comply with City requirements.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

No trees will be removed.

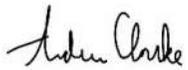
**ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

**PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **APPROVAL WITH CONDITIONS** as stated in the conditions report.

Respectfully Submitted,



Andrew Clarke  
Staff Planner



## Plan Conditions

Report Date: September 15, 2022

Case Number: CD-CPC-2022-00132

Project: Foley Equipment

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*Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / Andrew.Clarke@kcmo.org with questions.*

1. All dumpster, mechanical and utility equipment shall be screened pursuant to 88-425-08.
2. That all signage shall conform to 88-445 and shall require a sign permit prior to installation.
3. That Ordinance No. 210455, including all conditions provided therein, shall remain in full force and effect.
4. That the developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
5. The developer must include the approved landscape plan with revised plans prior to receiving a building permit.
6. The developer shall secure approval of a UR final plan from Development Management Division staff prior to building permit.
7. The applicant shall provide color elevations including details of building materials prior to ordinance request.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

8. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
9. Fire hydrant distribution shall follow IFC-2018 Table C102.1 and shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)
10. Required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) and Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5). Required fire department access roads shall be designed to support a fire apparatus with a gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
11. Security gates which span across a fire access road shall provide a means for emergency operation. Electric gates shall require a siren sensor device typically referred to as a "yelp gate" (IFC-2018 § 503.6).

*Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.*

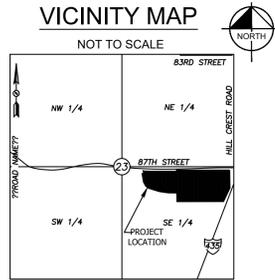
12. The developer must submit water main extension drawings for new public fire hydrants along E 87th Street to meet 300' max spacing, prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations. (<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>)

*Condition(s) by Water Services Department. Contact Travis Kiefer at (816) 513-2139 / Travis.Kiefer@kcmo.org with questions.*

13. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
14. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or stormwater detention area tracts, prior to recording the plat.

# UR DEVELOPMENT PLAN AMMENDMENT & FINAL PLAN FOR FOLEY EQUIPMENT PHASE 2

SECTION 23, TOWNSHIP 48N, RANGE 33W  
CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI



**LEGAL DESCRIPTION**

FOLEY EQUIPMENT 1ST PLAT,  
A REPLAT OF LOT 1, DEAN MACHINERY FIRST PLAT  
AND A PORTION OF THE WEST ONE-HALF  
OF THE SOUTHEAST QUARTER OF  
SECTION 23, TOWNSHIP 48, RANGE 33 WEST  
CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

## PROJECT TEAM

**OWNER**

FOLEY INDUSTRIES INC.  
1550 S WEST STREET, WICHITA, KS 67213  
EMAIL: CSHIGHFILL@FOLEYEQ.COM  
CONTACT: CRAIG S. HIGHFILL

**CIVIL ENGINEER, LANDSCAPE ARCHITECT,  
AND LIGHTING**

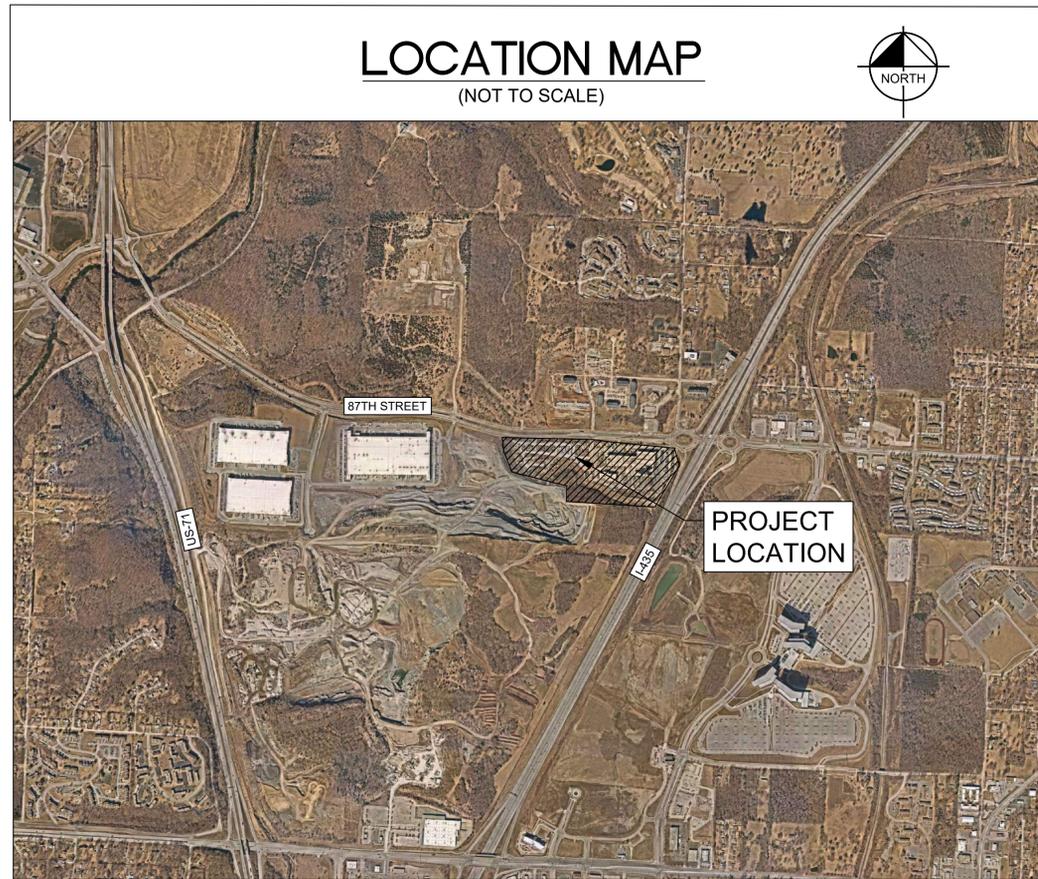
KIMLEY-HORN & ASSOCIATES, INC.  
805 PENNSYLVANIA AVENUE, SUITE 150  
KANSAS CITY, MO 64105  
TEL: (816) 652-0350  
PRIMARY CONTACT: MATTHEW KIST, P.E.  
EMAIL: MATT.KIST@KIMLEY-HORN.COM  
SECONDARY CONTACT: PERLA DIOSDADO, P.E.  
EMAIL: PERLA.DIOSADO@KIMLEY-HORN.COM

**SURVEYOR**

BHC  
7101 COLLEGE BLVD., SUITE 400  
OVERLAND PARK, KANSAS 66210  
TEL: (913) 663-51900

**ARCHITECT**

ALLOY ARCHITECTURE  
165 S. ROCK ISLAND, SUITE 200  
WICHITA, KS 67202  
PRIMARY CONTACT: JEFF MINAR, AIA  
EMAIL: JMINAR@ALLOYARCHITECTURE.COM  
PHONE: (316) 634-1111  
SECONDARY CONTACT: DAVID RIFFEL  
EMAIL: DRIFFEL@ALLOYARCHITECTURE.COM



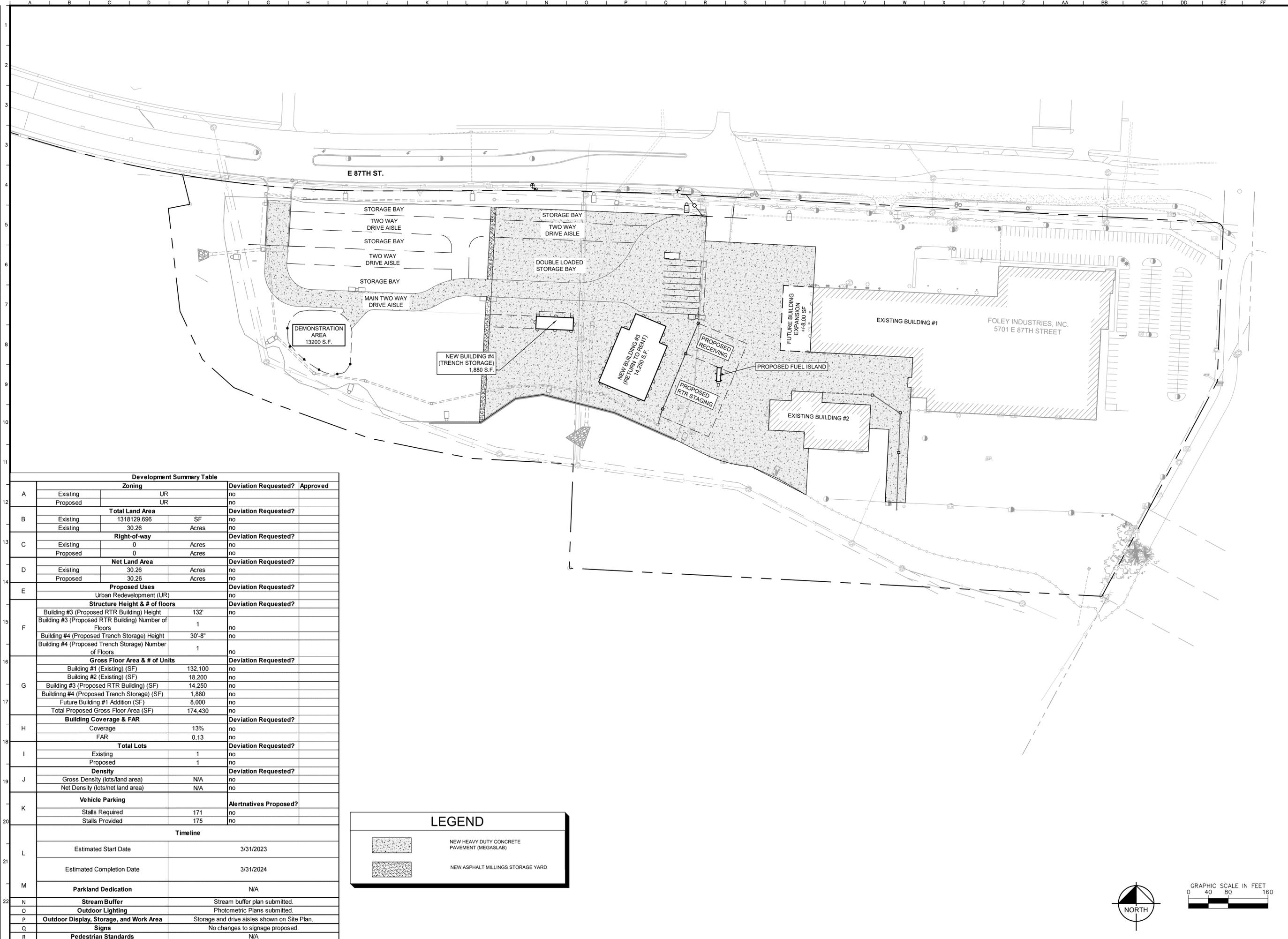
Sheet List Table	
Sheet Number	Sheet Title
C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	GENERAL LAYOUT
C4	SITE PLAN
C5	GRADING PLAN
C6	UTILITY PLAN
C7	STREAM BUFFER PLAN
C8	LOGISTICS PLAN
E1	LIGHTING PLAN
E2	LIGHTING DETAILS
A3.1	BUILDING ELEVATIONS
A3.5	BUILDING ELEVATIONS

Drawing name: K:\VNC\_DEVELOPMENT\268182002\_Foley Equipment\kono-ph2\Design\CAD\plan\sheet\00 COVER SHEET.dwg C1 COVER SHEET Sep 02, 2022 12:21pm By: Kaitlin-Royner  
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NOT FOR CONSTRUCTION					
 <b>COVER SHEET</b>					
<b>FOLEY EQUIPMENT PHASE 2</b> <small>5701 E. 87TH STREET</small>					
ORIGINAL ISSUE: 7.29.2022					
KHA PROJECT NO. 268182002					
SHEET NUMBER					
C1					



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**Development Summary Table**

Zoning		Deviation Requested?	Approved
A	Existing UR	no	
	Proposed UR	no	
<b>Total Land Area</b>		<b>Deviation Requested?</b>	
B	Existing 1318129.696 SF	no	
	Existing 30.26 Acres	no	
<b>Right-of-way</b>		<b>Deviation Requested?</b>	
C	Existing 0 Acres	no	
	Proposed 0 Acres	no	
<b>Net Land Area</b>		<b>Deviation Requested?</b>	
D	Existing 30.26 Acres	no	
	Proposed 30.26 Acres	no	
<b>Proposed Uses</b>		<b>Deviation Requested?</b>	
E	Urban Redevelopment (UR)	no	
<b>Structure Height &amp; # of floors</b>		<b>Deviation Requested?</b>	
F	Building #3 (Proposed RTR Building) Height 132'	no	
	Building #3 (Proposed RTR Building) Number of Floors 1	no	
	Building #4 (Proposed Trench Storage) Height 30'-8"	no	
	Building #4 (Proposed Trench Storage) Number of Floors 1	no	
<b>Gross Floor Area &amp; # of Units</b>		<b>Deviation Requested?</b>	
G	Building #1 (Existing) (SF) 132,100	no	
	Building #2 (Existing) (SF) 18,200	no	
	Building #3 (Proposed RTR Building) (SF) 14,250	no	
	Building #4 (Proposed Trench Storage) (SF) 1,880	no	
	Future Building #1 Addition (SF) 8,000	no	
	Total Proposed Gross Floor Area (SF) 174,430	no	
<b>Building Coverage &amp; FAR</b>		<b>Deviation Requested?</b>	
H	Coverage 13%	no	
	FAR 0.13	no	
<b>Total Lots</b>		<b>Deviation Requested?</b>	
I	Existing 1	no	
	Proposed 1	no	
<b>Density</b>		<b>Deviation Requested?</b>	
J	Gross Density (lots/land area) N/A	no	
	Net Density (lots/net land area) N/A	no	
<b>Vehicle Parking</b>		<b>Alternatives Proposed?</b>	
K	Stalls Required 171	no	
	Stalls Provided 175	no	
<b>Timeline</b>			
L	Estimated Start Date	3/31/2023	
	Estimated Completion Date	3/31/2024	
M	<b>Parkland Dedication</b>	N/A	
N	<b>Stream Buffer</b>	Stream buffer plan submitted.	
O	<b>Outdoor Lighting</b>	Photometric Plans submitted.	
P	<b>Outdoor Display, Storage, and Work Area</b>	Storage and drive aisles shown on Site Plan.	
Q	<b>Signs</b>	No changes to signage proposed.	
R	<b>Pedestrian Standards</b>	N/A	

**LEGEND**

- NEW HEAVY DUTY CONCRETE PAVEMENT (MEGASLAB)
- NEW ASPHALT MILLINGS STORAGE YARD

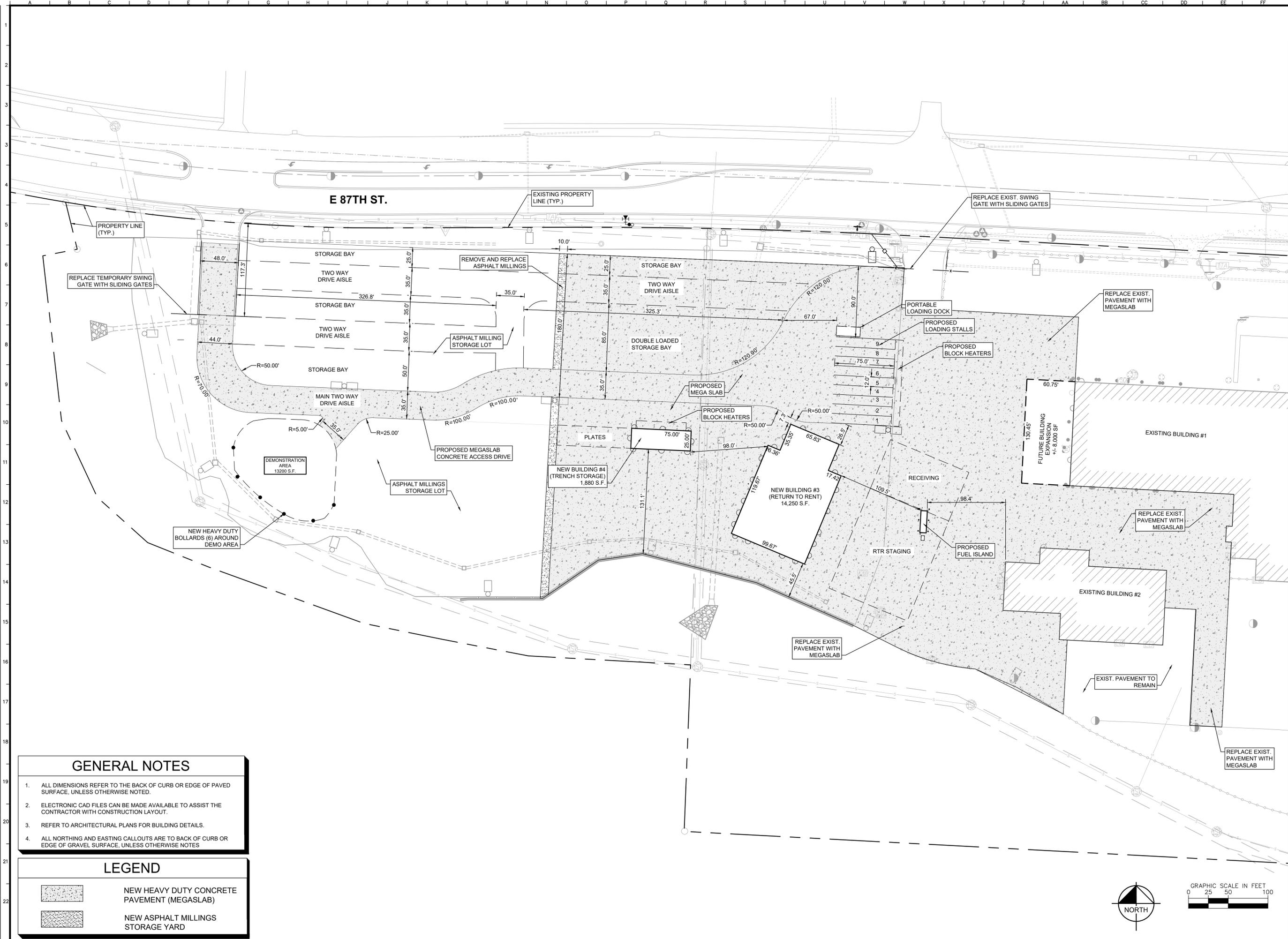
**GRAPHIC SCALE IN FEET**

0 40 80 160

**NORTH**

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		DRAWN BY: KMR	
		CHECKED BY: MDK	
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<b>CAT</b>			
<b>FOLEY EQUIPMENT</b>			
<b>GENERAL LAYOUT</b>			
<b>FOLEY EQUIPMENT PHASE 2</b>			
5701 E. 87TH STREET			
ORIGINAL ISSUE: 7.29.2022			
KHA PROJECT NO. 268182002			
SHEET NUMBER			
<b>C3</b>			

Drawing name: K:\VNC\_DEV\268182002\_Foley equipment kono-p42\Design\CAD\plan\shets\03 SITE PLAN.dwg C4 SITE PLAN Sep 02, 2022 12:22pm by Kellia Royner  
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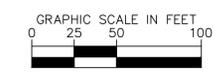


### GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE BACK OF CURB OR EDGE OF PAVED SURFACE, UNLESS OTHERWISE NOTED.
2. ELECTRONIC CAD FILES CAN BE MADE AVAILABLE TO ASSIST THE CONTRACTOR WITH CONSTRUCTION LAYOUT.
3. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
4. ALL NORTHING AND EASTING CALLOUTS ARE TO BACK OF CURB OR EDGE OF GRAVEL SURFACE, UNLESS OTHERWISE NOTES

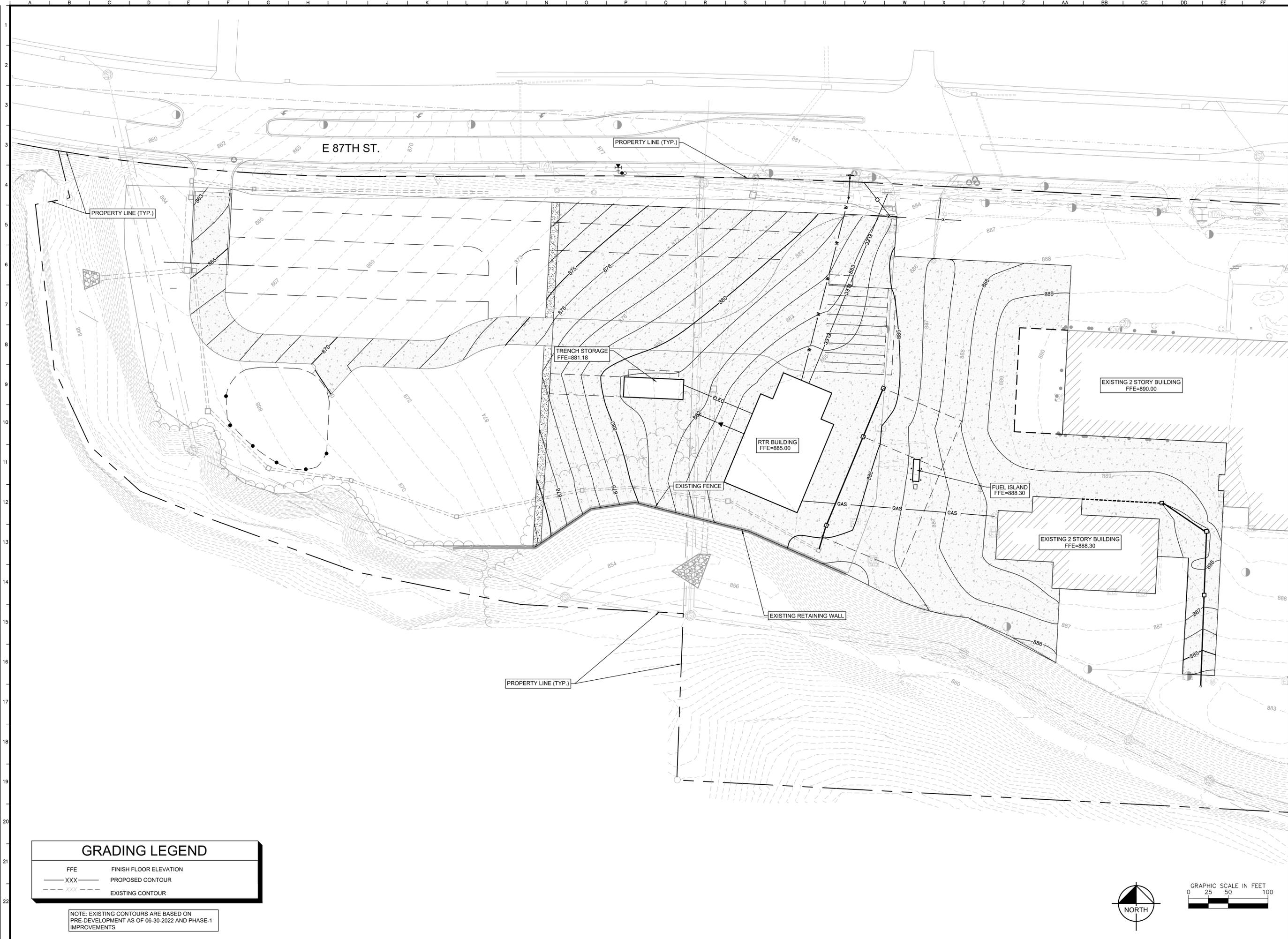
### LEGEND

- NEW HEAVY DUTY CONCRETE PAVEMENT (MEGASLAB)
- NEW ASPHALT MILLINGS STORAGE YARD



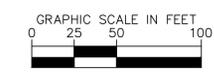
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NOT FOR CONSTRUCTION!	
<b>SITE PLAN</b>	
<b>FOLEY EQUIPMENT PHASE 2</b> <small>5701 E. 87TH STREET</small>	
ORIGINAL ISSUE: <small>7.29.2022</small>	
KHA PROJECT NO. <small>268182002</small>	
SHEET NUMBER <b>C4</b>	

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GRADING LEGEND	
FFE	FINISH FLOOR ELEVATION
XXX	PROPOSED CONTOUR
---XXX---	EXISTING CONTOUR

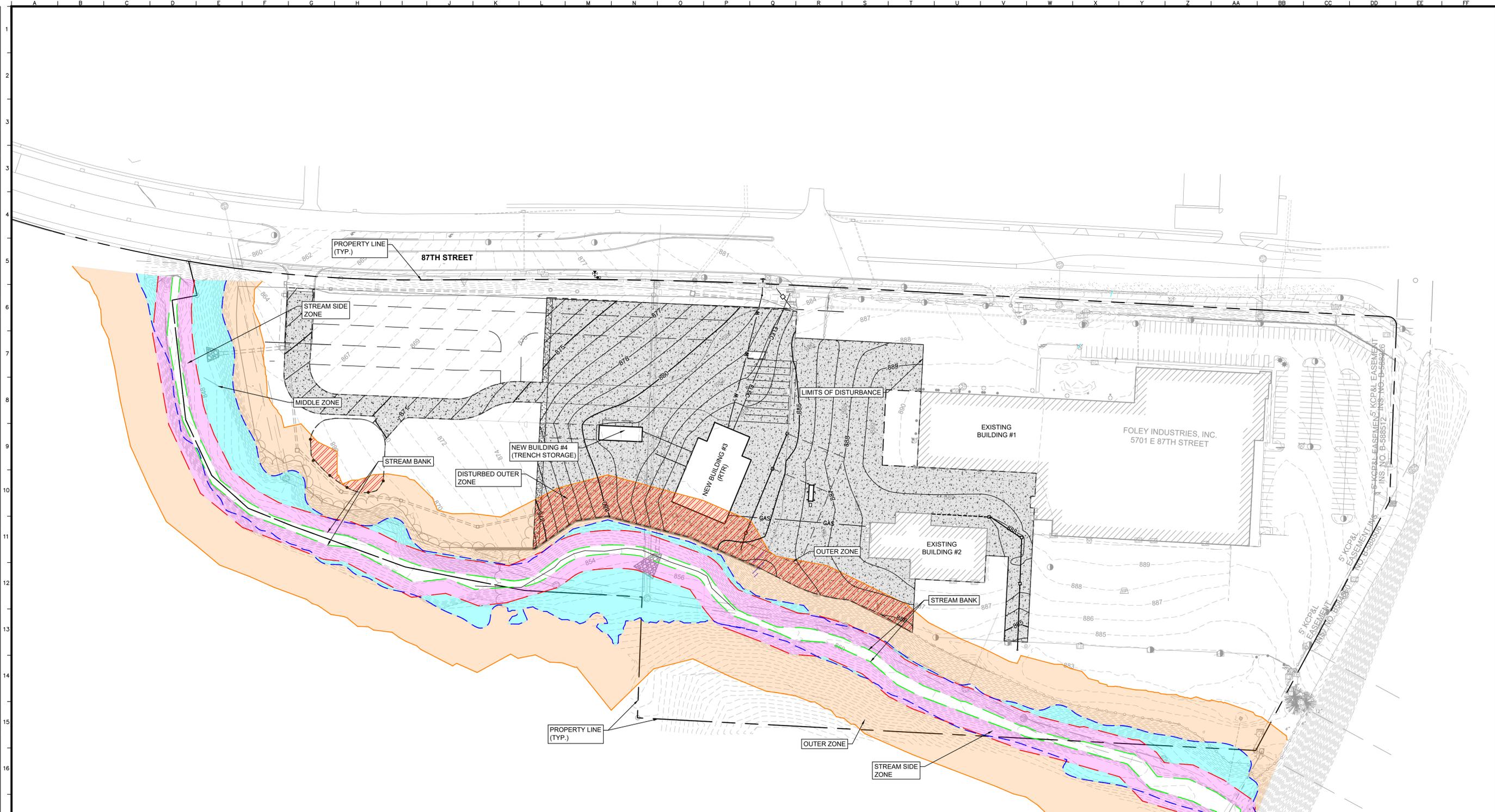
NOTE: EXISTING CONTOURS ARE BASED ON PRE-DEVELOPMENT AS OF 06-30-2022 AND PHASE-1 IMPROVEMENTS



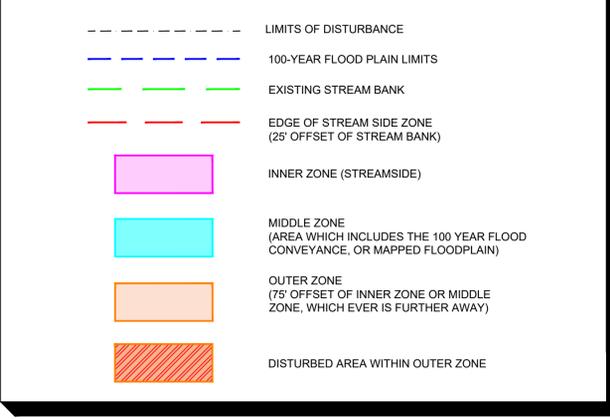
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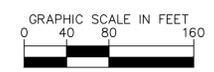
## STREAM BUFFER LEGEND



### NOTES

- PART OF THE SUBJECT PROPERTY LIES IN AN AREA LABELED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) AND A PART OF THE SUBJECT PROPERTY LIES IN AN AREA LABELED ZONE "AE" (BASE FLOOD ELEVATION DETERMINED) AS DETERMINED BY THE FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0384G WITH A MAP DATE OF JANUARY 20, 2017.
- TOPOGRAPHY SOURCE FOR SLOPE EVALUATION WAS ESTABLISHED FROM SURVEY DONE BY BHC ON JULY 28, 2021.
- MITIGATION IN ACCORDANCE WITH SEC. 88-415-03-C IS NOT REQUIRED.
- STREAM BUFFER BOUNDARY MARKERS:
  - BOUNDARY MARKERS MUST BE PUT IN PLACE CLEARLY MARKING REQUIRED STREAM BUFFERS BEFORE, DURING, AND AFTER CONSTRUCTION.
  - BOUNDARY MARKERS MUST BE INSTALLED AT THE INTERSECTION OF PRIVATE LOT LINES WITH THE OUTER EDGE OF THE PERMANENT OPEN SPACE BEFORE RECEIVING FINAL CITY APPROVAL OF PLANS FOR CLEARING, GRADING OR SEDIMENT AND EROSION CONTROL.
  - CONSTRUCTION FENCING MUST BE PLACED AT THE OUTER EDGE OF THE OUTER ZONE TO DELINEATE THE BUFFER. THE FENCING MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
  - PERMANENT SIGNS MUST BE PLACED AT THE EDGE OF THE PERMANENT OPEN SPACE AFTER CONSTRUCTION TO DENOTE THE BUFFER AS FOLLOWS:
    - FOR SINGLE LOT DEVELOPMENTS, SIGNS MUST BE POSTED EVERY 100 FEET ALONG THE BOUNDARY OF THE PERMANENT OPEN SPACE.
    - FOR MULTIPLE LOTS LOCATED ALONG THE BUFFER, SIGNS MUST BE LOCATED AT THE INTERSECTION OF EVERY OTHER LOT LINE ALONG THE BOUNDARY OF THE PERMANENT OPEN SPACE.
    - THE SIGN FACE SHALL BE TWO SQUARE FEET IN AREA AND BE LOCATED 4 FOOT ABOVE FINAL GRADE. NO OTHER MESSAGE SHALL BE ON SIGN OR SIGN POST.
    - REQUIRED SIGNS MUST READ: "PROTECTED STREAM BUFFER DO NOT DISTURB".
    - SIGNS MUST BE MAINTAINED AND REMAIN LEGIBLE AT ALL TIMES.

DISTURBED AREAS OF STREAM BUFFER AFTER STREAM			
ZONE	TOTAL AREA (SF)	DISTURBED AREA (SF)	% DISTURBED
INNER	117,542	0	0.0
MIDDLE	77,458	0	0.0
OUTER	347,021	43,761	12.6
<b>TOTAL</b>	<b>542,022</b>	<b>43,510</b>	<b>8.0</b>



CITY COMMENTS	DATE	BY
	09/02/22	KMR

**Kimley»Horn**  
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 805 PENNSYLVANIA AVENUE, SUITE 150  
 KANSAS CITY, MO 64105  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: PND  
 DRAWN BY: KMR  
 CHECKED BY: MDK

**NOT FOR CONSTRUCTION**



**STREAM BUFFER PLAN**  
 5701 E. 87TH STREET

**FOLEY EQUIPMENT PHASE 2**

ORIGINAL ISSUE: 7.29.2022  
 KHA PROJECT NO. 268182002  
 SHEET NUMBER **C7**





# PHOTOMETRICS NOTES

SYMBOL	TAG	DESCRIPTION	MODEL NUMBER	POLE QUANTITY	FIXTURE QUANTITY	LLF	MOUNTING STYLE	LAMPS	VOLTAGE	WATTS PER FIXTURE	LUMENS PER FIXTURE	COLOR	MOUNTING HEIGHT
	EX1	LSI INDUSTRIES MIRANDA LARGE OUTDOOR LED AREA LIGHT SINGLE (TYPE FORWARD THROW)	MRL-LED-40L-SIL-FT-50-70CRI	EXISTING	EXISTING	0.8	POLE MOUNTED	LED	MVOLT	286W	43,480	5000K	33 FT
	EX2	RAB LED WALL PACK	RAB-WP3LED82	-	EXISTING	0.8	WALL MOUNTED	LED	MVOLT	82W	9,280	5000K	24 FT
	L1	LSI INDUSTRIES MIRANDA LARGE OUTDOOR LED AREA LIGHT SINGLE (TYPE FORWARD THROW)	MRL-LED-40L-SIL-FT-50-70CRI	9	9	0.8	POLE MOUNTED	LED	MVOLT	286W	43,480	5000K	53 FT
	L2	LSI INDUSTRIES MIRANDA LARGE OUTDOOR LED AREA LIGHT DOUBLE (TYPE FORWARD THROW)	MRL-LED-40L-SIL-FT-50-70CRI	3	6	0.8	POLE MOUNTED	LED	MVOLT	286W	43,480	5000K	53 FT
	L3	RAB LED WALL PACK	RAB-WPLEDFC104	-	18	0.8	WALL MOUNTED	LED	MVOLT	26W	3,851	5000K	24 FT*
	L4	RAB LED WALL PACK	RAB-WPLEDFC104	-	10	0.8	WALL MOUNTED	LED	MVOLT	26W	3,851	5000K	12 FT*

\*MOUNTING HEIGHTS VARY. SEE ARCHITECTURAL PLANS FOR ELEVATIONS AND EXACT LOCATIONS/MOUNTING HEIGHTS OF WALL MOUNTED FIXTURES.

**Miranda Large (MRL)**  
Outdoor LED Area Light

IP66 IK08

**OVERVIEW**

Lumen Package	40,000 - 78,000
Wattage Range	286 - 648
Efficiency Range (LPW)	135 - 154
Weight (boxed)	10.0 (27.2)

**QUICK LINKS**

Ordering Guide Performance Photometrics Dimensions

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing, optical frame, and driver access cover.
- Optics are finished with LSI's Duragrip™ polyester powder coat finishing process. The Duragrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available.
- Consult factory.
- Shipping weight: 68 lbs in carton.

**Optical System**

- State-of-the-art one-piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 piece.
- Proprietary silicone refractor optic provides exceptional coverage and uniformity inIES Type 2, 3, SW, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 92%.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377.
- Minimum CRI of 70.
- Integral Cover (CL) and house-side shield (HS) options available for improved back-light control without sacrificing street side performance. See page 5 for more details.

**Electrical**

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over-temperature protection. Custom lumen and wattage packages available for specific applications.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (220-277 Vac) input 50/60 Hz or optional High Voltage (347-480 Vac).

**Warranty**

- LSI LED Fixtures carry a 5-year warranty.

**Listings**

- Listed to UL 1598 and UL 8750.
- State of California Title 24 Compliant; with INSBT, ALSIC, or ALSCH Options.
- Design Lights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DQL](http://www.designlights.org/DQL) to confirm which versions are qualified.

**Accessories**

- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Components are fully encased in potting material for moisture resistance. Driver components with FCC standard. Driver and key electronic components can easily be accessed.
- Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 5 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLine™ wireless control system options reduce energy and maintenance costs while extending light quality 24/7. (see page 8 for more details).

**Controls**

- Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 5 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLine™ wireless control system options reduce energy and maintenance costs while extending light quality 24/7. (see page 8 for more details).

**Mounting Accessories**

- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Applications are qualified.
- ROSH rated luminaire per IEC 60529.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- ROSH rated luminaire per IEC 60529.
- Design Lights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DQL](http://www.designlights.org/DQL) to confirm which versions are qualified.

**Specifications and dimensions subject to change without notice.**

**ORDERING GUIDE**

Back to Quick Links

**TYPICAL ORDER EXAMPLE: MRL LED 40L SIL FTA L UNV DIM 50 70CHR ALSCS04 BRZ IL**

Profile	Lens	Lumen Package	HS	CL	Options	Order Code	Weight
MRL - Miranda Large	LED	40,000 hrs 40,000 hrs 40,000 hrs 78,000 hrs	LS - Silicone	2 - Type 2 3 - Type 3 SW - Type 3 Wide FT - Forward Throw FTA - Forward Throw Automobile AM - Automotive Ambulance	(Blank) - Standard L - Optics rotated 90° R - Optics rotated 180°	UNV - Universal Voltage (220-277V) HW - High Voltage (347 - 480V)	

**Accessories**

Order Number	Description	Order Number	Description
125914	Fast Lock Preheat (200V) for use with 200V	889183.5	Integral Mounting Bracket
125915	Fast Lock Preheat (277V) for use with 277V	889183.5	Aluminum Sky Box 2" x 3" Feet
125916	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125917	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125918	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125919	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125920	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125921	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125922	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125923	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125924	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125925	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125926	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125927	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125928	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125929	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125930	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125931	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125932	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125933	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
125934	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
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125937	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)
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126000	Fast Lock Preheat (240V) for use with 240V	889183.5	Dark Mount Pole Bracket (8' Pole)

**PERFORMANCE**

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**Delivered Lumens\***

Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage	
			Delivered Lumens	Efficiency	RIE Ratio	Delivered Lumens	Efficiency	RIE Ratio	Delivered Lumens	Efficiency	RIE Ratio		
40L	70	70	30770	139	84-10-64	41350	144	84-10-64	43864	150	84-10-64	286	
			40147	142	84-10-64	47059	148	84-10-64	49817	154	84-10-64		
			40524	145	84-10-64	47664	147	84-10-64	49362	152	84-10-64		
	70	70	70	42612	141	84-10-64	47484	146	84-10-64	47484	146	84-10-64	286
				43089	142	84-10-64	47959	147	84-10-64	47959	147	84-10-64	
				43566	143	84-10-64	48434	148	84-10-64	48434	148	84-10-64	
80L	70	70	48770	142	84-10-64	47162	148	84-10-64	4358	153	84-10-64	315	
			49247	143	84-10-64	47637	149	84-10-64	4358	153	84-10-64		
			49724	144	84-10-64	48112	150	84-10-64	4358	153	84-10-64		
	70	70	70	50580	135	84-10-64	52475	148	84-10-64	54211	145	84-10-64	315
				51057	136	84-10-64	52950	149	84-10-64	54211	145	84-10-64	
				51534	137	84-10-64	53425	150	84-10-64	54211	145	84-10-64	
90L	70	70	56840	135	84-10-64	53018	138	84-10-64	54047	144	84-10-64	345	
			57317	136	84-10-64	53493	139	84-10-64	54047	144	84-10-64		
			57794	137	84-10-64	53968	140	84-10-64	54047	144	84-10-64		
	70	70	70	58650	135	84-10-64	53970	140	84-10-64	54022	146	84-10-64	345
				59127	136	84-10-64	54445	141	84-10-64	54022	146	84-10-64	
				59604	137	84-10-64	54920	142	84-10-64	54022	146	84-10-64	
100L	70	70	64900	135	84-10-64	57307	138	84-10-64	60022	138	84-10-64	375	
			65377	136	84-10-64	57782	139	84-10-64	60022	138	84-10-64		
			65854	137	84-10-64	58257	140	84-10-64	60022	138	84-10-64		
	70	70	70	66760	135	84-10-64	58257	140	84-10-64	60022	138	84-10-64	375
				67237	136	84-10-64	58732	141	84-10-64	60022	138	84-10-64	
				67714	137	84-10-64	59207	142	84-10-64	60022	138	84-10-64	
110L	70	70	73020	135	84-10-64	61606	138	84-10-64	63722	140	84-10-64	405	
			73497	136	84-10-64	62081	139	84-10-64	63722	140	84-10-64		
			73974	137	84-10-64	62556	140	84-10-64	63722	140	84-10-64		
	70	70	70	74930	135	8							

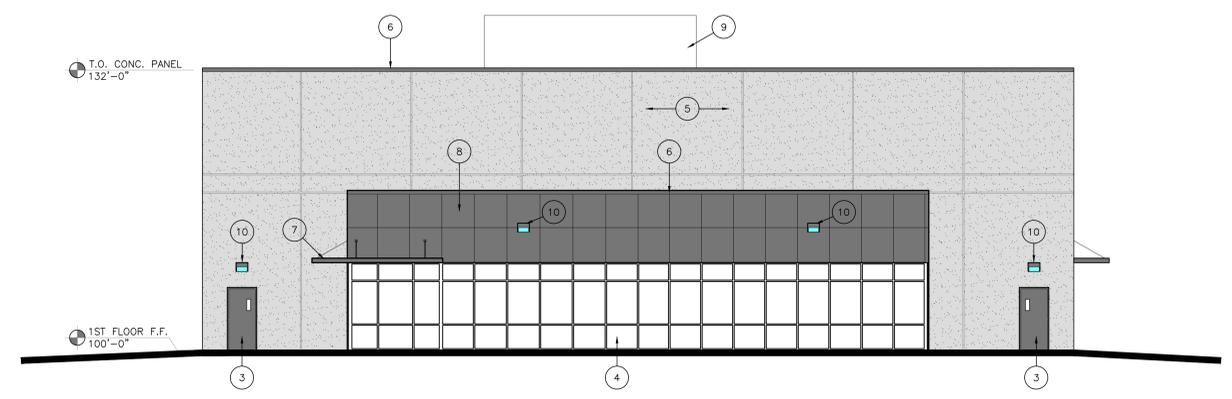


GENERAL NOTES	
1.	WALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF MASONRY, AND FACE OF METAL STUD UNLESS NOTED OTHERWISE.
2.	SEE CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATION OF UTILITIES.

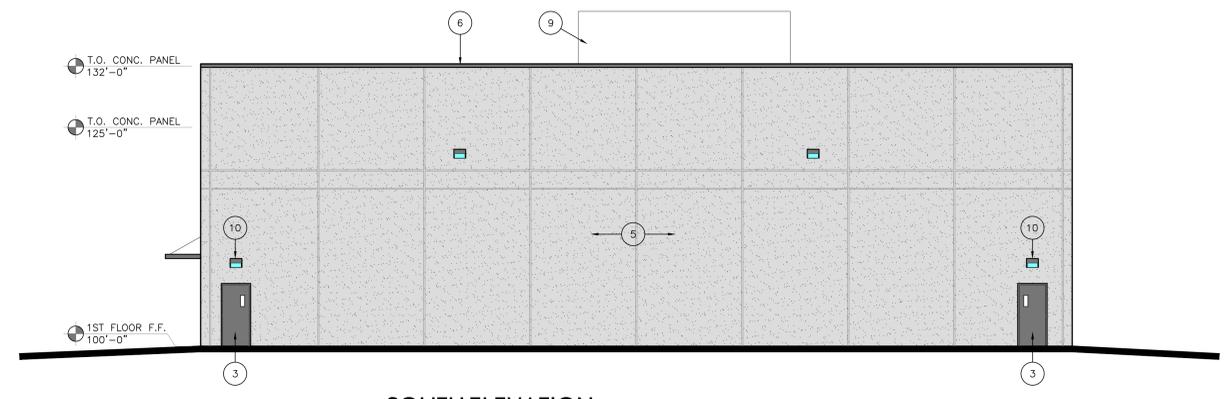
  

KEYED ELEVATION NOTES	
1	6"Ø GALVANIZED STEEL PIPE BOLLARD, PAINTED - REF. DETAIL X/A-1.1
2	SECTIONAL OVERHEAD DOOR
3	HOLLOW METAL DOOR, PAINTED.
4	ALUMINUM STOREFRONT SYSTEM
5	CONCRETE TILT-UP PANEL, PAINTED
6	PRE-FINISHED METAL COPING CAP
7	PRE-MANUFACTURED CANOPY
8	METAL PANEL SYSTEM
9	ROOF-TOP UNIT
10	WALL-PACK FIXTURE

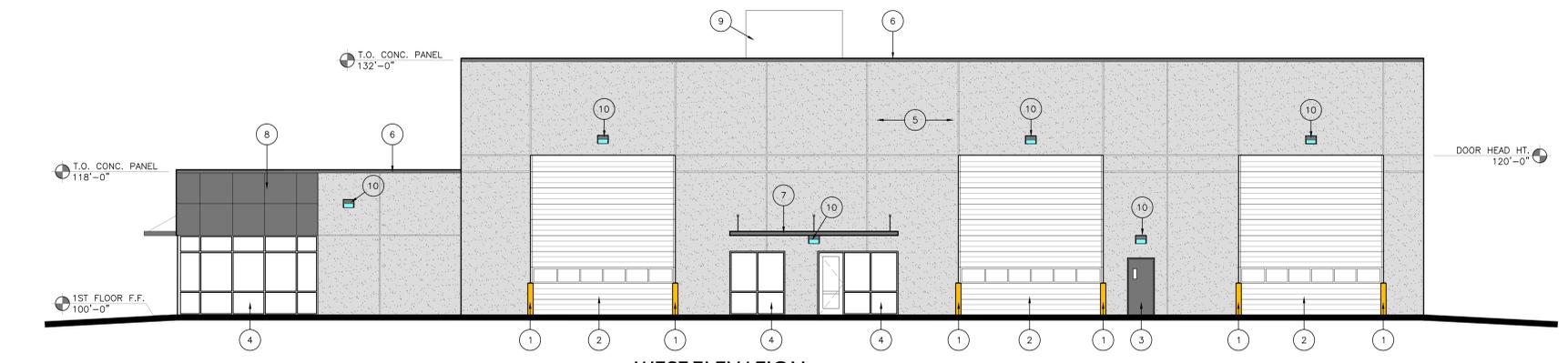
4"  
0 1" 2"  
SCALE: 6" = 1'-0"  
8"  
0 2" 4"  
SCALE: 3" = 1'-0"  
1'-4"  
0 1" 2"  
SCALE: 1 1/2" = 1'-0"  
4" 8"  
0 4" 8"  
SCALE: 1" = 1'-0"  
2"  
0 6" 1"  
SCALE: 1" = 1'-0"  
2'-8"  
0 8" 1'-4"  
SCALE: 3/4" = 1'-0"  
4"  
0 1" 2"  
SCALE: 1/2" = 1'-0"  
5'-4"  
0 1'-4" 2'-8"  
SCALE: 3/8" = 1'-0"  
8"  
0 2" 4"  
SCALE: 1/4" = 1'-0"  
16"  
0 4" 8"  
SCALE: 1/8" = 1'-0"  
32"  
0 8" 16"  
SCALE: 1/16" = 1'-0"



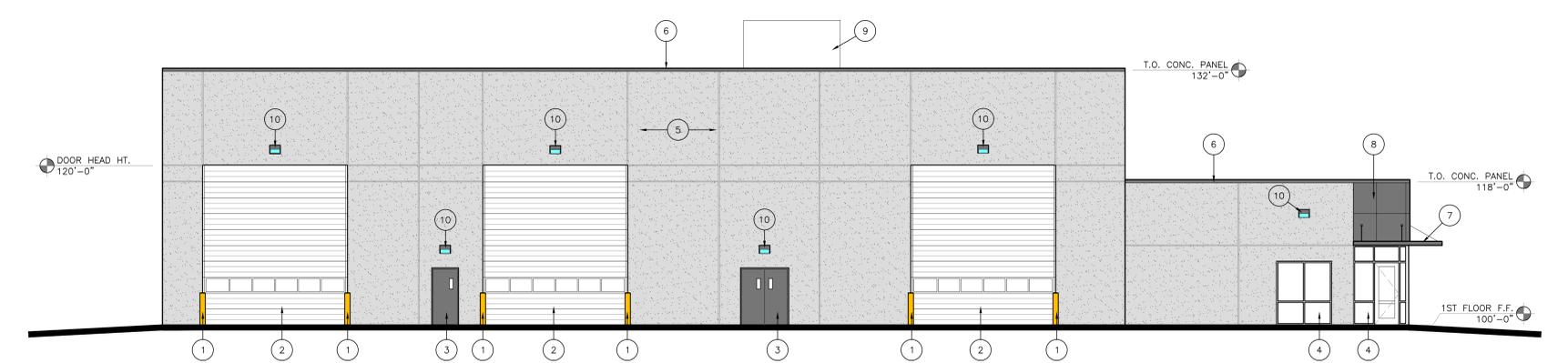
**1 NORTH ELEVATION**  
1/8" = 1'-0"  
RTR BUILDING



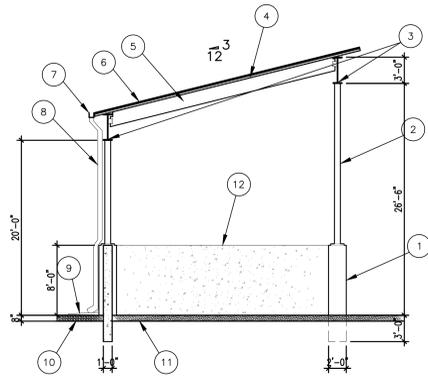
**2 SOUTH ELEVATION**  
1/8" = 1'-0"  
RTR BUILDING



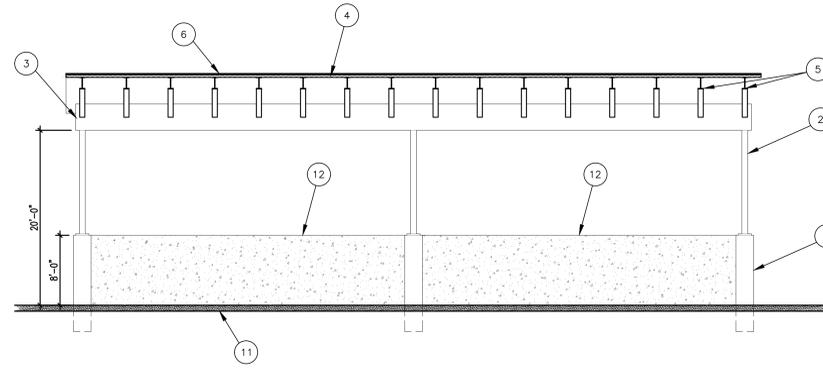
**3 WEST ELEVATION**  
1/8" = 1'-0"  
RTR BUILDING



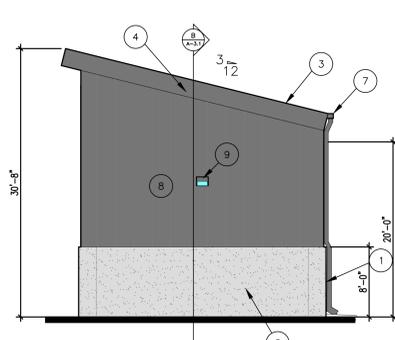
**4 EAST ELEVATION**  
1/8" = 1'-0"  
RTR BUILDING



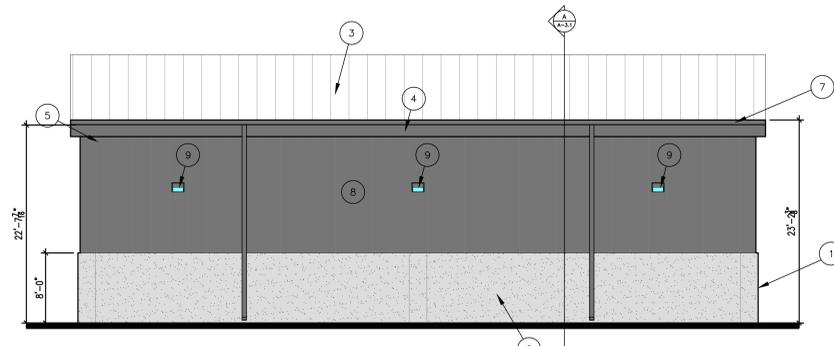
**A BUILDING SECTION**  
1/8" = 1'-0"



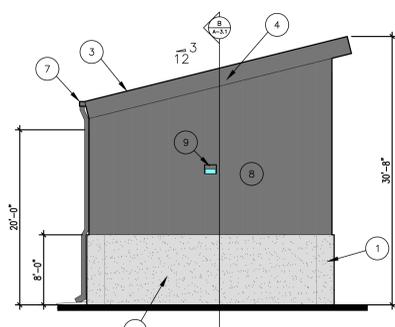
**B BUILDING SECTION**  
1/8" = 1'-0"



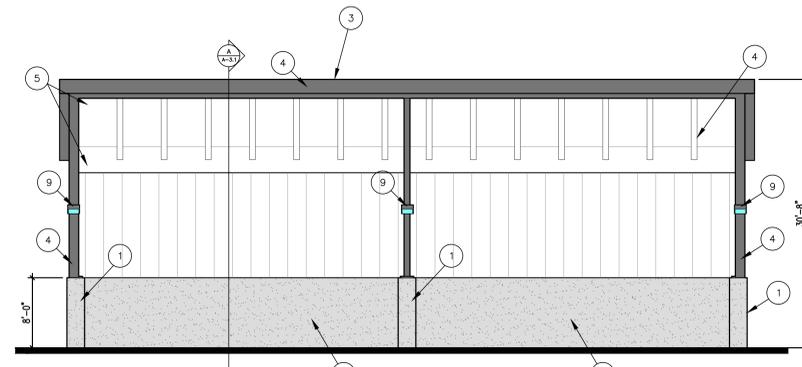
**1 EAST ELEVATION**  
1/8" = 1'-0" TRENCH STORAGE



**2 NORTH ELEVATION**  
1/8" = 1'-0" TRENCH STORAGE



**3 WEST ELEVATION**  
1/8" = 1'-0" TRENCH STORAGE



**4 SOUTH ELEVATION**  
1/8" = 1'-0" TRENCH STORAGE

**GENERAL NOTES**

1. ALL STRUCTURAL MEMBER SIZING IS APPROXIMATE AT SCHEMATIC DESIGN PHASE. ACTUAL DESIGN SIZES WILL BE DETERMINED BY THE STRUCTURAL ENGINEER IN CONSTRUCTION DOCUMENTS TO FOLLOW.

**SECTION NOTES**

1. 24" SQUARE X 8'-0" TALL CONCRETE PEDESTALS.
2. 8" X 8" TUBE STEEL COLUMN.
3. W36X150 BEAM.
4. 3" METAL DECK SPANNING 5'-0"
5. 16" PURLIN BEAMS AT 5'-0" O.C.
6. STANDING SEAM METAL ROOF
7. 6" X 6" GUTTER
8. 6" X 6" DOWNSPOUT
9. CONCRETE SPLASHBLOCK
10. GRAVEL - REFERENCE CIVIL ENGINEERING PLANS
11. EXTENT OF MEGASLAB - REFERENCE CIVIL ENGINEERING PLANS
12. ABOVE GROUND 12" WIDE CONCRETE STEM WALL

**ELEVATION NOTES**

1. 24" SQUARE X 8'-0" TALL CONCRETE PEDESTALS.
2. 8" X 8" TUBE STEEL COLUMN.
3. STANDING SEAM METAL ROOF
4. PRE-FINISHED BREAK-METAL TRIM
5. W36X150 BEAM.
6. ABOVE GROUND 12" WIDE CONCRETE STEM WALL
7. 6" X 6" GUTTER AND DOWNSPOUT SYSTEM
8. VERTICAL METAL PANEL SYSTEM
9. WALL-PACK FIXTURE

0 4" 8" 12" 16" 20" 24" 28" 32" 36" 40" 44" 48" 52" 56" 60" 64" 68" 72" 76" 80" 84" 88" 92" 96" 100"

0 1" 2" 3" 4" 5" 6" 7" 8" 9" 10" 11" 12" 13" 14" 15" 16" 17" 18" 19" 20" 21" 22" 23" 24" 25" 26" 27" 28" 29" 30" 31" 32" 33" 34" 35" 36" 37" 38" 39" 40" 41" 42" 43" 44" 45" 46" 47" 48" 49" 50" 51" 52" 53" 54" 55" 56" 57" 58" 59" 60" 61" 62" 63" 64" 65" 66" 67" 68" 69" 70" 71" 72" 73" 74" 75" 76" 77" 78" 79" 80" 81" 82" 83" 84" 85" 86" 87" 88" 89" 90" 91" 92" 93" 94" 95" 96" 97" 98" 99" 100"

SCALE: 6" = 1'-0"

SCALE: 3" = 1'-0"

SCALE: 1 1/2" = 1'-0"

SCALE: 1" = 1'-0"

SCALE: 3/4" = 1'-0"

SCALE: 1/2" = 1'-0"

SCALE: 3/8" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/16" = 1'-0"



PROJECT NUMBER  
22108

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Kansas City, Missouri

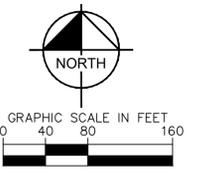
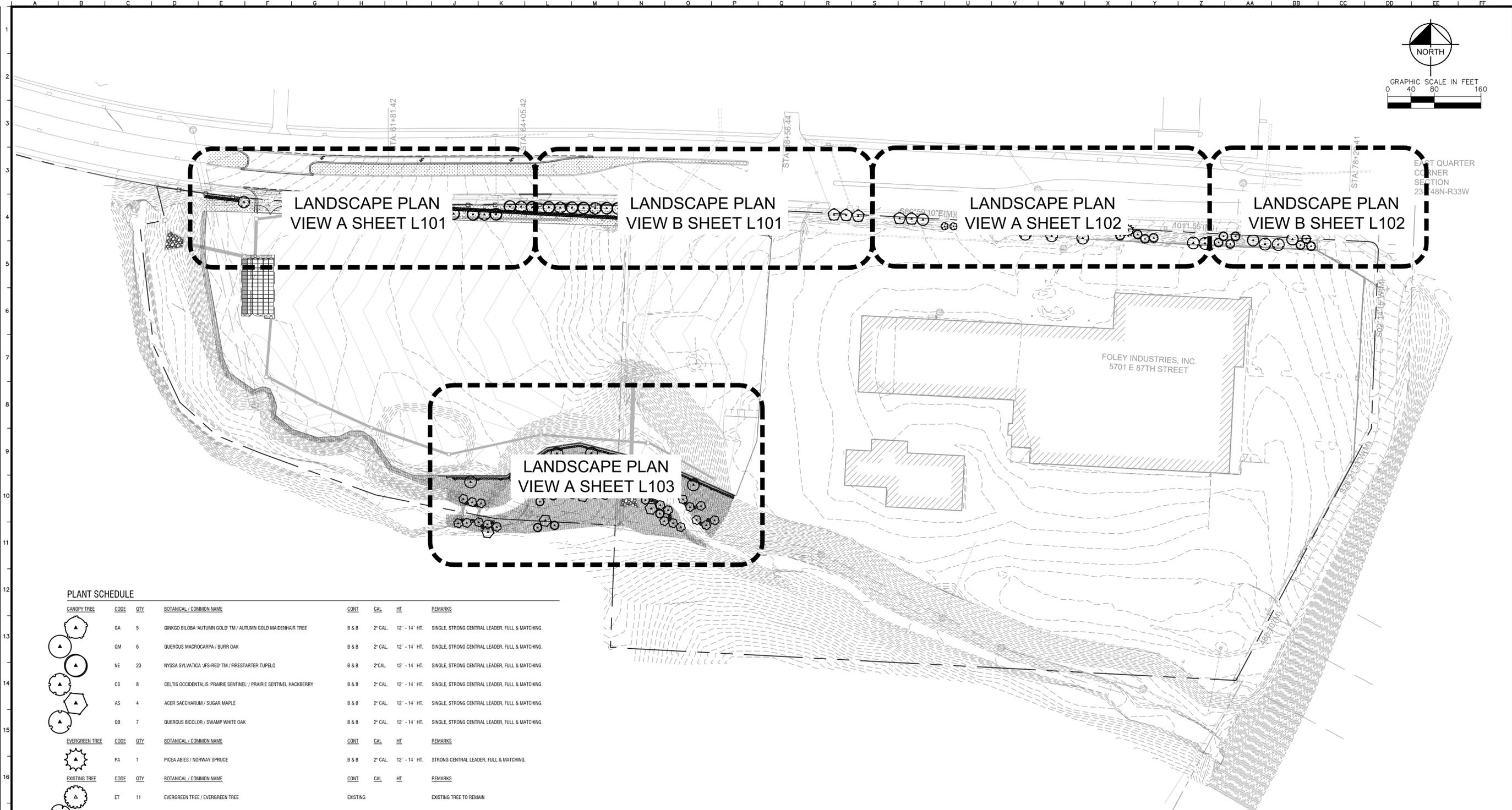


SHEET

**A3.5**

OF

Drawing name: K:\VNC\_LDEV\268182000\_Foley Equipment\K00\2 Design\CAD\PlanSheets\L100 LANDSCAPE PLAN.dwg L100 Jun 01, 2022 10:52:00m by Ashley.Serr  
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SCALE: AS NOTED  
DESIGNED BY: AMS  
DRAWN BY: AMS  
CHECKED BY: JJK



**LANDSCAPE PLAN**

**FOLEY EQUIPMENT**  
5701 E. 87TH STREET

ORIGINAL ISSUE:  
KHA PROJECT NO. 268182000  
SHEET NUMBER  
**L100**

**PLANT SCHEDULE**

CANOPY TREE	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT	REMARKS
	GA	5	GINKGO BILOBA 'AUTUMN GOLD' TM / AUTUMN GOLD MAIDENHAIR TREE	8 & B	2" CAL.	12' - 14' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
	QM	6	QUERCUS MACROCARPA / BURR OAK	8 & B	2" CAL.	12' - 14' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
	NE	23	NYSSA SYLVATICA 'JFS-RED' TM / FIRESTARTER TUPELO	8 & B	2" CAL.	12' - 14' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
	CS	8	CELTIS OCCIDENTALIS 'PRAIRIE SENTINEL' / PRAIRIE SENTINEL HACKBERRY	8 & B	2" CAL.	12' - 14' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
	AS	4	ACER SACCHARUM / SUGAR MAPLE	8 & B	2" CAL.	12' - 14' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
	QB	7	QUERCUS BICOLOR / SWAMP WHITE OAK	8 & B	2" CAL.	12' - 14' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
EVERGREEN TREE	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT	REMARKS
	PA	1	PICEA ABIES / NORWAY SPRUCE	8 & B	2" CAL.	12' - 14' HT.	STRONG CENTRAL LEADER, FULL & MATCHING.
EXISTING TREE	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT	REMARKS
	ET	11	EVERGREEN TREE / EVERGREEN TREE	EXISTING			EXISTING TREE TO REMAIN
	OT	3	ORNAMENTAL TREE / ORNAMENTAL TREE	EXISTING			EXISTING TREE TO REMAIN
	ST	3	STREET TREE / STREET TREE	EXISTING			EXISTING TREE TO REMAIN
ORNAMENTAL TREE	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT	REMARKS
	OV	4	OSTRYA VIRGINIANA / AMERICAN HOPHORNBEAM	8 & B	2" CAL.	10' - 12' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
	CE	10	CERCIS CANADENSIS / EASTERN REDBUD MULTI-TRUNK	8 & B	2" CAL.	10' - 12' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
	CD	28	CORNUS DRUMMONDII / ROUGHLEAF DOGWOOD	8 & B	2" CAL.	10' - 12' HT.	SINGLE, STRONG CENTRAL LEADER, FULL & MATCHING.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	REMARKS
	VB	198	VIBURNUM PRUNIFOLIUM / BLACKHAW VIBURNUM	5 GAL	36" HT.	36" O.C.	FULL & MATCHING
	CO	39	CEPHALANTHUS OCCIDENTALIS / BUTTONBUSH	5 GAL	36" HT.	36" O.C.	FULL & MATCHING
	JO	557	JUNPERUS VIRGINIANA 'GREY OWL' / GREY OWL EASTERN REDCEDAR	5 GAL	36" HT.	36" O.C.	FULL & MATCHING.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	SPACING	REMARKS
	SLOPE	55,097 SF	SLOPE MIX / SLOPE MIX	SEED	N/A	N/A	SEED MIX FOR MESIC ZONE W/ EROSION CONTROL BLANKET (DOUBLE NETTED STRAW EROSION CONTROL BLANKET) 1. ELYMUS CANADENSIS / CANADA WILD RYE - 60% 2. PANICUM VIRGATUM / SWITCH GRASS - 40%
	SEED	37,894 SF	FESTUCA ARUNDINACEA 'WATERSAVER BLEND' / WATERSAVING BLEND OF TALL FESCUE	SEED	N/A	N/A	HYDROSEED

City of Kansas City, Missouri - Landscape Data Table		
Site Area: 30.59 acres (1,332,326 SF) - Existing Zoning (UR)		
	REQUIRED	PROVIDED
<b>Section 88-425 Landscape and Screening</b>		
88-425-03-C: Tree Planting Requirements		
At least one street tree is required for each 30' of street frontage.	Yes	Yes
E 87th Street: 1,808 LF / 30' = 60.2 Trees	61 Trees	17 Existing Trees 44 Proposed Trees 61 Total Trees
Required street trees must be installed within the ROW or within 10' of the street ROW. (If street trees are located outside the ROW the city is authorized to require the establishment of a 15' landscape maintenance easement)	Yes	Yes - some trees located outside the 10' area due to utility conflicts
<b>88-425-05 - Perimeter Landscaping of Vehicular Use Areas</b>		
A 10' landscape buffer strip with one tree per 30' linear feet of landscape strip and enough evergreen shrubs to form a continuous visual screen at least 3' in height at the time of planting.		
1,808 Linear Feet landscape buffer (E 87th Street) / 30' Linear Feet = 60.2 Trees	61 Trees	17 Existing Trees 44 Proposed Trees 61 Total Trees
** Trees planted to satisfy the street tree planting requirements of 88-425-03 may be counted towards satisfying the tree planting requirements of 88-425-05-B		
<b>88-425-10-B - Trees</b>		
If more than 8 trees are required, no more than 40% may be of a single species. If more than 25 trees are required, no more than 25% may be of a single species.	Yes	Yes

**PLANTING NOTES:**

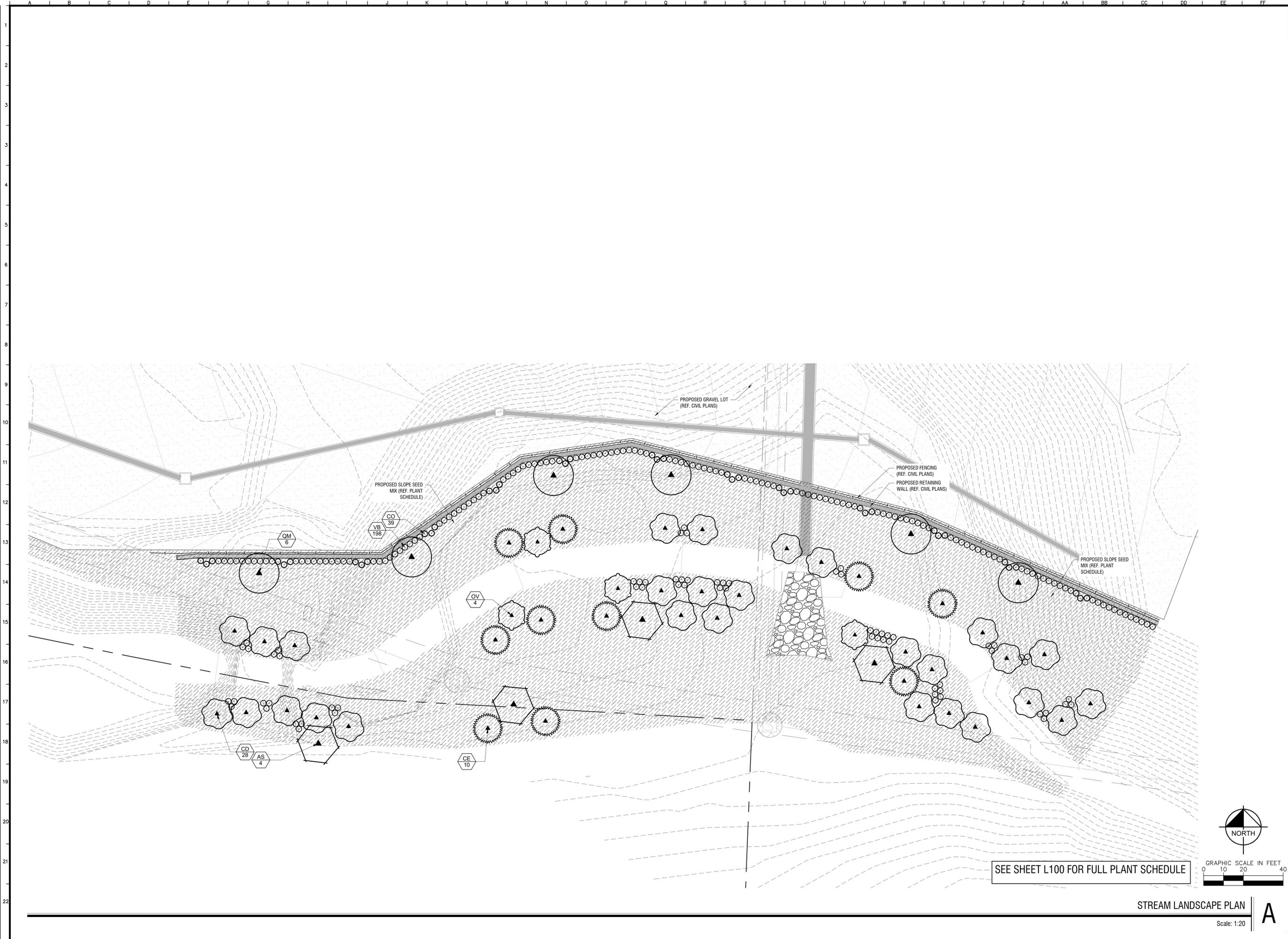
- CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE.
- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
- STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- PROVIDE A STEEL EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
- ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH. REFERENCE LANDSCAPE PLAN.
- LAY TALL FESCUE FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, MOVING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
- CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC (OR APPROVED EQUAL). INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 7.0-7.5, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

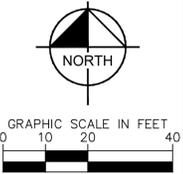




Drawing name: K:\VNC\_DEV\268182000\_Foley Equipment KMO\2 Design\CAD\PlanSheets\L100 LANDSCAPE PLAN.dwg L103 Jun 01, 2022 10:52:00m by Ashley.Serr  
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SEE SHEET L100 FOR FULL PLANT SCHEDULE



STREAM LANDSCAPE PLAN

Scale: 1:20

A

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SCALE: AS NOTED DESIGNED BY: AMS DRAWN BY: AMS CHECKED BY: JDX	No. _____ REVISIONS DATE _____ BY _____
LANDSCAPE PLAN	
FOLEY EQUIPMENT 5701 E. 87TH STREET	
ORIGINAL ISSUE: KHA PROJECT NO. 268182000 SHEET NUMBER L103	





### Pro 5 Weed Barrier



DeWitt Pro 5 Weed Barrier is a woven, needle-punched polypropylene fabric for commercial grade weed control. Specified by leading architects, the fabric is designed to allow air, water, and nutrients through. The fabric will not rot or mildew, and is formulated to resist UV degradation.

Property	Test Method	Unit	Minimum Average Roll Value
Woven Material			Polypropylene
Fiber Backing			Polyester
Color			Black with Gold Stripe every 12"
Construction Weave			15 x 10 or 10 x 15
Weight	ASTM D 5261	OZ/SY	5.0
Grab Tensile Strength	ASTM D 4632	LBS	Screen 2.8
Grab Elongation	ASTM D 4632	%	Cap 2.2
Trapezoid Tear	ASTM D 4533	LBS	Warp 80
Puncture	ASTM D 4241	LBS	Web 65
Water Permeability	ASTM D 4491	GAL/MIN/SF	Warp 15
Ultraviolet Exposure	ASTM D 4355	% Strength Retained	Web 30
			300
			10
			>70% after 2500 hrs
			Carbon Arc Exposure

Date: 12/13/16. This data sheet supersedes all previously issued data. The above properties are typical averages. THIS INFORMATION RELATES ONLY TO THE SPECIFIC MATERIAL IDENTIFIED AND MAY NOT BE VALID FOR OTHER MATERIALS USED IN COMBINATION WITH ANY OTHER MATERIALS OR IN ANY PARTICULAR ENVIRONMENT. THE USER SHALL BE RESPONSIBLE FOR THE PROPER USE OF THIS INFORMATION. THE USER SHALL BE RESPONSIBLE FOR THE PROPER USE OF THIS INFORMATION. THE USER SHALL BE RESPONSIBLE FOR THE PROPER USE OF THIS INFORMATION. THE USER SHALL BE RESPONSIBLE FOR THE PROPER USE OF THIS INFORMATION.

905 South Kingshighway Sikeston, MO 63801  
www.dewittcompany.com  
573.472.0048 phone / 800.888.9669 / 573.471.6715 fax



### Rolled Jute Mesh Specifications

Subject: Certification Rolled Jute Mesh

Country of Origin: India  
Jute mesh is not a native natural resource of America, therefore the product is imported and sold through distribution in the United States.

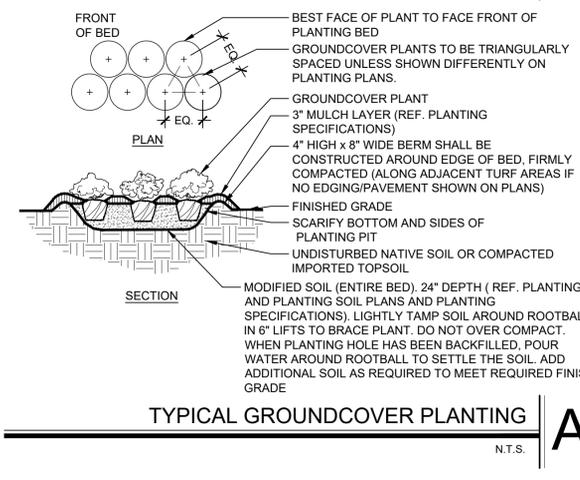
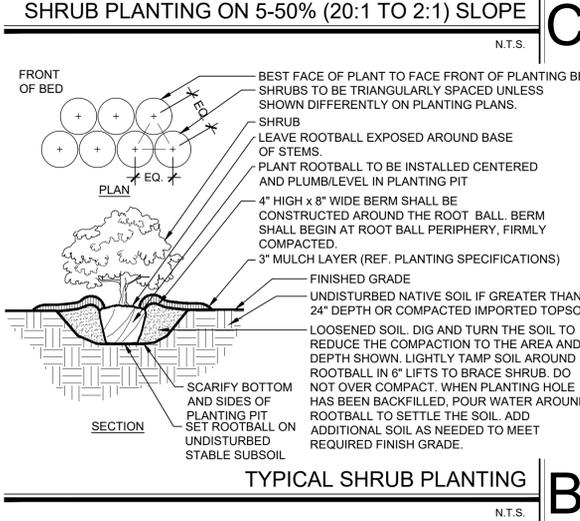
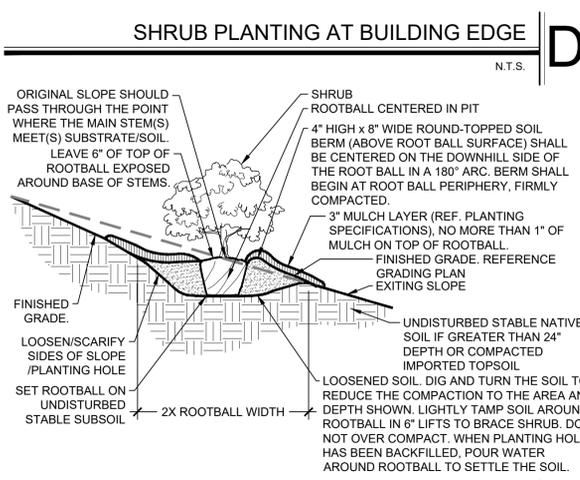
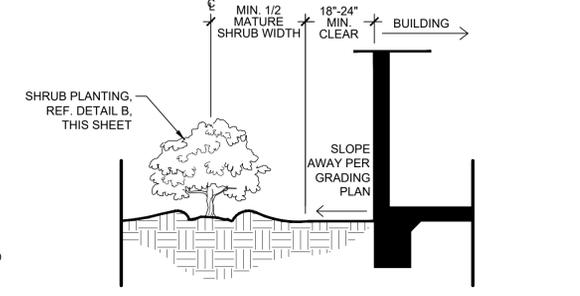
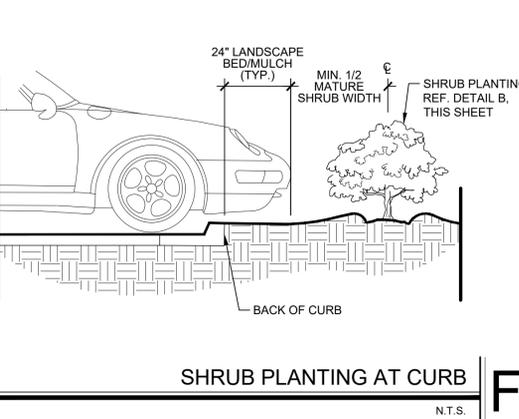
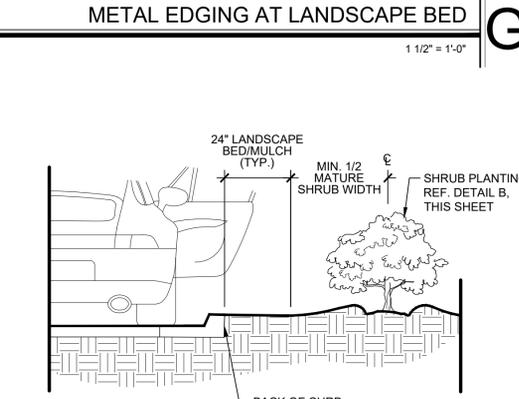
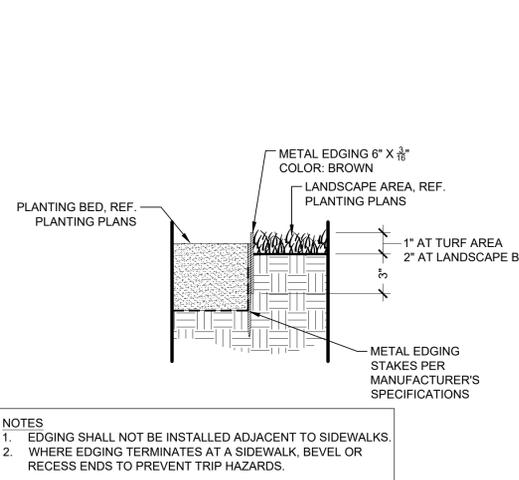
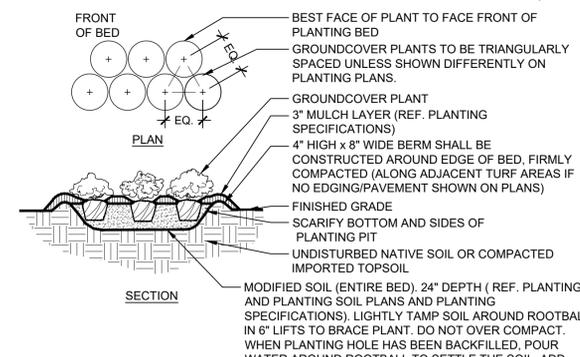
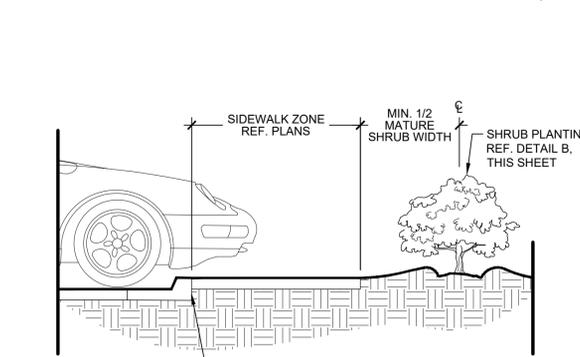
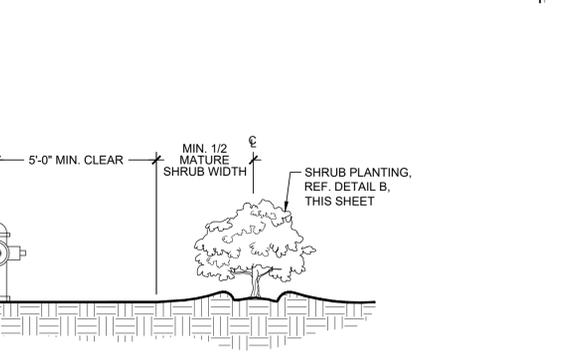
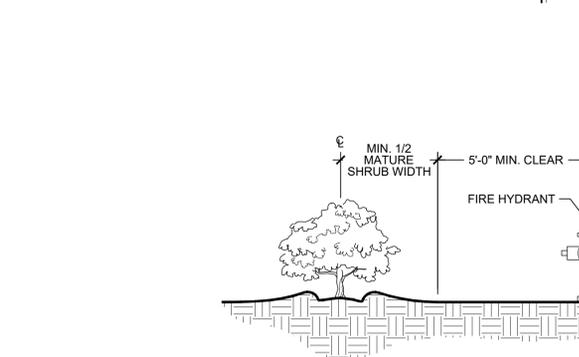
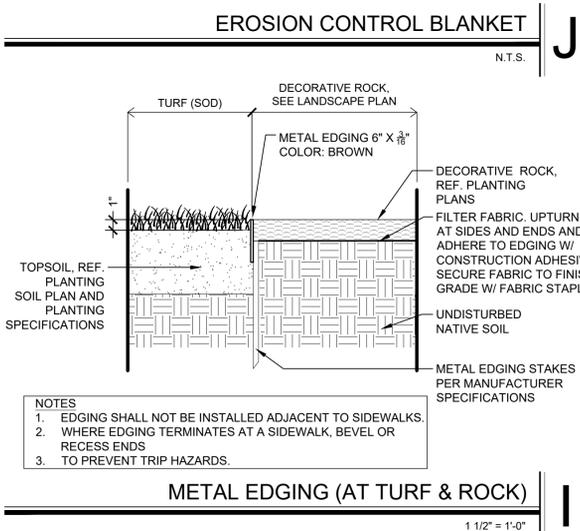
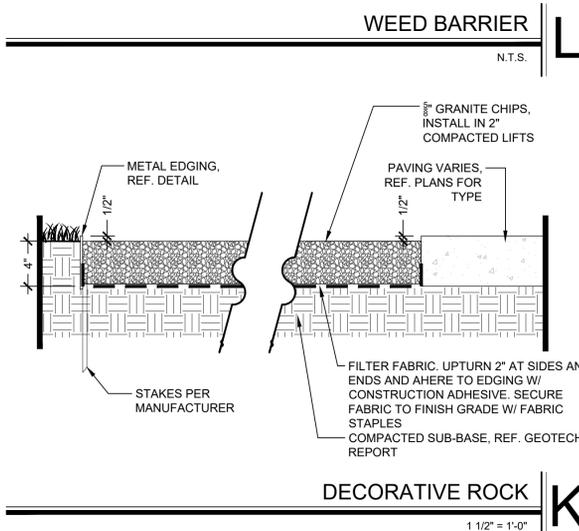
Description  
Jute erosion control mat is woven from spun jute yarns. The mat contains about 65% open area. This completely biodegradable blanket is the solution to environmentally sensitive general erosion control applications requiring up to 6-9 months of functional life.

This letter certifies that our L&M Jute Mesh meets and/or exceeds the specifications listed below. The average laboratory test values for the L&M Jute Mesh are as follows:

Material	Jute Mesh
Roll size	4' x 225' (width x length) (1.22 m x 68.6 m)
Roll Area	100.50' (65.3 sq.m.)
Open Area	70 - 75%
Mesh size	11mm x 18mm
Water Absorption	>450% of fabric weight
Thickness	0.25 inch (6 mm)
Recommended shear stress	0.45 lbs./sq. ft. (22 N/sq.m)
Recommended flow	6 fpa (1.8 m/s)
Recommended slope	3:1
Roll weight	100 Square Yards/roll
Quantity per pallet	92 lbs (+/- 5%) (500 g/m <sup>2</sup> )
Country origin	India

Unless otherwise noted, this certification is based on testing conducted by an independent testing laboratory. These test results are not more than one year old when presented to the authorizing agent. L & M Supply Co., Inc. issued this letter of certification to indicate our commitment to providing our customers with a quality product which will meet or exceed the minimum average roll values in accordance with the applicable American Society for Testing and Materials (ASTM) test method.

Respectfully,  
Quinn McMillan  
L&M Supply Co., Inc.  
P.O. Box 640  
Willacoochee, GA 31650  
Phone: 800-948-7870 Fax: 912-534-6254 Date: 7-1-16



Drawing name: K:\INC\_DEVELOPMENT\268182000\_Foley Equipment\268182000\_L201 Jan 01, 2022 10:52am by Ashley.Serr  
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REVISIONS

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SCALE: AS NOTED  
DESIGNED BY: AMS  
DRAWN BY: AMS  
CHECKED BY: JJK

STATE OF MISSOURI  
D. KANAK  
LANDSCAPE ARCHITECT  
06/03/2022

Foley Equipment  
LANDSCAPE DETAILS

Foley Equipment  
5701 E. 87TH STREET

ORIGINAL ISSUE:  
KHA PROJECT NO. 268182000  
SHEET NUMBER L201

Drawing name: K:\VNC\_LDEV\268182000\_Foley Equipment K000\3\_Design\CAD\_Plans\Sheet\100\_LANDSCAPE\_PLAN.dwg L300 Jan 01, 2022 10:52am By: Ashley\_Serv  
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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF ALL MATERIALS MAY COMMENCE.

MATERIAL	SUBMITTALS
MULCH	PRODUCT DATA
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA TEST RESULTS
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY)
FERTILIZER	PRODUCT DATA
INOCULATE	PRODUCT DATA
HERBICIDE	PRODUCT DATA

STAKING/GUYING FOR ALTERNATE TO DETAILS: SEND PRODUCT DATA, DETAIL CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.

2. PLANT MATERIALS INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE AMERICAN STANDARD NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

1. ALL PLANTING BED PIT BACKFILL AREAS TO BE PREPARED USING COMPOST, SHARP SCREENED SAND AND EXPANDED SHALE BY MISSOURI ORGANIC OR APPROVED EQUAL. TILL SOIL AMENDMENTS INTO EXISTING SOIL TO DEPTHS PER PLANTING DETAILS (6" DEPTH MIN). FINISHED GRADES OF PLANTING BEDS TO BE 1" BELOW FINISHED GRADE OF ADJACENT CONCRETE MOW STRIP OR AS SHOWN ON GRADING PLAN. PLANTING BED PIT SOIL SHALL BE A MIXTURE OF APPROXIMATELY 50% WEED-FREE EXISTING SOIL, 35% COMPOST, 10% EXPANDED SHALE, AND 5% SCREENED SHARP SAND. 98.5% OF THE PLANTING BED PIT SOIL PARTICLES THROUGH A 1/2" (12.5mm) SCREEN SHALL BE 99% OR MORE SHALL PASS THROUGH A 3/4" (19mm) SCREEN. COLOR TO BE A MEDIUM BROWN WITH A WEIGHT OF 1900-2250 LBS. PER CUBIC YARD (DEPENDS ON THE MOISTURE CONTENT).
2. ALL SOD AND SEED AREAS TO BE PREPARED USING COMPOST AND SHARP SCREENED SAND, BY MISSOURI ORGANIC OR APPROVED EQUAL. TILL SOIL AMENDMENTS INTO EXISTING SOIL TO DEPTHS PER PLANTING DETAILS (2" DEPTH MIN.). TOPSOIL SHALL BE A MIXTURE OF APPROXIMATELY 50% WEED-FREE EXISTING SOIL, 40% COMPOST, AND 10% SHARP SCREENED SAND. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 7.0-7.5 WITH 25% (MIN) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2" INCH SCREEN AND 99% OR MORE SHALL PASS THROUGH A 3/4" INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL. (MIN) CONTAINER.
3. THE CONTRACTOR SHALL REESTABLISH ANY ADDITIONAL DISTURBED AREAS NOT SHOWN ON THE PLANS WITH A FULL COVERING OF SOD OR SEED. THE CONTRACTOR SHALL PROVIDE 2" DEPTH (MIN) PREPARED TOPSOIL TILLED INTO EXISTING SOIL IN ALL AREAS TO RECEIVE SEED OR SOD AT NO ADDITIONAL COST.
4. TREE PLANTING PITS SHALL BE BACKFILLED WITH COMPOST BY MISSOURI ORGANIC OR APPROVED EQUAL AND NATIVE SOIL. THE TOP 1/3 OF EACH TREE PIT SHALL RECEIVE BACKFILL MATERIAL OF 80% WEED FREE NATIVE SOIL AND 20% COMPOST. THE BOTTOM 2/3 OF EACH TREE PIT SHALL RECEIVE BACKFILL MATERIAL OF 100% WEED FREE NATIVE SOIL. EXISTING SOIL USED IN PLANT BACKFILL AND TOPSOIL PREP SHALL BE REASONABLY FREE OF STONES, LIME, LUMPS OF CLAY, ROOTS AND OTHER FOREIGN MATTER. EXISTING SOIL SHALL HAVE A MINIMUM ORGANIC COMPOSITION OF 25% AND THE ACIDITY SHALL BE BETWEEN 7.0 AND 8.0 pH. CONTRACTOR SHALL SUBMIT A 1 GAL. MINIMUM SAMPLE OF THE EXISTING SOIL TO AN APPROVED TESTING FACILITY TO VERIFY COMPOSITION, ACIDITY AND ORGANIC CONTENT.
6. IF SOIL FAILS TO ACHIEVE THE FOREMENTIONED pH AND ORGANIC COMPOSITION QUANTITIES, THE CONTRACTOR SHALL TILL AN ADEQUATE AMOUNT OF COMPOST INTO THE EXISTING SOIL UNTIL IT MEETS THE REQUIREMENTS PRIOR TO COMBINING WITH OTHER SPECIFIED SOIL AMENDMENTS.
7. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE AND AMENDMENTS FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE. WHERE LINE STABILIZED SOIL IS ENCOUNTERED, LAWN AREAS SHALL BE EXCAVATED TO A DEPTH OF 12", PLANT BEDS SHALL BE EXCAVATED TO A DEPTH OF 24", AND TREE PITS SHALL BE EXCAVATED TO A DEPTH OF 36", AND BACKFILLED WITH CLEAN NATIVE SOIL (E.5) AND APPROVED PLANTING SOIL (E.1-4).

F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE OBTAINED ON THE SITE, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. ALL COSTS FOR WATER SUPPLY AND WATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

\*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

\*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES FOR ALL PLANTINGS AS NOTED. MULCH AT ALL PLANTING BEDS SHALL BE TRIPLE-SHREDDED HARDWOOD MULCH.

I. DIGGING AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSPORT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
3. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES, HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB BASES.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

N. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACES/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

O. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.

3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED ROCK AND ROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF ROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER DEEP EXCAVATION BY THE CONTRACTOR AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY/GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMBS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.

7. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

8. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

9. TREES SHALL BE SET WITH ROOT BALL CENTERED IN PLANTING PIT WITH ROOT FLARE 2" ABOVE ADJACENT SOIL ELEVATION. SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE TOP OF ROOT BALL SHALL BE EVEN WITH TOP OF PLANTING BED. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

10. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL FOR SOILNOCC SRT ADVANCED MYCORRHIZAL INOCULUM (OR EQUAL) PRIOR TO INOCULATION.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 12", REMOVE AND DISPOSE ALL DEBRIS AND MIX TO ACHIEVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

15. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUNDUP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

P. LAWN SODDING/ SEEDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, DEBRIS, HAVE SOIL PREPARED PER SECTION E, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. SOIL PREPARATION: ALL SOIL TO BE PREPARED PER SECTION E.

4. SODDING:
  - A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

- B. THE SOD SHALL BE CERTIFIED TO MEET AMERICAN STANDARD FOR NURSERY STOCK SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

- C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS, A 24 INCH STONE OR MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

- D. CONTRACTOR SHALL REFERENCE PLANTING SCHEDULE FOR SEEDING VARIETY AND RATES.

- E. IF SEED INSTALLATION FALLS BETWEEN SEPTEMBER 16TH AND MARCH 14TH, THE CONTRACTOR SHALL INSTALL EITHER SOD OR A COLD SEASON VARIETY SEED MIX, SUCH AS WINTER RYE. IF A COOL SEASON VARIETY MIX IS INSTALLED BETWEEN SEPTEMBER 16TH AND MARCH 14TH, THE CONTRACTOR SHALL RESEE THE AREA WITH THE ORIGINAL SPECIFIED SEED MIX PER THE PLANS AND SPECIFICATIONS BETWEEN MARCH 15TH AND SEPTEMBER 15TH.

1. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

2. LAWN MAINTENANCE:
  - A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRAIDING IF NECESSARY).
  - B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
  - C. CONTRACTOR SHALL REESTABLISH 95% (MIN) COVERAGE FOR ALL DISTURBED AREAS OF VEGETATION WITHIN 60 DAYS OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL PROVIDE SEED AND/OR SOD THAT MATCHES THE ADJACENT LAWN AREA.

Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

S. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

T. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL 1 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOD AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

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August 3, 2022

VIA U.S. MAIL

**RE: *Foley Equipment Phase 2 – UR Development Plan Amendment 07-29-2022***

Dear Property Owner:

We represent Foley Equipment Company and are contacting you regarding their property located at 5701 East 87<sup>th</sup> Steet, in Kansas City, Jackson County, Missouri. We submitted an application to the City Plan Commission for approval of an UR Development Plan Amendment. Approval of the application will allow for the development of the property for a new “Return to Rent” (RTR) Building, a new Trench Storage Building, a new fuel island, and associated concrete pavement, at the existing facility located at southwest corner of 87<sup>th</sup> Street and Interstate 435.

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects and that all property owners within 300 feet are invited. This public meeting is an opportunity for you to come learn more about the UR Development Plan Amendment and discuss these plans with the owner’s representatives. You can read more about the process requirements at [kcmo.gov/publicengagement](http://kcmo.gov/publicengagement). If you would like further information on this proposed project, please visit Kansas City's planning and permitting system, Compass KC, at [Compasskc.kcmo.org](http://Compasskc.kcmo.org). You may search by project type and address number to find project details. (Case Number Plan Number: CD-CPC-2022-00132)

This neighborhood meeting will be held at Marlborough Community Center (8200 The Paseo Boulevard, Kansas City, MO 64123) on Wednesday, August 24, 2022, from 6:00 pm to 7:00 pm. We anticipate the application will be heard by the City Plan Commission at 9:00 AM on September 6, 2022.

Questions or concerns can be addressed to Matt Kist via email or phone listed below.

Sincerely,

Matt Kist, P.E.  
Kimley-Horn  
[Matt.Kist@Kimley-Horn.com](mailto:Matt.Kist@Kimley-Horn.com)  
816-652-0350

cc: Craig Highfill  
Perla Diosdado  
Andrew Clarke (via email [Andrew.Clarke@kcmo.org](mailto:Andrew.Clarke@kcmo.org))  
City Planning and Development ([publicengagement@kcmo.org](mailto:publicengagement@kcmo.org))



CITY OF  
KANSAS CITY,  
MISSOURI

## CITY PLANNING & DEVELOPMENT

### Public Meeting Summary Form

Project Case # CD-CPC-2022-00132

Meeting Date: 08/24/2022

Meeting Location: Malborough Community Center

Meeting Time (include start and end time): 6:00 PM- 7:00 PM

Additional Comments (optional):



- Landscape (heavy landscape)
  - min standards
- Send Landscape Plan to Ryan Companies
- 82<sup>nd</sup> Street Finish Paving, currently not accepted
- All concrete yard finish
- Traffic Impact Study
  - merge midwest submitted, Janelle
  - Patricia Jensen
- Send Traffic Study to Ryan Companies
- Overhead Power, Lights.
- Hardscape

