



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

December 20, 2022

PROJECT NAME

100 E 20th St - Vacation

DOCKET

#3

REQUEST

CD-ROW-2022-00004
Vacation

APPLICANT

Bradley Freeman
Olsson

OWNER

Safranda MO LLC

Location	100 E 20 th Street
Area	0.2 acres
Zoning	DX-15
Council District	4 th
County	Jackson
School District	KCMO 110

SURROUNDING LAND USES

North: zoned DX-15, Commercial
South: zoned DX-15, Commercial
East: zoned Dx-15, Commercial
West: zoned UR, Mixed Use/Residential

MAJOR STREET PLAN

The City's Major Street Plan does not identify any streets at this location as Parks or Boulevards.

LAND USE PLAN

The Greater Downtown Area Plan recommends Downtown Mixed Uses for the subject property.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 1/31/2022. Full vacation material submittal was made by 11/10/2022. No scheduling deviations from 2022 Cycle X have occurred.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

A public hearing notification was sent to surrounding property owners within 300 feet of the subject site.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does not apply to this request.

EXISTING CONDITIONS

The subject property is currently seeking a change of use for City Dogs KC, which will be an animal daycare center on Walnut Street.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking to vacate a portion of the right of way to the north of E 20th Street between the sidewalk and building running east to west along the southern property line of 100 e 20th street.

There is a small ~5-foot by ~19-foot portion of the right-of-way to the west that appears to be sidewalk.

PROFESSIONAL STAFF RECOMMENDATION

Docket	Recommendation:
#3	Denial

RELATED CASES

There are no related cases to this vacation.

STREET, ALLEY OR PLAT VACATIONS

In order to determine that no private rights will be unreasonably injured or endangered by the vacation and the public will suffer no unreasonable loss or inconvenience, the city planning and development director, city plan commission, and city council must consider at least the following factors:

88-560-10-A. All property owners adjacent to the right-of-way shall have legal access to another public right-of-way. Such access shall be physically feasible and shall not result in an unreasonable burden or unsafe conditions on the alternate right-of-way.

This right of way vacation is for a portion of 20th street running East to West along the southern property line of 100 E 20th Street. It will not create an unreasonable burden for property owners to access another public right-of-way.

88-560-10-B. The retention of the public right-of-way or subdivision serves no current purposes and no future useful public purpose is anticipated.

Preserving the existing right-of-way proposed for vacation in its current condition does serve current or future public purpose, specifically the western portion of the proposed vacation could disrupt pedestrian connectivity.

88-560-10-C. The vacation will not result in a violation of 88-405.

The vacation will not be in violation of 88-405 (the Subdivision Design and Improvement Standards)

88-560-10-D. The vacation shall not disrupt the constructed street network or reduce existing physical connectivity.

The vacation includes a 4.91-foot-wide (e-w) and 19.03-foot-long (n-s) portion of sidewalk on the western side of the proposal that could potentially disrupt pedestrian connectivity. Once vacated this portion of the proposal would be the applicant's property, and pedestrian connectivity would not be guaranteed.

88-560-10-E. The vacation shall not result in a dead-end street or alley.

The proposed vacation will not result in a dead-end street or alley.

88-560-10-F. The vacation shall not result in street traffic being routed through an alley.

No traffic will be routed through an alley as a result of this vacation.

88-560-10-G. The vacation shall not vacate half the width of a street or alley.

This vacation will not vacate half the width of any street or alley.

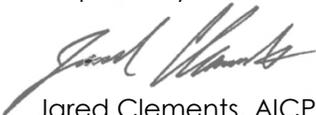
88-560-10-H. The right-of-way to be vacated is not on the Major Street Plan.

The area being vacated is not on the Major Street Plan.

PROFESSIONAL STAFF RECOMMENDATION

Staff recommends **Denial** of this application. Should the commission vote to recommend approval of this application, conditions can be found in the attached Plan Conditions Report.

Respectfully Submitted,



Jared Clements, AICP
Planner



Plan Conditions

Report Date: December 16, 2022

Case Number: CD-ROW-2022-00004

Project:

Condition(s) by City Planning and Development Department. Contact Jared Clements at (816) 513-8826 / jared.clements@kcmo.org with questions.

1. The applicant shall retain all utility easements and protect facilities required by AT&T, or relocate the facilities at the cost of the applicant.
2. Applicant shall relocate Streetlighting facilities managed by Public Works at the cost of the applicant. Preliminary relocation plans shall be sent to Development Services prior to Ordinance Request.



December 9, 2021
City Plan Commission

c/o City Planning & Development Dept
15th Floor – City Hall
414 E 12th Street
Kansas City, MO 64106

Dear Commission Members:

The purpose of this letter is to formally request Right-of-Way (ROW) vacation for a segment of E. 20th Street.

ROW Vacation will be to provide an elevated outdoor space next to the existing building, and to remove this space from the existing ROW. There are no known utilities or easements within this portion of ROW. This vacation request relates to approximately 0.02 acres of total vacation.

Please contact us should you have any questions and we hope you agree with this request for vacation.

Sincerely,
OLSSON, INC.

David Eickman
Technical Leader



APPLICATION FOR VACATION OF RIGHT-OF-WAY OR PLAT

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-8801 | Fax (816) 513-2838 | www.kcmo.gov/planning

Date Stamp

FOR OFFICE USE:	CASE #:	CPC DATE:
KIVA #:	RECEIPT #:	FILING FEE:

1. CONTACT INFORMATION

Applicant Vince Bryant Company 3D Development
 Address 2100 Central Street, Suite 41 City & State Kansas City, MO Zip 64108
 Telephone (913) 530-8992 Fax () Email vb@dream-design-develop.com

Property Owner(s) (if different from applicant) Safranda MO LLC and 100E20LLC Vince Bryant
 Address 2100 Central Street, Suite 41 City & State Kansas City, MO Zip 64108
 Telephone (913) 530-8992 Fax () Email vb@dream-design-develop.com

Agent/Contact David Eickman Company Olsson
 Address 1301 Burlington, ste 100 City & State North Kansas City, MO Zip 64116
 Telephone (816) 361.1177 Fax () Email deickman@olsson.com

* **All correspondence should be sent to (check ONE):** Applicant Property Owner Agent/Contact

2. VACATION LOCATION / ADDRESS

100E 20th St, Kansas City, MO 64108

4. REQUIRED ATTACHMENTS

- Completed Application
- \$290.00 fee** (Payable to City Treasurer KCMO) Additional deposit due prior to the public hearing, per Chapter 75.
- Map showing right-of-way to be vacated
- Legal description** may be required. Contact a staff planner to determine if needed.
- Letter Of Purpose** – Please submit a letter addressed to the City Plan Commission in care of this Department, briefly explaining the purpose of the requested vacation.
- Pre-application consultation** Indicate which planner you met with in the Development Management Division (15th Floor) **Planner** Joe Rexwinkle Date 10/17/2021

5. The information presented with this application is true and correct to the best of the undersigned's knowledge and consists of the required items as listed above, necessary for a complete application

- By checking this box I acknowledge that the applicant team may not contact or have discussions with any commissioner reviewing my application. I understand any letters or emails to the commission must be provided to the city staff for distribution.

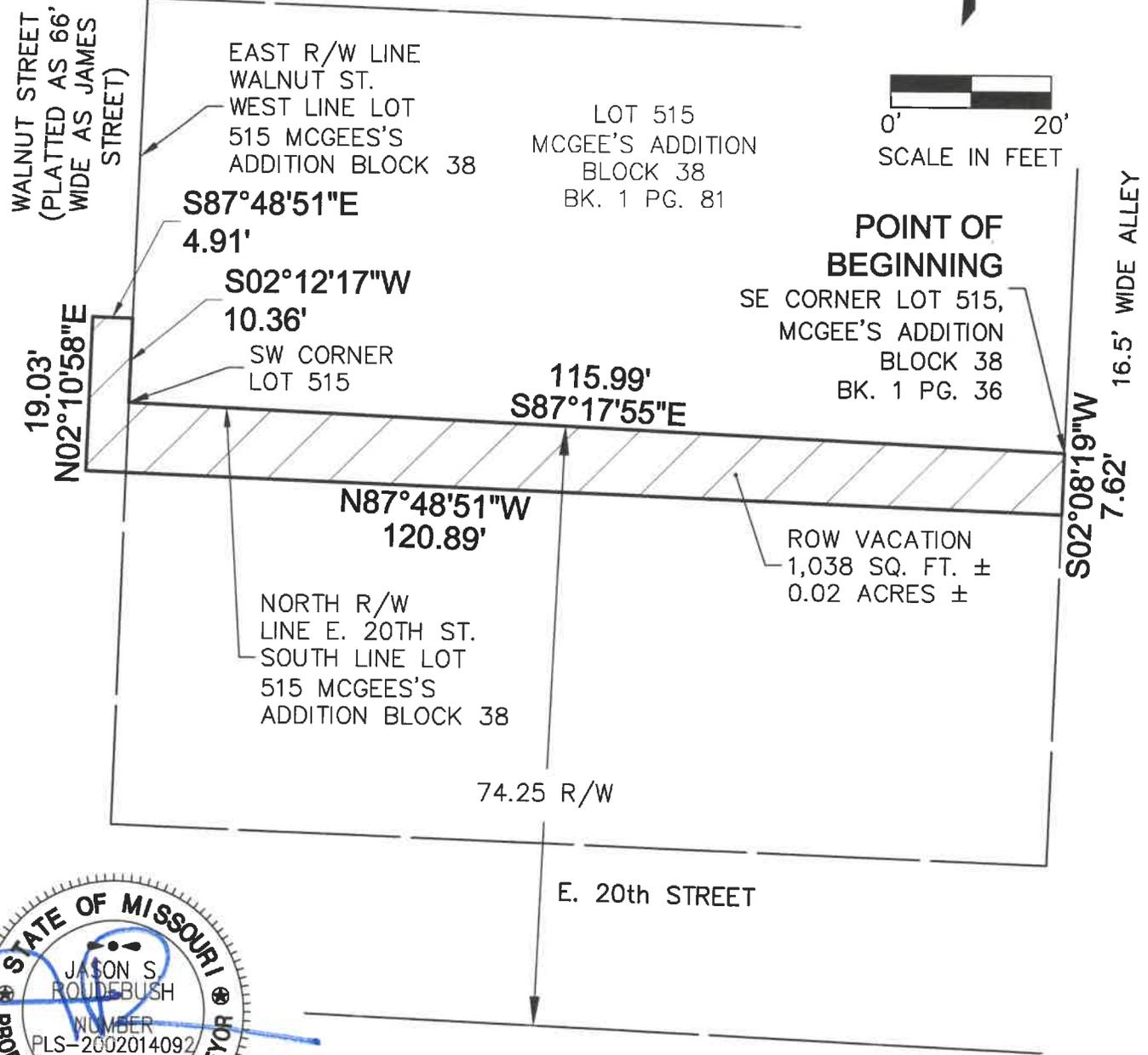
Signature 

Printed Name Vincent L. Bryant Date 12/22/2021

SUCCESSFUL RIGHT-OF-WAY VACATION TIMELINE



DWG: F:\2021\08001-06500\021-06242\40-Design\Survey\SRVY\Sheets\ROW Vacation\V_ROW_02106242.DWG
 DATE: Dec 07, 2021 3:32pm
 USER: aashfield



PROJECT NO: 021-06242	ROW VACATION EXHIBIT	<p>1301 Burlington Street North Kansas City, MO 64116 TEL 816.361.1177 FAX 816.361.1888 www.olsson.com</p>	EXHIBIT
DRAWN BY: SFS	EAST 20TH STREET		<p>1 of 2</p>
DATE: 12-07-2021	KANSAS CITY, JACKSON COUNTY, MISSOURI SEC. 8-T.49N-R.33W		

Olsson - Land Surveying - MO 366, KS 114, MO Certificate of Authority-001592

RIGHT OF WAY VACATION—VILLAGE SQUARE
 OLSSON NO. 021-06242
 DECEMBER 07, 2021

RIGHT-OF-WAY VACATION DESCRIPTION:

A PORTION OF RIGHT-OF-WAY FOR EAST 20TH STREET AND WALNUT STREET, AS NOW ESTABLISHED, IN SECTION 8 TOWNSHIP 49 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN IN KANSAS CITY, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED BY OR UNDER THE DIRECT SUPERVISION OF JASON S. ROUDEBUSH, P.L.S. 2002014092 AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 515, BLOCK 38, MCGEE'S ADDITION, A SUBDIVISION OF LAND IN SAID KANSAS CITY, RECORDED IN BOOK 1 AT PAGE 36 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE SOUTH 02°08'19" WEST, 7.62 FEET; THENCE NORTH 87°48'51" WEST, 120.89 FEET; THENCE NORTH 02°10'58" EAST, 19.03 FEET; THENCE SOUTH 87°48'51" EAST, 4.91 FEET TO A POINT ON THE WEST LINE OF SAID LOT 515, ALSO BEING A POINT ON THE EXISTING EAST RIGHT-OF-WAY LINE OF WALNUT STREET AS NOW ESTABLISHED; THENCE SOUTH 02°12'17" WEST ON SAID WEST LINE AND SAID EXISTING EAST RIGHT-OF-WAY LINE, 10.36 FEET TO THE SOUTHWEST CORNER OF SAID LOT 515, ALSO BEING A POINT ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF SAID EAST 20TH STREET AS NOW ESTABLISHED; THENCE SOUTH 87°17'55" EAST ON THE SOUTH LINE OF SAID LOT 515 AND SAID EXISTING NORTH RIGHT-OF-WAY LINE, 115.99 FEET TO THE POINT OF BEGINNING. CONTAINING 1,038 SQUARE FEET OR 0.02 ACRES, MORE OR LESS.

DWG: F:\2021\06500\021-06242\40-Design\Survey\SRVY\Sheeta\ROW Vacation\V_ROW_02106242.DWG
 DATE: Dec 07, 2021 3:32pm
 USER: seahfield



PROJECT NO: 021-06242	ROW VACATION DESCRIPTION	 1301 Burlington Street North Kansas City, MO 64116 TEL 816.361.1177 FAX 816.361.1888 www.olsson.com	EXHIBIT
DRAWN BY: SFS	EAST 20TH STREET		2 of 2
DATE: 12-07-2021	KANSAS CITY, JACKSON COUNTY, MISSOURI SEC. 8-T.49N-R.33W		



CONSENT TO VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CONSENT OF LIMITED LIABILITY COMPANIES

Case No.

Owner's name	Legal description of property
<p>Safiranda MO, LLC David m Belfonte <i>[Signature]</i></p>	

(additional sheets attached as required)

STATE OF Missouri)
) ss.
COUNTY OF Jackson)

On this 8 day of March, 2020, before me, a Notary Public in and for said state, personally appeared David m Belfonte who being by me duly sworn did say that he/she is the managing member of Safiranda Mo, a MO limited liability company, and that the within instrument was signed and sealed in behalf of said limited liability company by authority of its members, and acknowledged said instrument to be the free act and deed of said limited liability company for the purposes therein stated.

Subscribed and sworn to before me on this 8 day of March, 2020.

Notary Public in and for Said County and State

[Signature]

Notary Public

My Commission Expires:

02/10/2024

YOLANDA BENTLEY
NOTARY PUBLIC-NOTARY SEAL
STATE OF MISSOURI
JACKSON COUNTY
MY COMMISSION EXPIRES 2/10/2024
COMMISSION # 15396605



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO.

UTILITY CO. ENERGY

Be it known that City of Kansas City, Missouri, being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

for the following purpose: To provide an expanded patio on the adjacent building.

- 1. Our utility/agency has facilities or interest within this right of way:
[checked] Yes (proceed to #2) [] No (form complete)
2. Our utility/agency:
[checked] has no objections
[] objects to the vacation and will not waive objection under any conditions (describe below)
[] will waive objections subject to the following conditions (describe below)
[] Retain utility easement and protect facilities
[] Relocate facilities
[] Other:

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
• Please return this form to the applicant within 30 days.

AMAR CHEEMA [Signature]
Authorized Representative

11/04/2022
Date

Return this form to:
David Eickman 816.442.6046
Applicant Name Phone
Olsson
1301 Burlington #100 North Kansas City, MO 64116 deickman@olsson.com
Address Email



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

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City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO.

UTILITY co. KCMO Fire

Be it known that City of Kansas City, Missouri, being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

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for the following purpose:

1. Our utility/agency has facilities or interest within this right of way:

- Yes (proceed to #2) No (form complete)

2. Our utility/agency:

- has no objections
objects to the vacation and will not waive objection under any conditions (describe below)
will waive objections subject to the following conditions (describe below)
Retain utility easement and protect facilities
Relocate facilities
Other:

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
Please return this form to the applicant within 30 days.

M Schroeder

Authorized Representative

4/19/2022

Date

Return this form to:

David Eickman

Applicant Name

816.442.6046

Phone

Olsson

1301 Burlington #100 North Kansas City, MO 64116

Address

deickman@olsson.com

Email



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO. _____

UTILITY CO. KCMO Streetlights

Be it known that City of Kansas City, Missouri, being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

for the following purpose: _____

1. Our utility/agency has facilities or interest within this right of way:

- Yes (proceed to #2) No (form complete)

2. Our utility/agency:

- has no objections
 objects to the vacation and will not waive objection under any conditions (describe below)
 will waive objections subject to the following conditions (describe below)
 Retain utility easement and protect facilities
 Relocate facilities
 Other: See email for instructions.

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
- Please return this form to the applicant within 30 days.

Octavio Moncada
Authorized Representative

12/16/2021
Date

Return this form to:

David Eickman
Applicant Name

816.442.6046
Phone

Olsson

1301 Burlington #100 North Kansas City, MO 64116
Address

deickman@olsson.com
Email

David Eickman

From: Moncada, Octavio <Octavio.Moncada@kcmo.org>
Sent: Thursday, December 16, 2021 11:37 AM
To: Brad Freeman
Cc: Hadjian, Mahmoud; Pecina, Victor; Lowe, Stacey; Kaspar, Lucas
Subject: RE: Right of Way Vacation Request - 100 E. 20th St, KCMO 64108
Attachments: Letter of Purpose.pdf; ROW Exhibit.pdf; ROW Vacation.pdf; Agency Comment Template.pdf; Finalized JA-143-Model.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Hi Mr. Freeman,

We have existing facilities in the ROW you are wishing us to vacate. You'll need to address and send relocation plans of our facilities to Development Services to be included in your construction plans.

You can forward preliminary relocation plans for review and comments to Victor Pecina.

Thanks,

Octavio Moncada

From: Hadjian, Mahmoud
Sent: Tuesday, December 14, 2021 8:30 AM
To: Moncada, Octavio <Octavio.Moncada@kcmo.org>
Subject: FW: Right of Way Vacation Request - 100 E. 20th St, KCMO 64108

Please handle. Thanks.



Mahmoud Hadjian, PE, ENV SP, MBA
Division Manager / Assistant City Engineer
Street Lighting Services
Capital Projects Division
Public Works
City of Kansas City, Mo.
5310 Municipal Avenue
Kansas City, MO 64120
Email: mahmoud.hadjian@kcmo.org
Phone: 816-513-9852
Fax: 816-513-9876

From: Brad Freeman <bfreeman@olsson.com>
Sent: Tuesday, December 14, 2021 8:29 AM
To: Hurst, Sara <Sara.Hurst@kcmo.org>
Cc: Hadjian, Mahmoud <Mahmoud.Hadjian@kcmo.org>
Subject: Right of Way Vacation Request - 100 E. 20th St, KCMO 64108

EXTERNAL: This email originated from outside the kcmo.org organization. Use caution and examine the sender address before replying or clicking links.

Good morning,

We're looking to vacate a portion of E. 20th Street to provide room for a building addition, and require an agency comment form from your company to proceed with the vacation. Please fill out the attached comment form and return it at the soonest convenient moment. It should be noted that this vacation only affects the right-of-way for front street so your utility easement should remain unchanged in the area.

Attached you'll find.

- Agency comment form for you to fill out and return
- ROW Vacation description showing the area to be vacated
- ROW Exhibit to further clarify the vacation area
- A letter of purpose

Feel free to reach out if you have any questions and thank you for your time,

Brad Freeman, PE

Project Engineer / Civil

D 515.867.2755

1717 Ingersoll Avenue, Suite 111

Des Moines, IA 50309

O 515.331.6517



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[View Legal Disclaimer](#)



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor, Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO. _____

UTILITY CO. KC Water

Be it known that City of Kansas City, Missouri being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

for the following purpose: _____

1. Our utility/agency has facilities or interest within this right of way:
 - Yes (proceed to #2)
 - No (form complete)
2. Our utility/agency:
 - has no objections
 - objects to the vacation and will not waive objection under any conditions (describe below)
 - will waive objections subject to the following conditions (describe below)
 - Retain utility easement and protect facilities
 - Relocate facilities
 - Other: _____

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
- Please return this form to the applicant within 30 days.

Charles W. Kufner
Authorized Representative

10/28/2022
Date

Return this form to:	
<u>David Eickman</u> Applicant Name	<u>816.442.6046</u> Phone
<u>Olsson</u> Address	<u>deickman@olsson.com</u> Email
<u>1301 Burlington #100 North Kansas City, MO 64116</u>	



December 14, 2021
City Plan Commission

c/o City Planning & Development Dept
15th Floor – City Hall
414 E 12th Street
Kansas City, MO 64106

Dear Commission Members:

The purpose of this letter is to formally request Right-of-Way (ROW) vacation for a segment of E. 20th Street.

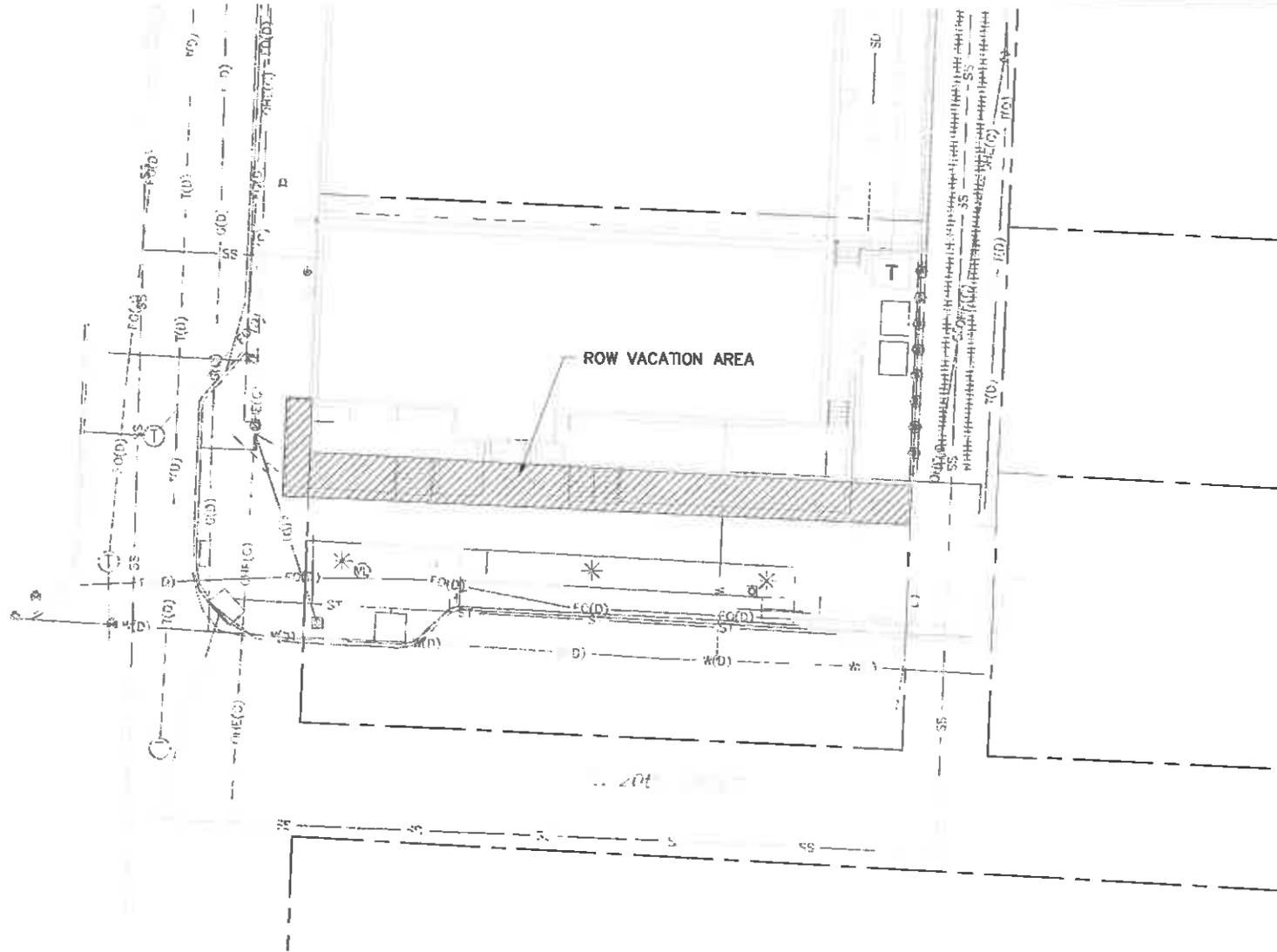
ROW Vacation will be to provide an elevated outdoor space next to the existing building, and to remove this space from the existing ROW at 100 E. 20th St, Kansas City, MO 64108. There are no known utilities or easements within this portion of ROW. This vacation request relates to approximately 0.02 acres of total vacation.

Please contact us should you have any questions and we hope you agree with this request for vacation.

Sincerely,
OLSSON, INC.

David Eickman
Technical Leader

DWG: Z:\2021\06001-06500\021-06242\40-Design\Exhibits\ROW Vacation Map\C_ROW.dwg
DATE: Dec 14, 2021 8:16am XREFS: C:\BASE_02106242 C:\BASE_02106242 USER: bfreeman



0' 10' 20'
SCALE IN FEET

PROJECT NO: 021-06242
DRAWN BY: BF
DATE: 12/14/2021

ROW VACATION

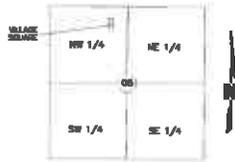
olsson
7157 Vista Drive
West Des Moines, IA 50266
TEL. 515.331.6517

EX-8BIT
1

SITE DEVELOPMENT PLANS

FOR VILLAGE SQUARE - PHASE 1

SECTION 8, TOWNSHIP 49N, RANGE 33W
IN THE CITY OF KANSAS CITY, MISSOURI
PROJECT NUMBER: CRBF-2022-50126
FILE NO: 2022-033



VICINITY MAP
S8, T49N, R33W
NOT TO SCALE

PROJECT TEAM & UTILITY CONTACT LIST	
<p>OWNER SIPRAKMA, LLC 1700 PROSPECT AVE. KANSAS CITY, MO 64107</p>	<p>DESIGNER CJW ARCHITECTURE 1501 BULESDORF ST., SUITE 100 NORTH KANSAS CITY, MO 64116 PHONE: 816.581.1177 WWW.CJWARCHITECTURE.COM</p>
<p>GENERAL CONTRACTOR 2000 CENTRAL EXPRESS, SUITE 41 SPRING CITY, MO 64089 PHONE: 816.234.8800 EMAIL: INFO@KIMBLE-ROSCHE-DEVELOPMENT.COM</p>	<p>UTILITY CONTACTS</p> <p>MOBILE SERVICE 1501 BULESDORF ST., SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: DAVID KOSMAN, P.E. PHONE: 816.581.1177 EMAIL: DKOSMAN@SIPRAKMA.COM</p>
<p>ENGINEER 1501 BULESDORF ST., SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: STEVEN B. BRONKHORST, P.E. EMAIL: SBRONKHORST@SIPRAKMA.COM</p>	<p>UTILITY CONTACTS</p> <p>SEWER 1501 BULESDORF ST., SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: DAVID KOSMAN, P.E. PHONE: 816.581.1177 EMAIL: DKOSMAN@SIPRAKMA.COM</p>
<p>ARCHITECT CJW ARCHITECTURE 1501 BULESDORF ST., SUITE 100 NORTH KANSAS CITY, MO 64116 PHONE: 816.581.1177 WWW.CJWARCHITECTURE.COM</p>	<p>UTILITY CONTACTS</p> <p>WATER 1501 BULESDORF ST., SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: DAVID KOSMAN, P.E. PHONE: 816.581.1177 EMAIL: DKOSMAN@SIPRAKMA.COM</p>



VICINITY MAP
SCALE: 1"=100'

PROPERTY DESCRIPTION
1700 PROSPECT AVE. INCLUDING SOUTH 1/4 WEST 1/4 ACROSS
IN KANSAS CITY, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART IN STREET

SHEET LIST	
NUMBER	TITLE
1	GENERAL NOTES
2	GENERAL NOTES
3	GENERAL NOTES
4	GENERAL NOTES
5	GENERAL NOTES
6	GENERAL NOTES
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100	GENERAL NOTES

SUMMARY OF QUANTITIES IN PUBLIC RIGHT-OF-WAY					
ITEM NO.	ITEM	QTY.	UNITS	AS-BUILT QTY.	AS-BUILT UNITS
1	CONNECTION TO EXISTING SEWER	1	EA.		EA.
2	PREPARATION OF AS-BUILTS	1	EA.		EA.

I CERTIFY THAT THIS PROJECT HAS BEEN DETERMINED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF KANSAS CITY, MISSOURI IN CURRENT USAGE, EXCEPT AS INDICATED BELOW:

EXCEPTIONS:
1. NONE

I HAVE BEEN PREPARED TO PROVIDE AS-BUILT DRAWINGS FOR THIS PROJECT.

OWNER: SIPRAKMA, LLC
1700 PROSPECT AVE.
KANSAS CITY, MO 64107

DATE: 10/10/2022

DESIGNER: CJW ARCHITECTURE
1501 BULESDORF ST., SUITE 100
NORTH KANSAS CITY, MO 64116
PHONE: 816.581.1177

I HAVE REVIEWED THESE PLANS AND UNDERSTAND WHAT IS PROPOSED. THE WORK WILL BE ACCOMPLISHED IN ONE CONTRACT, WITH A WORK BREAKDOWN AS FOLLOWS:

- SITE PREP & EROSION CONTROL
- SEWER CONSTRUCTION
- FINAL STABILIZATION

ANY INCIDENTAL WORK NOT SPECIFICALLY PERMITTED (i.e. FINAL CLEANUP) WILL BE COMPLETED BY THE ORIGINAL CONTRACTOR.

OWNER: SIPRAKMA, LLC
1700 PROSPECT AVE.
KANSAS CITY, MO 64107

DATE: 10/10/2022

THE POLICY OF THE "PLAN PREPARATION CRITERIA AND PROCEDURE" (PLAN CRITERIA) AND POLICY DOCUMENT NO. 000004 "AS-BUILT DRAWINGS FOR SEWER SUB-T BY PERMIT" ITTULATE THE FOLLOWING REQUIREMENTS "AS-BUILT DRAWINGS"

- DRAWINGS ARE TO BE PROVIDED WITHIN THIRTY (30) CALENDAR DAYS AFTER THE DATE THE "REQUEST FOR AS-BUILT" LETTER IS ISSUED BY THE CITY TO THE PERMITTEE.
- DRAWINGS MUST BE ACCEPTED BY THE CITY BEFORE ANY SERVICE CONNECTIONS WILL BE ALLOWED.
- DRAWINGS ARE PART OF THE PERMIT OBLIGATIONS MAKING THEM THE RESPONSIBILITY OF THE PERMITTEE.
- THE COST OF PREPARING "AS-BUILT" DRAWINGS SHALL BE INCLUDED IN THE PERFORMANCE BOND.

NOTES:
1. PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS AND ADD THE PERMIT TYPE AND NUMBER ON THEM AND THEN SUBMIT THEM TO THE CITY PLANNING & DEVELOPMENT DEPT., LAND DEVELOPMENT DIVISION, DEVELOPMENT SERVICES ON THE 5TH FLOOR OF CITY HALL, 416 E 12TH ST., ROOM 04508.



THE CONTRACTOR SHALL AGREE TO BE RESPONSIBLE FOR THE PROVISION OF THE SERVICE BILLS AND FOR THE GENERAL INTEREST OF THE STATE OF MISSOURI AND THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF THE SERVICE BILLS AND FOR THE GENERAL INTEREST OF THE STATE OF MISSOURI AND THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF THE SERVICE BILLS AND FOR THE GENERAL INTEREST OF THE STATE OF MISSOURI AND THE PUBLIC.



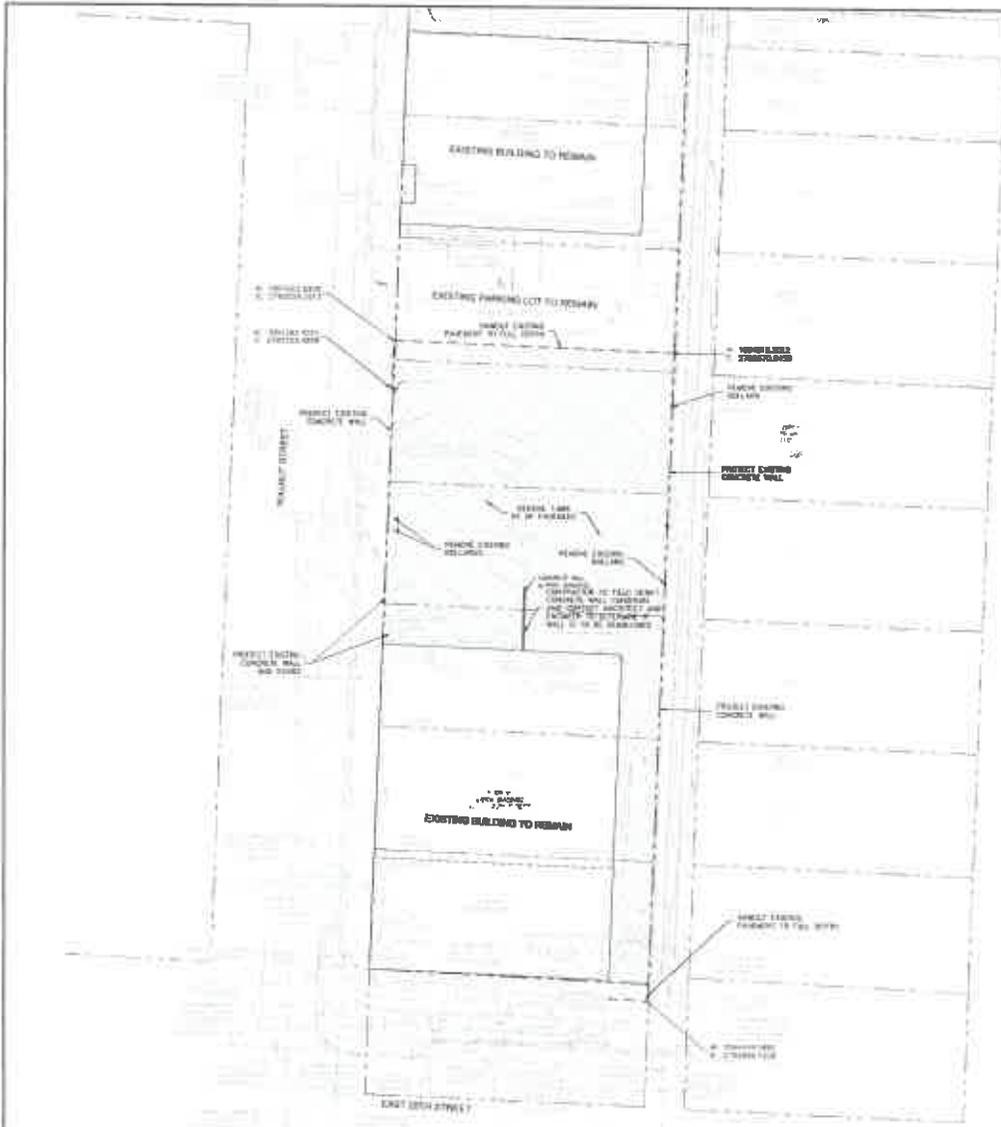
CITY DOGS - TENANT IMPROVEMENT

VILLAGE SQUARE
100 E 20th ST.
KANSAS CITY, MISSOURI 64108

DESIGNED BY
CJW ARCHITECTURE
1501 BULESDORF ST., SUITE 100
NORTH KANSAS CITY, MO 64116
PHONE: 816.581.1177
WWW.CJWARCHITECTURE.COM

PROFESSIONAL SEAL
Steven B. Bronkhorst, P.E.
000004
10/10/2022

COVER SHEET



LEGEND:

---	PROPERTY BOUNDARY
---	PRICE LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	SHOULDER EXISTING PAVEMENT
---	REMOVE PAVEMENT



CITY DOGS - TENANT IMPROVEMENT

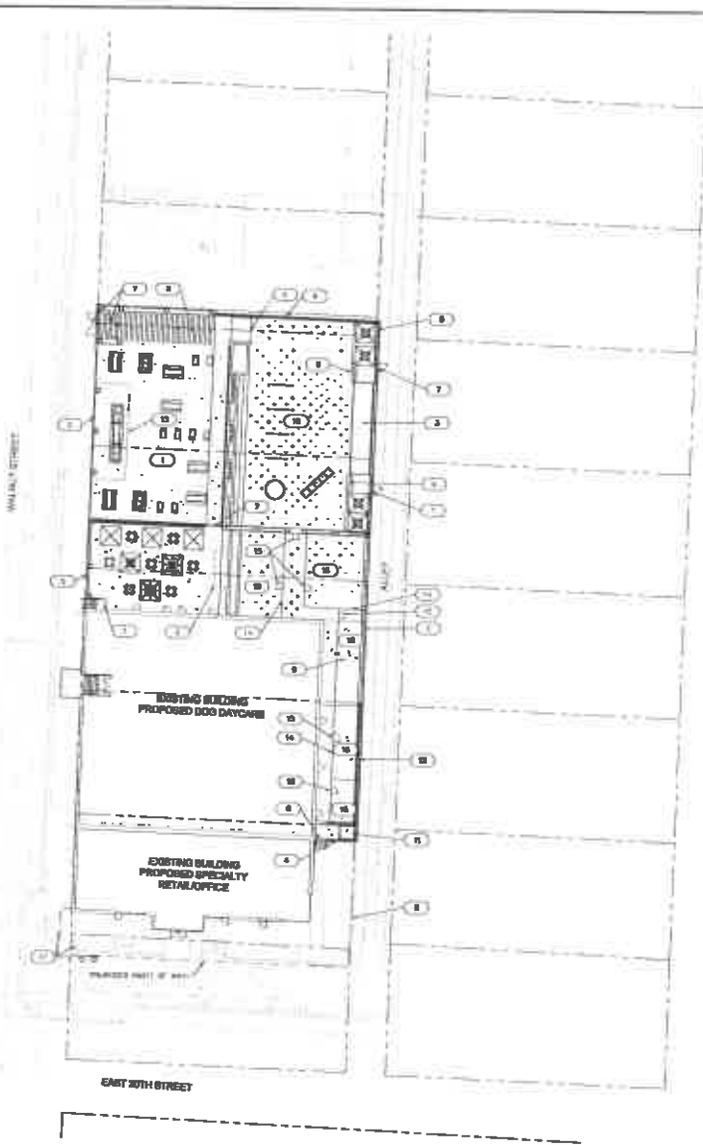
VILLAGE SQUARE
 100 E 20th ST.
 KANSAS CITY, MISSOURI 64108

DATE: 11/10/21
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT NO: 21-001

PROFESSIONAL SEAL
C0.2
 JAMES B. BROWN, P.E.
 LICENSE NO. 0000000000

PERMIT / BID SET

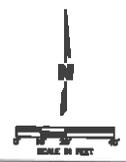
EXISTING CONDITIONS & DEMOLITION PLAN



- NOTES**
1. REVIEW OF THIS DRAWING SHALL BE APPROVED BY THE CITY ENGINEER.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF KANSAS CITY.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF KANSAS CITY.
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 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF KANSAS CITY.



- SITE PLAN NOTES**
1. ALL FINISH SURFACES ARE TO BE FINISHED TO THE FACE OF CURB, OR TO THE FACE OF PAVEMENT WHERE NO CURB IS PROVIDED, UNLESS OTHERWISE NOTED. UNFINISHED SURFACES SHALL BE FINISHED TO THE FACE OF CURB OR TO THE FACE OF PAVEMENT WHERE NO CURB IS PROVIDED, UNLESS OTHERWISE NOTED.
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CITY DOGS - TENANT IMPROVEMENT

VILLAGE SQUARE
 100 E 20th ST.
 KANSAS CITY, MISSOURI 64108

CONTRACT NO. 2021-001
 PROJECT NO. 2021-001
 SHEET NO. 1 OF 1

PROFESSIONAL SEAL
C10
 ARCHITECTURE, INC.
 2100

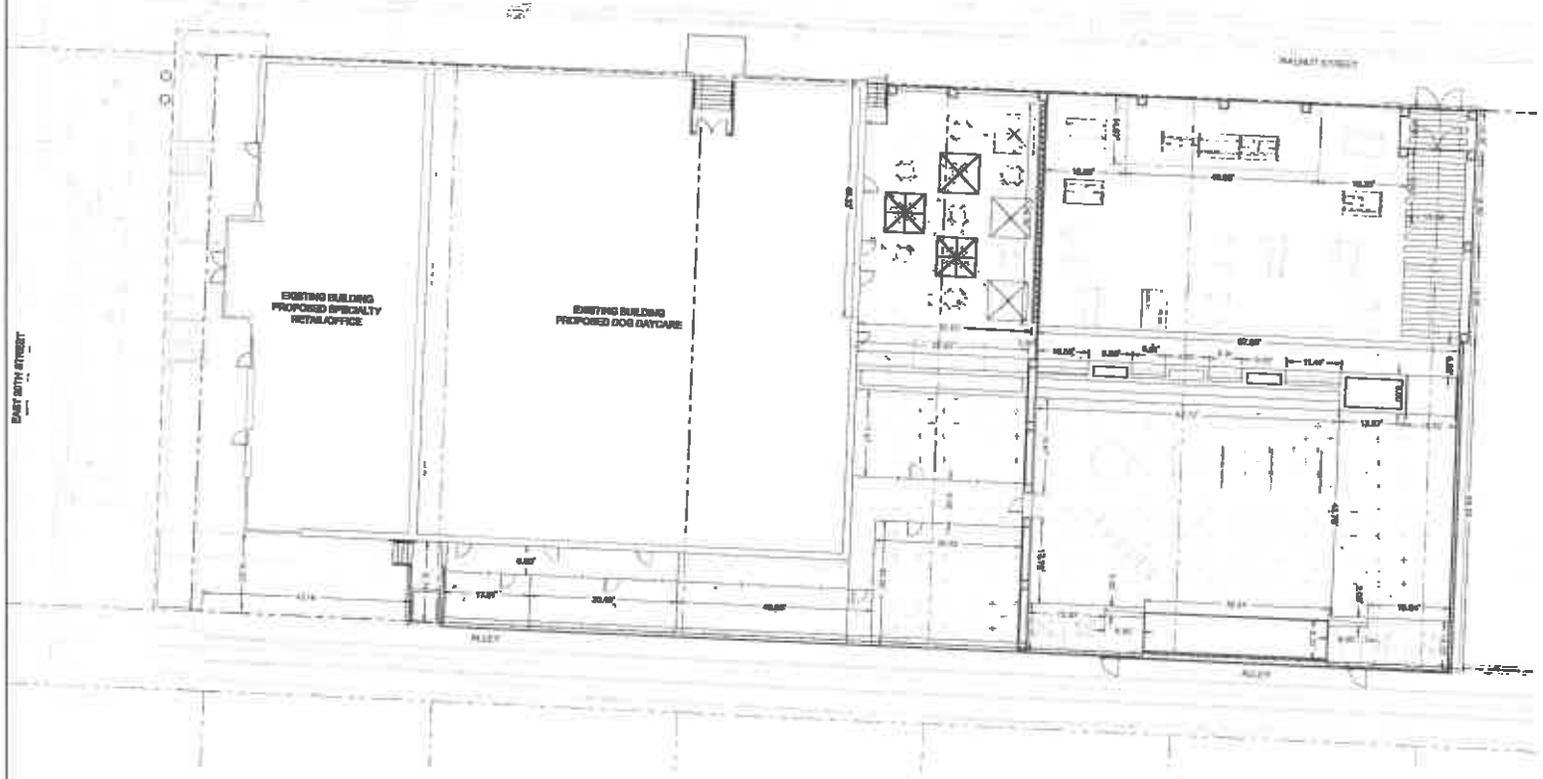
OVERALL SITE PLAN

PERMIT / BID SET

28 November 2021

PAVING LEGEND

-  INSTALL 4" FGD CONCRETE PAVEMENT
-  INSTALL 2"MP, 18" CONSTRUCTION STABILIZER, 4" SIKKY CLS
-  INSTALL COARSE GRANITE CURB



**CITY DOGS - TENANT
IMPROVEMENT**

VILLAGE SQUARE

100 E 20th ST.
KANSAS CITY, MISSOURI 64108



PROFESSIONAL SEAL

C1.1

STATE OF MISSOURI
COLLEGE ROAD 22

DIMENSIONING PLAN

2021 001 100 E 20th St., Lark, Kansas, (Project #1001) | 04/24/2021 | 1

PERMIT / BID SET



SCALE IN FEET

GENERAL NOTES

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT APPLICABLE CITY STANDARDS AND SPECIFICATIONS OF THE WATER SERVICES DEPARTMENT ENGINEERING DIVISION OF THE CITY OF KANSAS CITY, MISSOURI.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE WATER SERVICES ENGINEERING DIVISION OF THE CITY OF KANSAS CITY, MISSOURI.
3. LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS.
4. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE DEVELOPER SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
5. SUBGRADE SOIL FOR ALL CONCRETE STRUCTURES, REGARDLESS OF THE TYPE OR LOCATION, SHALL BE FIRM, BENEATH AND THOROUGHLY COMPACTED AND CONSOLIDATED. SHALL BE FREE FROM BRICK AND BOLD, AND SHALL BE SUFFICIENTLY STABLE TO REMAIN FIRM AND INTACT UNDER THE FEET AND WHEELS, AND SHALL BE SUFFICIENTLY STABLE TO REMAIN FIRM AND INTACT UNDER THE FEET AND WHEELS OF THE WORKMEN OR MACHINERY EMPLOYED IN SUBGRADE SURFACING, LAYING REINFORCING STEEL, AND DEPOSITING CONCRETE THEREON. IN ALL CASES WHERE SUBSOIL IS MUCKY OR WORKS INTO SAND OR GRAVEL DURING SUCH OPERATION, A SEAL COURSE OF EITHER CONCRETE OR ROCK SHALL BE PLACED BELOW SUBGRADE TO PROVIDE A FIRM BASE FOR WORKING AND FOR PLACING THE FLOOR SLAB.
6. PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS AND ADD THE PERMIT TYPE AND NUMBER BY THEM AND THEN SUBMIT THEM TO THE CITY PLANNING & DEVELOPMENT DEPT., LAND DEVELOPMENT DIVISION ON THE 6TH FLOOR OF CITY HALL, 214 E. 12TH ST. MO 64108.
7. EROSION CONTROL PLANS AND PROCEDURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION.
8. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
9. SLOPE OF PIPE IS CALCULATED BY DIVIDING THE DIFFERENCE IN ELEVATION OF FINISH ELEVATIONS BY THE LINEAL FOOT BETWEEN MANHOLES.
10. KMO STANDARDS, DRAWINGS, SPECIFICATIONS, AND SUPPLEMENTS ARE AVAILABLE ONLINE AT WWW.KCMO.GOV/STANDARDS/PUBLICWORKS/STANDARDS/STANDARDS/INDEX.PDF
11. ALL FITTINGS AND SERVICE LINES SHALL BE CONSTRUCTED OF SAME MATERIAL AS THE MAIN SEWER.
12. VERTICAL RISERS SHALL BE INSTALLED @ A 45° VERTICAL ANGLE TO THE MAIN SEWER. VERTICAL FOOT MEASUREMENTS ARE VERTICAL, NOT SLOPE MEASUREMENTS.
13. DEVELOPER SHALL PROVIDE CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER THAT VERIFY THE STRUCTURAL INTEGRITY OF THE MANHOLES AND VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
14. MANHOLE STEPS SHALL CONFORM WITH KMO DETAIL MH-S.
15. MANHOLE RING AND COVER TO CONFORM WITH KMO STD SPECIFICATION SECTION 2100 AND SHALL CONTAIN THE WORD "SEWER" AND BEAR THE KMO LOGO.
16. DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF GROUNDWATER AS NECESSARY FOR CONSTRUCTION. Dewatering system shall be designed to keep groundwater to a depth of 1 FOOT BELOW PIPE @ STRUCTURES.
17. BEDDING PER KMO DETAIL PB-2. BEDDING GRADATION SHALL FOLLOW THE CURRENT KMO APWA SPECIFICATION FOR SANITARY SEWER PIPE BEDDING.
18. DEVELOPER SHALL PROVIDE AS-BUILT LOCATION OF MANHOLES AND END OF STUBS. DEVELOPER MUST ALSO SUBMIT A COPY OF THE FINAL VIDEO AT FINAL TESTING.
19. THE DEVELOPER MUST REMOVE AT HIS COST ANY BAD SUBSURFACE SOIL WHICH WOULD NOT BE ABLE TO SUPPORT ANY PROPOSED PUBLIC IMPROVEMENT. BACKFILL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTIONS 2100 AND 2201 ENTITLED "GRADING AND SITE PREPARATION" AND "SUBGRADE PREPARATION".
20. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING INFRASTRUCTURE AND/OR STORM SEWER DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT THE CONTRACTOR'S EXPENSE.

MANHOLE NOTES

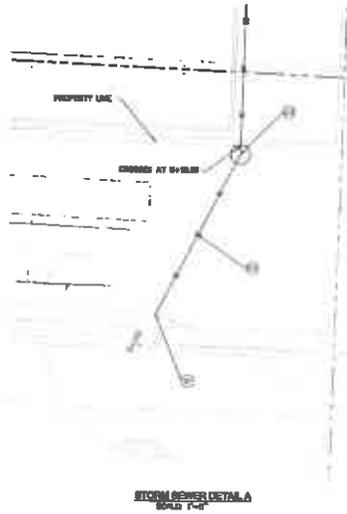
1. MODIFICATIONS TO THE EXISTING STRUCTURE SHALL BE SPECIFIED FOR SUITABILITY OF THE PROPOSED CONNECTION. IF IT IS DETERMINED THAT THE STRUCTURE HAS BEEN DAMAGED BY THE MODIFICATIONS IT SHALL BE REMOVED AND REPLACED WITH A NEW STRUCTURE EQUIPPED WITH A SURBOUT.
2. CORE AND CONNECT TO EXISTING MANHOLE IF MANHOLE IS DAMAGED. CONTRACTOR SHALL REMOVE AND REPLACE AT THE CONTRACTOR'S EXPENSE. IF ANY PART OF THE EXISTING MANHOLE IS CONSTRUCTED OF BRICK THE ENTIRE MANHOLE SHALL BE REMOVED AND REPLACED.
3. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY BYPASS PUMPING NECESSARY TO MAKE THE CONNECTION TO THE EXISTING MANHOLE. CONTRACTOR SHALL PROVIDE THE WATER SERVICES DEPARTMENT A PLAN OF ACTION FOR THIS CONNECTION. THIS CONNECTION AND BYPASS PUMPING SHALL BE COORDINATED WITH THE WATER SERVICES DEPARTMENT.

LEGEND

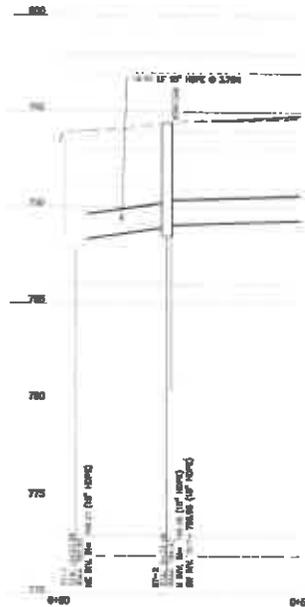
- PROPERTY LINE
- - - - - PROPOSED SANITARY SEWER
- - - - - SANITARY SEWER CASHEMENT
- - - - - SANITARY SEWER CASHEMENT CENTERLINE
- - - - - EXISTING SURFACE CONTOUR

STORM SEWER NOTES

1. VERIFY EXISTING MANHOLE FOR ROAD BEHINDERS AND SPECIFICALLY CONTRACTOR TO VERIFY EXISTING GRADE AND REPORT CORRECT MEASUREMENTS OF ANY DISCREPANCIES.
 - BY 10 = 10.00' (10' HIGH)
 - BY 100 = 100.00' (100' HIGH)
2. INITIAL VALUE OF 10' PIPE IS 3.75'
3. INITIAL 10' PIPELAYS SHALL BE WITH BEELD GRADE FROM 75.42'
4. BY 10 = 10.00' (10' HIGH)
5. BY 100 = 100.00' (100' HIGH)



STORM SEWER DETAIL A
SCALE 1"=1'



CITY DOGS - TENANT IMPROVEMENT

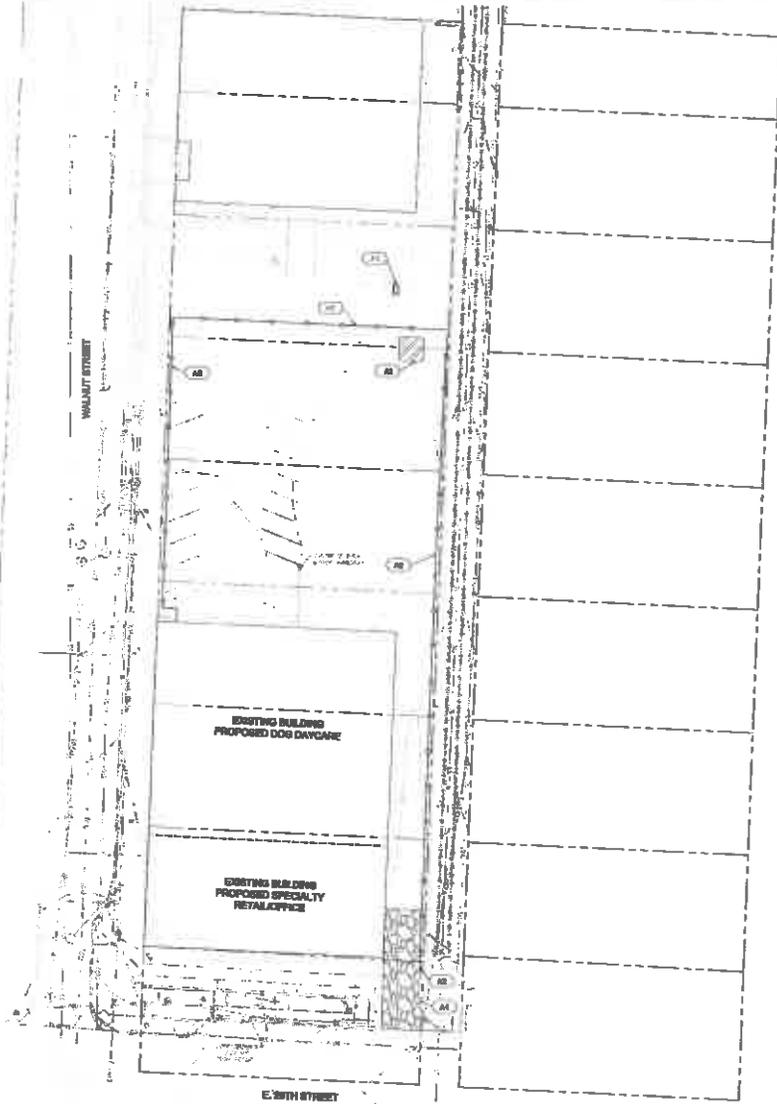
VILLAGE SQUARE
100 E 20th ST.
KANSAS CITY, MISSOURI 64108

CONSULTING ENGINEER
REGISTERED PROFESSIONAL ENGINEER
NO. 000000000

PROFESSIONAL SEAL
C3.1
KANSAS REGISTERED PROFESSIONAL ENGINEER
COLLEGE NO. 000000000 2004

STORM CONNECTION PLAN

PERMIT / BID SET



- NOTES**
1. PRIOR TO THE GRADING, CONTRACTOR SHALL CONSIDER WHETHER THERE ARE EXISTING PERMITS UNDER ESD-02. SEE SHEET 1000 FOR MORE DETAILS.
 2. PRIOR TO ANY GRADING OR OTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS AND PROVIDER OF THE PROJECTS TO BE GRANTED AND INDICATED AS REQUIRED FOR CONSTRUCTION ACTIVITIES AND PERMITS.
 3. PRIOR TO ANY GRADING OR OTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL INSTALL LATE STAGE SOIL BUILT PROTECTION FOR APPLICABLE ESD-02.

EROSION CONTROL STAGING CHART				
PROJECT STAGE	CONTROL BMP REFERENCE	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES
A - PRECON	A1	CONCRETE CURBOUT		INSTALL PER APPLICABLE ESD-02
	A2	ERTILE	B	INSTALL PER APPLICABLE ESD-04
	A3	AREA BUILT PROTECTION	B	INSTALL PER APPLICABLE ESD-07
	A4	CONSTRUCTION ENTRANCE		INSTALL PER APPLICABLE ESD-04

LEGEND	
[Pattern]	STABILIZED CONSTRUCTION ENTRANCE
[Pattern]	CONCRETE CURBOUT
[Pattern]	ERTILE
[Pattern]	AREA BUILT PROTECTION
[Pattern]	SOIL BUILT PROTECTION



CITY DOGS - TENANT IMPROVEMENT

VILLAGE SQUARE

100 E 20th ST.
KANSAS CITY, MISSOURI 64108

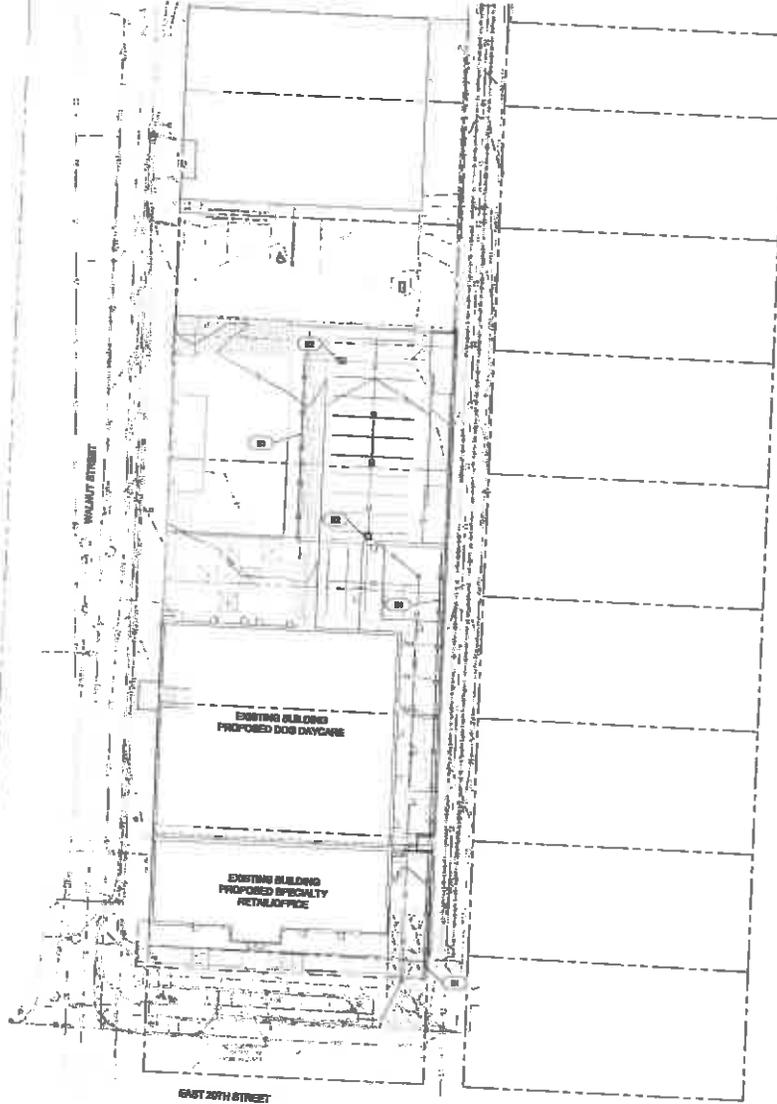
PROJECT NO: 21-001
SHEET NO: 1000
DATE: 11/15/21

APPROVED BY: [Signature]
DATE: 11/15/21

PROFESSIONAL SEAL
C4.0

EROSION CONTROL PLAN - PHASE 1

PERMIT / BID SET



- NOTES**
1. PRIOR TO THE GENERAL CONTRACTOR SHALL CONSULT EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01. SEE SHEET EROSION CONTROL DETAILS.
 2. PRIOR TO ANY CLEARING OR OTHER CONSTRUCTION ACTIVITIES CONTRACTOR SHALL EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01. SEE SHEET EROSION CONTROL DETAILS.
 3. PRIOR TO ANY CLEARING OR OTHER CONSTRUCTION ACTIVITIES CONTRACTOR SHALL EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01. SEE SHEET EROSION CONTROL DETAILS.



EROSION CONTROL STAGING CHART

APWA DETAIL REFERENCE	CONTROL STAGE REFERENCE	STAGE DESCRIPTION	REMOVE AFTER STAGE	NOTES
	1			
B - EROSION SEVERE INSTALLATION	B1	WAYLIFE		INSTALL PER APWA DETAIL E30-04
	B2	AREA SILET PROTECTION	C	INSTALL PER APWA DETAIL E30-07
C - STABILIZATION	C1	SEE 900 AND STORAGE ALL MATERIALS AREAS AND INSTALL ALL PLANTING PER LANDSCAPE PLANS		ALL DISTURBED AREAS SHALL BE PROPPED FOR EROSION/SLIDING PER EROSION/SLIDING SPECIFICATIONS OF 900/900 SHALL BE DONE IN ACCORDANCE WITH 900/900 2004. THE SPEC DISTURBED POINT SHALL BE MARKED IN AN "OPEN" STAGES WITH FINAL ACCEPTANCE FOR 900/900 2004.

LEGEND

PHASE 1	PHASE 2	DESCRIPTION
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01
[Symbol]	[Symbol]	EROSION CONTROL STAGING CHART PER APWA DETAIL E30-01



CITY DOGS - TENANT IMPROVEMENT

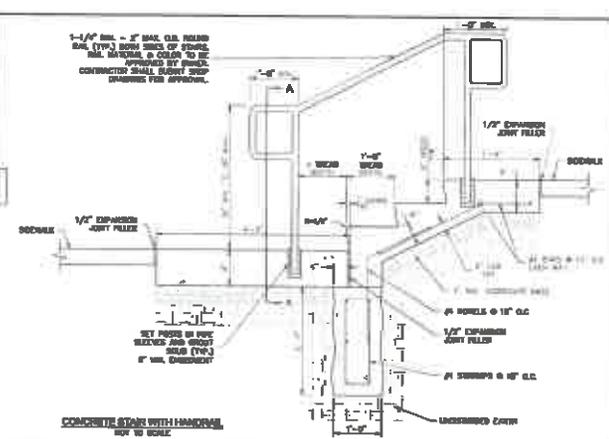
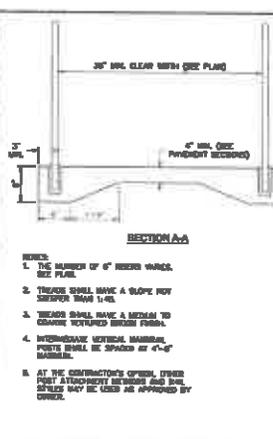
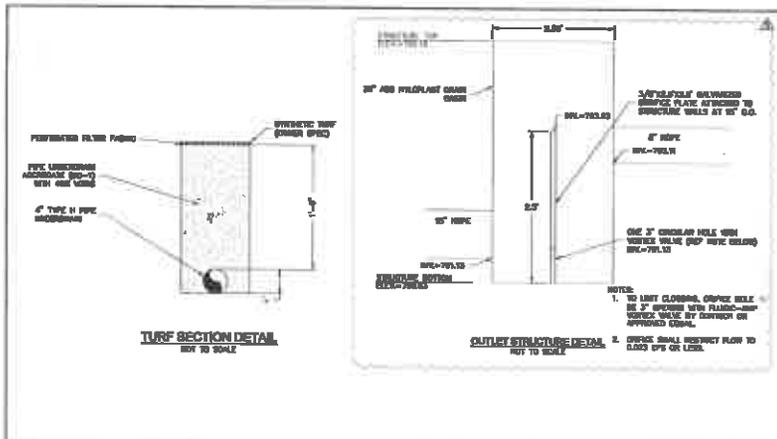
VILLAGE SQUARE
100 E 20th ST.
KANSAS CITY, MISSOURI 64108



C4.1

EROSION CONTROL PLAN - PHASE 2

PERMIT / BID SET



ACO DRAIN
Type 4000/4000 (with optional channel system)

ACO Specification Information

Item	Description	Quantity	Unit
1	ACO DRAIN 4000/4000	10	Linear Feet
2	ACO DRAIN 4000/4000 (with optional channel system)	10	Linear Feet

ACO DRAIN
Manufacture - ACO Channel steel edge with channel system

ACO Specification Information

Item	Description	Quantity	Unit
1	ACO DRAIN Channel steel edge with channel system	10	Linear Feet

ACO DRAIN

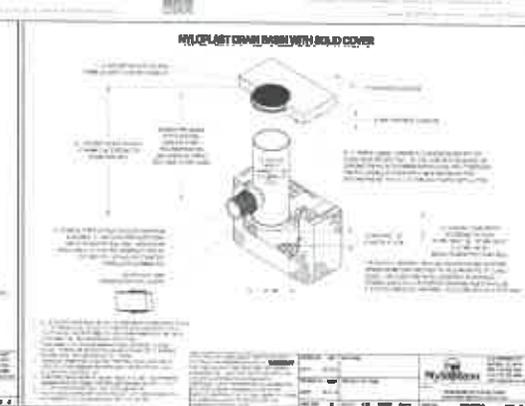
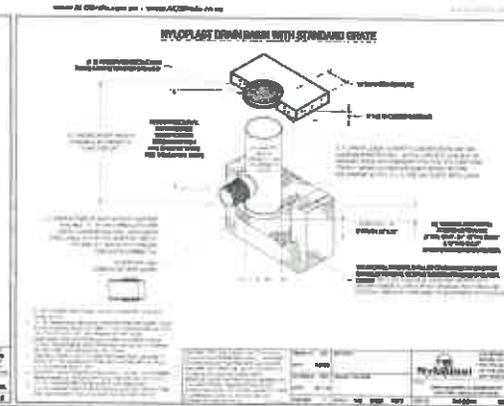
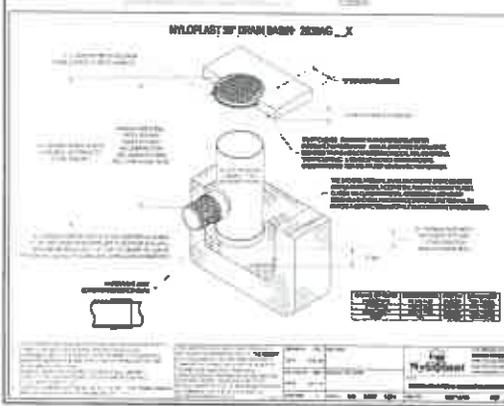
ACO Specification Information

Item	Description	Quantity	Unit
1	ACO DRAIN	10	Linear Feet

ACO DRAIN
Type 4000/4000 (with optional channel system)

ACO Specification Information

Item	Description	Quantity	Unit
1	ACO DRAIN 4000/4000 (with optional channel system)	10	Linear Feet



CITY DOGS - TENANT IMPROVEMENT

VILLAGE SQUARE
100 E 20th ST.
KANSAS CITY, MISSOURI 64108

CITYCOMMERCE BANK
CITYCOMMERCE BANK
CITYCOMMERCE BANK
CITYCOMMERCE BANK

C5.0

CONSTRUCTION DETAILS



PETITION FOR VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

To the Honorable Council of Kansas City, Missouri:

The undersigned, being an owner of real estate fronting and abutting on the portion of the area hereinafter described, for the vacation of which this petition is filed, does hereby petition the Council of Kansas City to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

The undersigned petitioner agrees in consideration of the vacation that if, because of said vacation, any public improvements are to be made, or repaired, or made or repaired by the



PETITION FOR VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
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City on any street, avenue, alley, thoroughfare or public property intersected by the area to be vacated, the cost of such improvements or repairs shall be paid by the undersigned petitioner upon demand from the City.

Filed _____, 20____

_____ by _____
City Clerk Deputy

Following are the names of the property owners owning or claiming to own all the property abutting said area proposed to be vacated:

Owner's name	Legal description of property	Residence of owner
Safarada MO, LLC	A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.	7101 NW Antioch Rd Gladstone, MO 64119



PETITION FOR VACATION OF STREETS, ALLEYS AND PLATS

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Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

(attach additional sheets if required)



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO. _____

UTILITY CO. Public Works - Streets & Traffic

Be it known that City of Kansas City, Missouri, being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

for the following purpose: _____

1. Our utility/agency has facilities or interest within this right of way:

- Yes (proceed to #2) No (form complete)

2. Our utility/agency:

- has no objections
 objects to the vacation and will not waive objection under any conditions (describe below)
 will waive objections subject to the following conditions (describe below)
 Retain utility easement and protect facilities
 Relocate facilities
 Other: _____

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
- Please return this form to the applicant within 30 days.

[Signature]
Authorized Representative

10/12/22
Date

Return this form to:

David Eickman 816.442.6046
Applicant Name Phone

Olsson

1301 Burlington #100 North Kansas City, MO 64116 deickman@olsson.com
Address Email



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO.

UTILITY CO. Spire

Be it known that City of Kansas City, Missouri, being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

for the following purpose:

- 1. Our utility/agency has facilities or interest within this right of way:
[] Yes (proceed to #2) [X] No (form complete)
2. Our utility/agency:
[] has no objections
[] objects to the vacation and will not waive objection under any conditions (describe below)
[] will waive objections subject to the following conditions (describe below)
[] Retain utility easement and protect facilities
[] Relocate facilities
[] Other:

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
Please return this form to the applicant within 30 days.

Johnny Strauss - Right of Way Representative for Spire Johnny Strauss 1/3/2022
Authorized Representative Date

Return this form to:
David Eickman 816.442.6046
Applicant Name Phone
Olsson
1301 Burlington #100 North Kansas City, MO 64116 deickman@olsson.com
Address Email



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO. _____

UTILITY CO. Vicinity Energy

Be it known that City of Kansas City, Missouri, being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

for the following purpose: _____

1. Our utility/agency has facilities or interest within this right of way:

- Yes (proceed to #2) No (form complete)

2. Our utility/agency:

- has no objections
 objects to the vacation and will not waive objection under any conditions (describe below)
 will waive objections subject to the following conditions (describe below)
 Retain utility easement and protect facilities
 Relocate facilities
 Other: _____

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
- Please return this form to the applicant within 30 days.

Craig McNeil, Vicinity Distribution Supervisor Craig McNeil 9/22/2022
Authorized Representative Date

Return this form to:

David Eickman 816.442.6046
Applicant Name Phone
Olsson
1301 Burlington #100 North Kansas City, MO 64116 deickman@olsson.com
Address Email



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor; Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO. _____

UTILITY CO. AT&T

Be it known that City of Kansas City, Missouri, being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

for the following purpose: _____

1. Our utility/agency has facilities or interest within this right of way:

- Yes (proceed to #2) No (form complete)

2. Our utility/agency:

- has no objections
 objects to the vacation and will not waive objection under any conditions (describe below)
 will waive objections subject to the following conditions (describe below)
 Retain utility easement and protect facilities
 Relocate facilities
 Other: _____

ATT HAS FACILITIES CROSSING THE AREA OF THE VACATE REQUEST AND FACILITES THAT SERVE 100 E 20TH ST. ATT CAN RELOCATE CABLES AT PARTITIONERS EXPENSE OR AN EASEMENT CAN BE ESTABLISHED TO PROTACT THE FACILITIES

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
- Please return this form to the applicant within 30 days.

RUSSELL CROFT

Russell Croft
Authorized Representative

12/14/21
Date

Return this form to:

David Eickman

Applicant Name

816.442.6046

Phone

Olsson

1301 Burlington #100 North Kansas City, MO 64116

Address

deickman@olsson.com

Email



UTILITY/AGENCY COMMENTS VACATION OF STREETS, ALLEYS AND PLATS

City Planning & Development Department
City Hall, 414 E. 12th Street, 15th floor, Kansas City, MO 64106-2795
Phone (816) 513-2846 | Fax (816) 513-2838 | www.kcmo.gov/planning

CASE NO. _____

UTILITY CO. CHARTER / SPECTRUM

Be it known that City of Kansas City, Missouri, being owners of real estate abutting on the below described street, alley or plat desires to petition the City of Kansas City, Missouri to pass an ordinance vacating:

A portion of right-of-way for East 20th Street and Walnut Street, as now established, in Section 8 Township 49 North, Range 33 West of the 5th Principal Meridian in Kansas City, Jackson County, Missouri being bounded and described by or under the direct supervision of Jeffrey P. Means, P.L.S. 2000147866 as follows: Beginning at the Southeast corner of Lot 515, Block 38, MCGEE'S ADDITION, a subdivision of land in said Kansas City, recorded in Book 1 at Page 36 in the Jackson County Recorder of Deeds Office ; thence South 02°08'19" West, 7.62 feet; thence North 87°48'51" West, 120.89 feet; thence North 02°10'58" East, 19.03 feet; thence South 87°48'51" East, 4.91 feet to a point on the West line of said Lot 515, also being a point on the existing East right-of-way line of Walnut Street as now established; thence South 02°12'17" West on said West line and said existing East right-of-way line, 10.36 feet to the Southwest corner of said Lot 515, also being a point on the existing North right-of-way line of said East 20th Street as now established; thence South 87°17'55" East on the South line of said Lot 515 and said existing North right-of-way line, 115.99 feet to the Point of Beginning. Containing 1,038 square feet or 0.02 acres, more or less.

for the following purpose: _____

1. Our utility/agency has facilities or interest within this right of way:

- Yes (proceed to #2) No (form complete)

2. Our utility/agency:

- has no objections
 objects to the vacation and will not waive objection under any conditions (describe below)
 will waive objections subject to the following conditions (describe below)
 Retain utility easement and protect facilities
 Relocate facilities
 Other: _____

- Please discuss objections or conditions with applicant and/or City Staff Prior to returning this form.
- Please return this form to the applicant within 30 days.

Authorized Representative

05/2/2022

Date

Return this form to:

<u>David Eickman</u>	<u>816.442.6046</u>
Applicant Name	Phone
<u>Olsson</u>	
<u>1301 Burlington #100 North Kansas City, MO 64116</u>	<u>deickman@olsson.com</u>
Address	Email