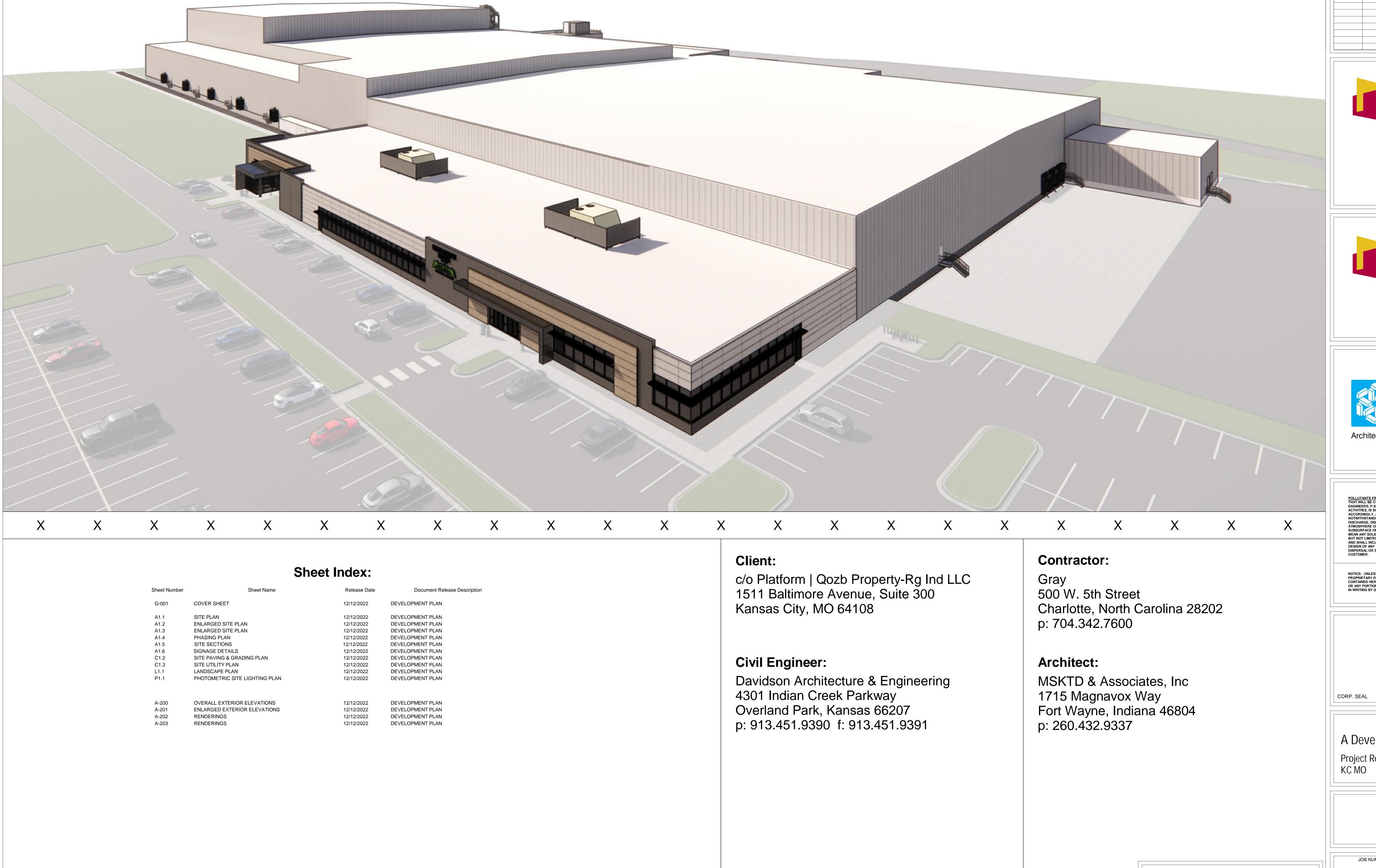
PROJECT ROYAL KCMO DEVELOPMENT PLAN RE-SUBMISSION DECEMBER 12, 2022



Sheet Numbe	r Sheet Name	Release Date	Docum
G-001	COVER SHEET	12/12/2022	DEVELOPMENT
A1.1	SITE PLAN	12/12/2022	DEVELOPMENT
A1.2	ENLARGED SITE PLAN	12/12/2022	DEVELOPMENT
A1.3	ENLARGED SITE PLAN	12/12/2022	DEVELOPMENT
A1.4	PHASING PLAN	12/12/2022	DEVELOPMENT
A1.5	SITE SECTIONS	12/12/2022	DEVELOPMENT
A1.6	SIGNAGE DETAILS	12/12/2022	DEVELOPMENT
C1.2	SITE PAVING & GRADING PLAN	12/12/2022	DEVELOPMENT
C1.3	SITE UTILITY PLAN	12/12/2022	DEVELOPMENT
L1.1	LANDSCAPE PLAN	12/12/2022	DEVELOPMENT
P1.1	PHOTOMETRIC SITE LIGHTING PLAN	12/12/2022	DEVELOPMENT
A-200	OVERALL EXTERIOR ELEVATIONS	12/12/2022	DEVELOPMENT
A-201	ENLARGED EXTERIOR ELEVATIONS	12/12/2022	DEVELOPMENT
A-202	RENDERINGS	12/12/2022	DEVELOPMENT
A-203	RENDERINGS	12/12/2022	DEVELOPMENT

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A NEW SINGLE STORY FOOD PROCESSING AND WAREHOUSE/DISTRIBUTION BUILDING

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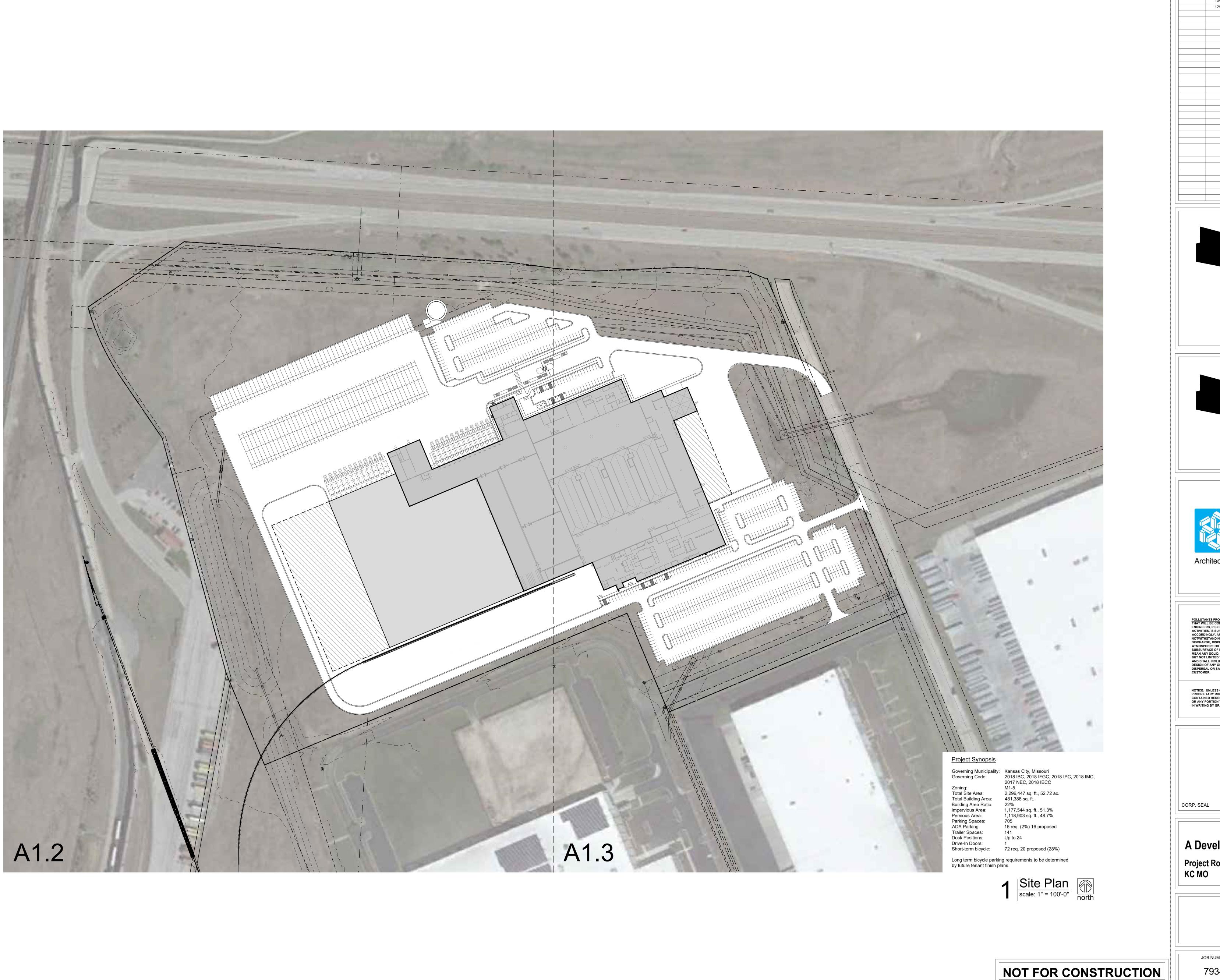
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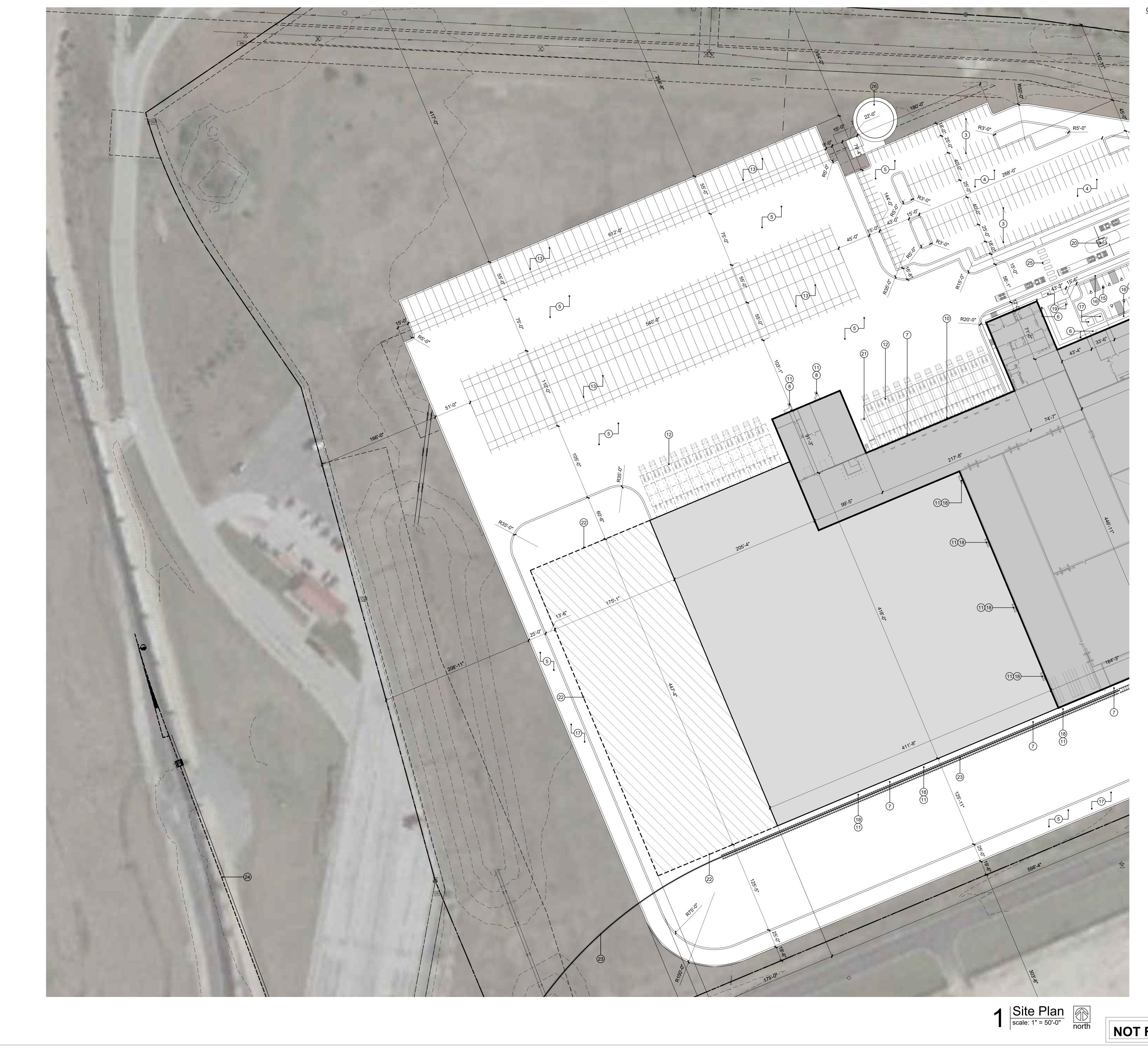
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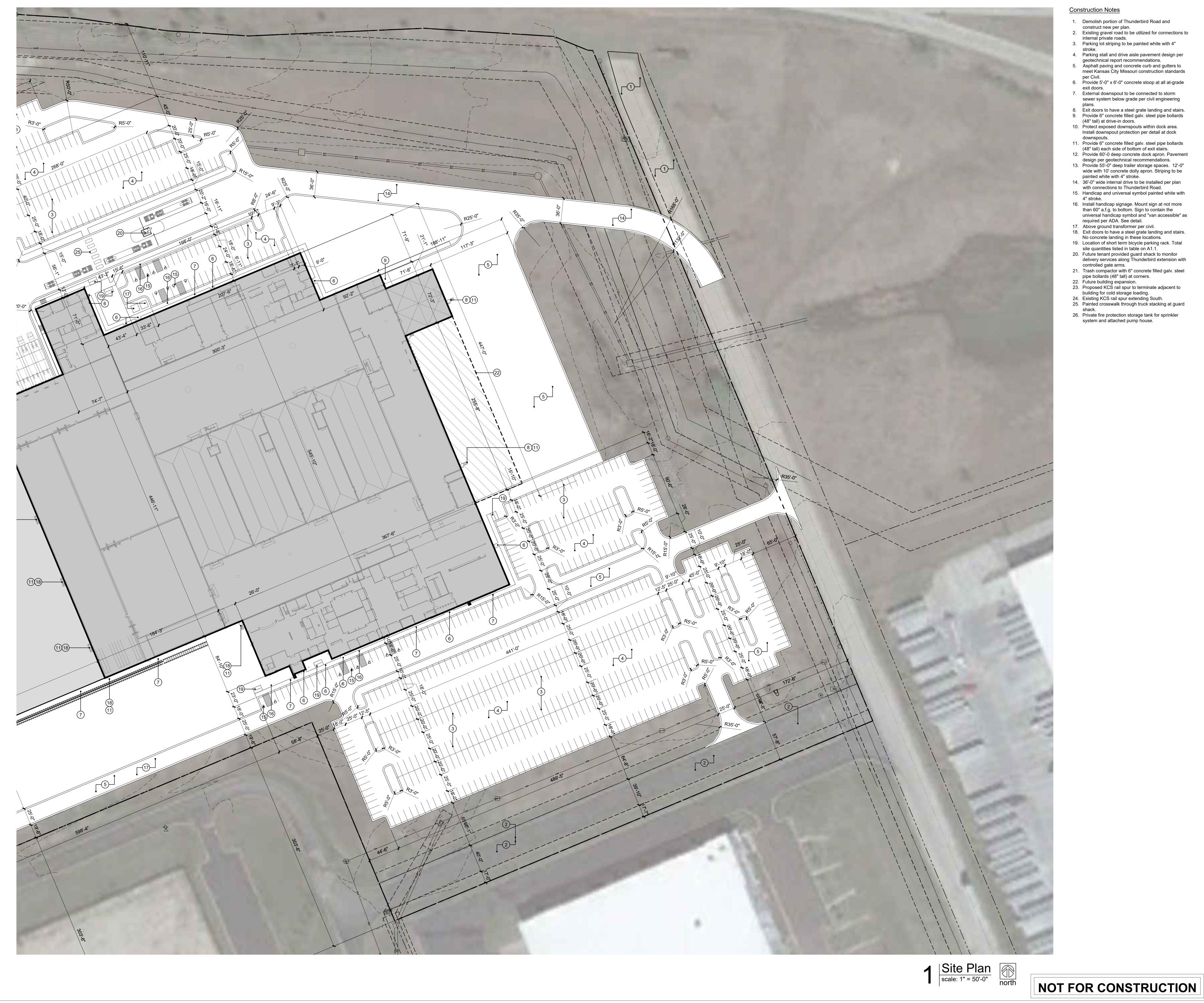
Construction Notes

- 1. Demolish portion of Thunderbird Road and construct new per plan.
- 2. Existing gravel road to be utilized for connections to internal private roads.

- 3. Parking lot striping to be painted white with 4" stroke.
- Parking stall and drive aisle pavement design per geotechnical report recommendations. 5. Asphalt paving and concrete curb and gutters to
- meet Kansas City Missouri construction standards per Civil. 6. Provide 5'-0" x 6'-0" concrete stoop at all at-grade
- exit doors. 7. External downspout to be connected to storm sewer system below grade per civil engineering
- plans. 8. Exit doors to have a steel grate landing and stairs. 9. Provide 6" concrete filled galv. steel pipe bollards
- (48" tall) at drive-in doors. 10. Protect exposed downspouts within dock area. Install downspout protection per detail at dock
- downspouts. 11. Provide 6" concrete filled galv. steel pipe bollards (48" tall) each side of bottom of exit stairs.
- 12. Provide 60'-0 deep concrete dock apron. Pavement design per geotechnical recommendations.
- Provide 55'-0" deep trailer storage spaces. 12'-0" wide with 10' concrete dolly apron. Striping to be painted white with 4" stroke.
- 14. 36'-0" wide internal drive to be installed per plan with connections to Thunderbird Road. 15. Handicap and universal symbol painted white with
- 4" stroke. 16. Install handicap signage. Mount sign at not more than 60" a.f.g. to bottom. Sign to contain the universal handicap symbol and "van accessible" as
- required per ADA. See detail. 17. Above ground transformer per civil.
- 18. Exit doors to have a steel grate landing and stairs. No concrete landing in these locations. 19. Location of short term bicycle parking rack. Total
- site quantities listed in table on A1.1. 20. Future tenant provided guard shack to monitor delivery services along Thunderbird extension with
- controlled gate arms. 21. Trash compactor with 6" concrete filled galv. steel pipe bollards (48" tall) at corners. 22. Future building expansion.
- 23. Proposed KCS rail spur to terminate adjacent to building for cold storage loading.
- 24. Existing KCS rail spur extending South. 25. Painted crosswalk through truck stacking at guard shack.
- 26. Private fire protection storage tank for sprinkler system and attached pump house.

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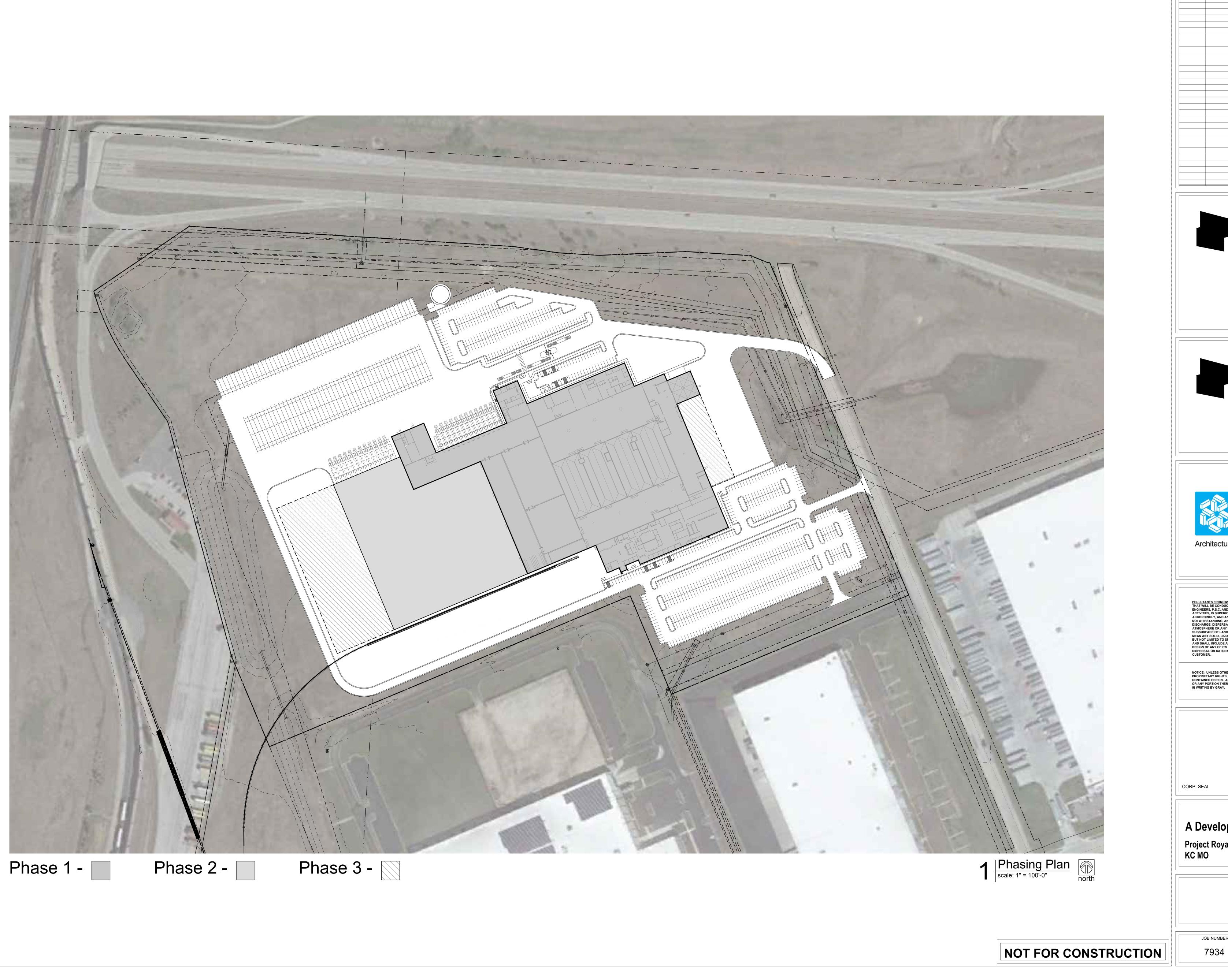


Construction Notes

1. Demolish portion of Thunderbird Road and construct new per plan.

- Existing gravel road to be utilized for connections to internal private roads.
- 3. Parking lot striping to be painted white with 4"
- Parking stall and drive aisle pavement design per geotechnical report recommendations.
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- 7. External downspout to be connected to storm sewer system below grade per civil engineering
- 8. Exit doors to have a steel grate landing and stairs.
 9. Provide 6" concrete filled galv. steel pipe bollards
- (48" tall) at drive-in doors. 10. Protect exposed downspouts within dock area. Install downspout protection per detail at dock
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 16. Install handicap signage. Mount sign at not more than 60" a.f.g. to bottom. Sign to contain the universal handicap symbol and "van accessible" as required per ADA. See detail.
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- Execution of short term bicycle parking fack. Total site quantities listed in table on A1.1.
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 Existing KCS rail spur extending South.
 Painted crosswalk through truck stacking at guard abade
- shack.26. Private fire protection storage tank for sprinkler system and attached pump house.

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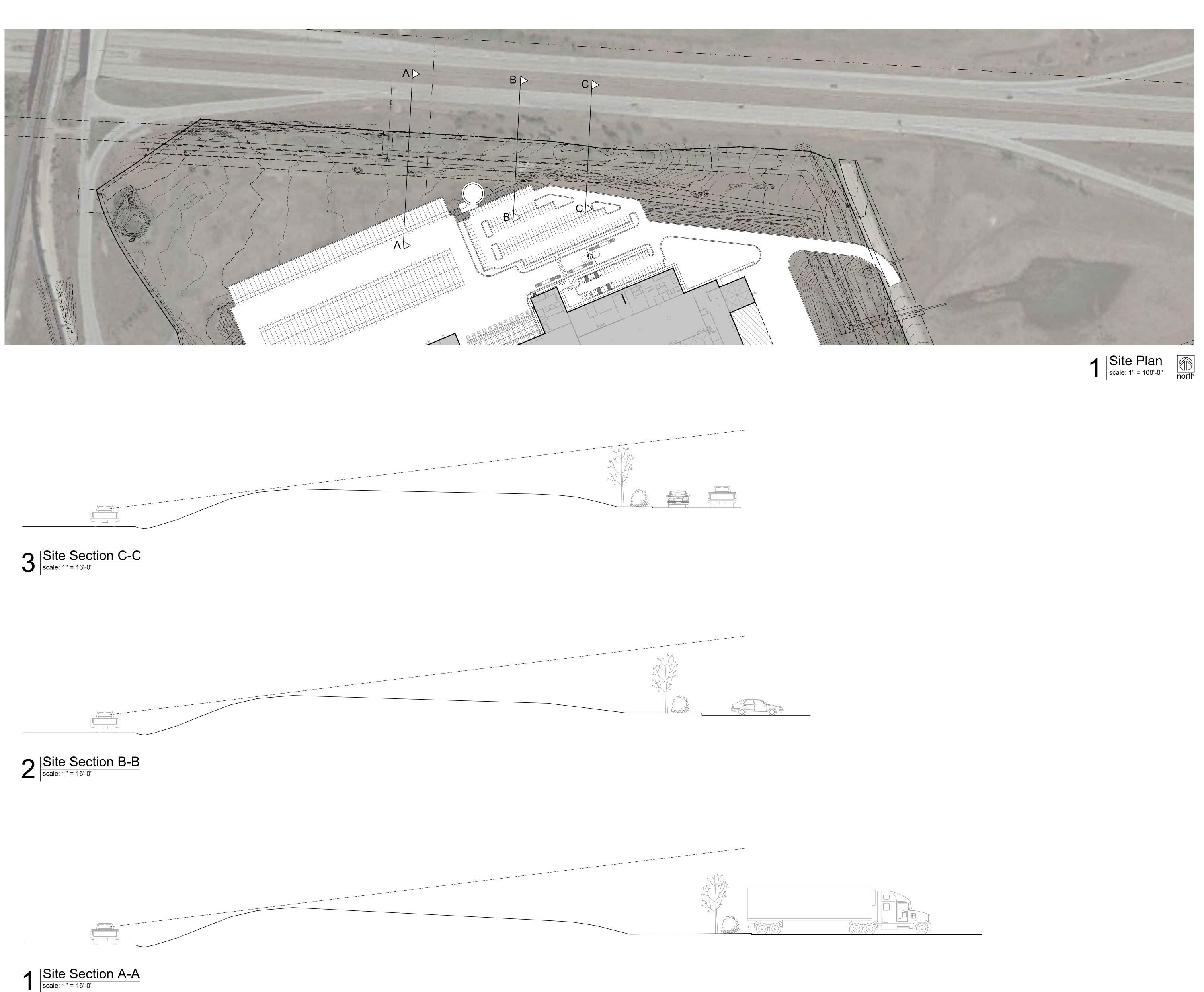
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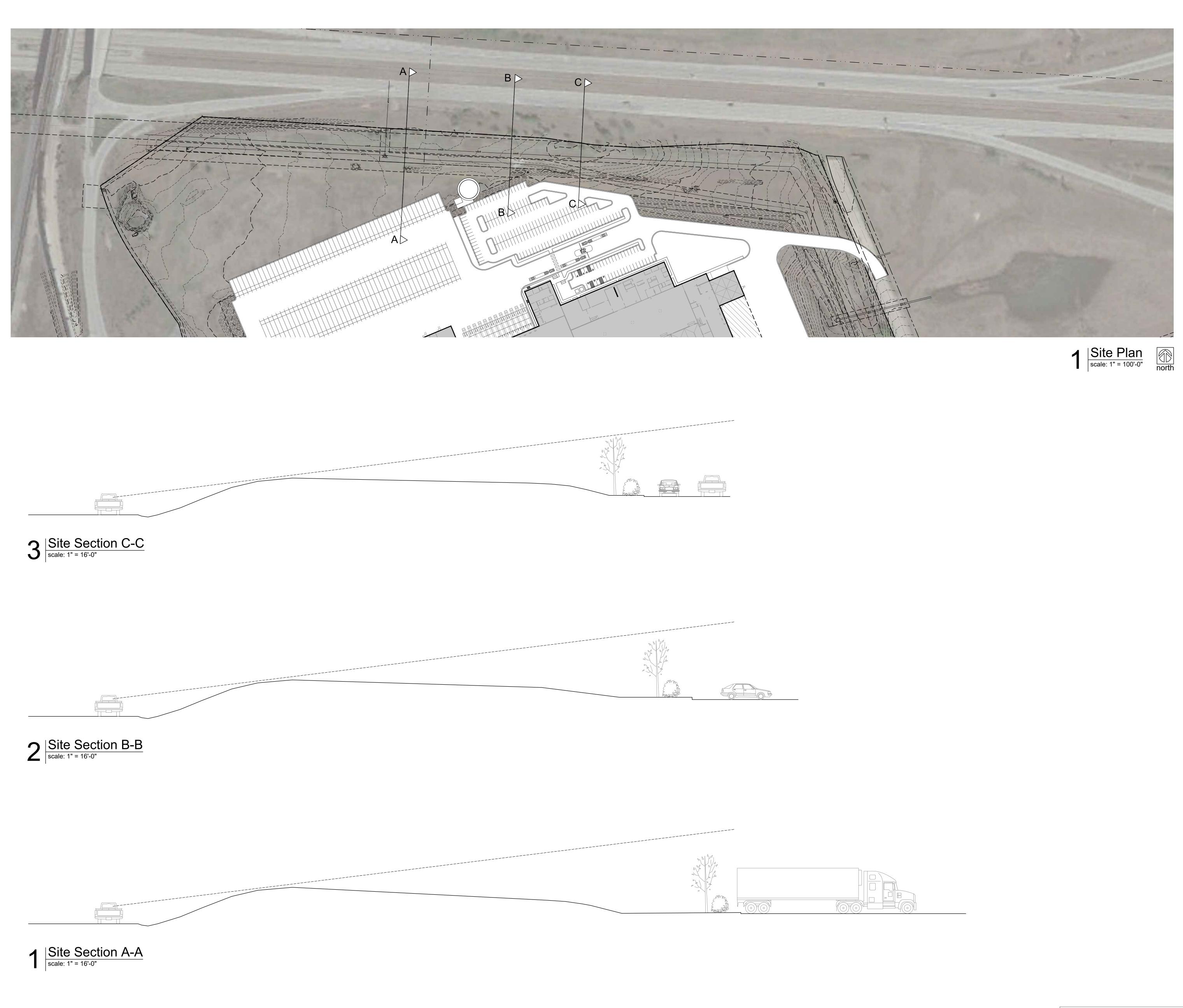
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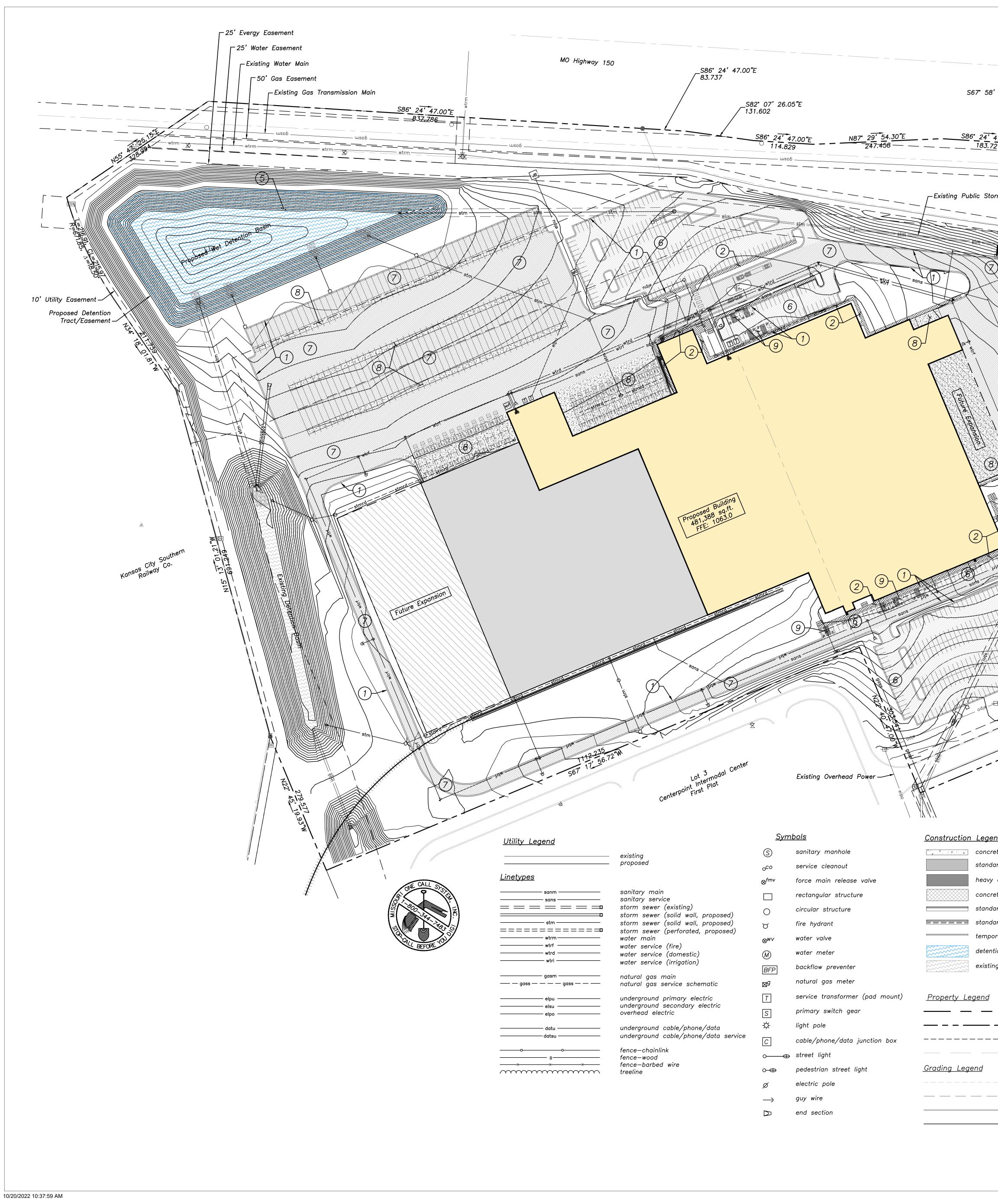


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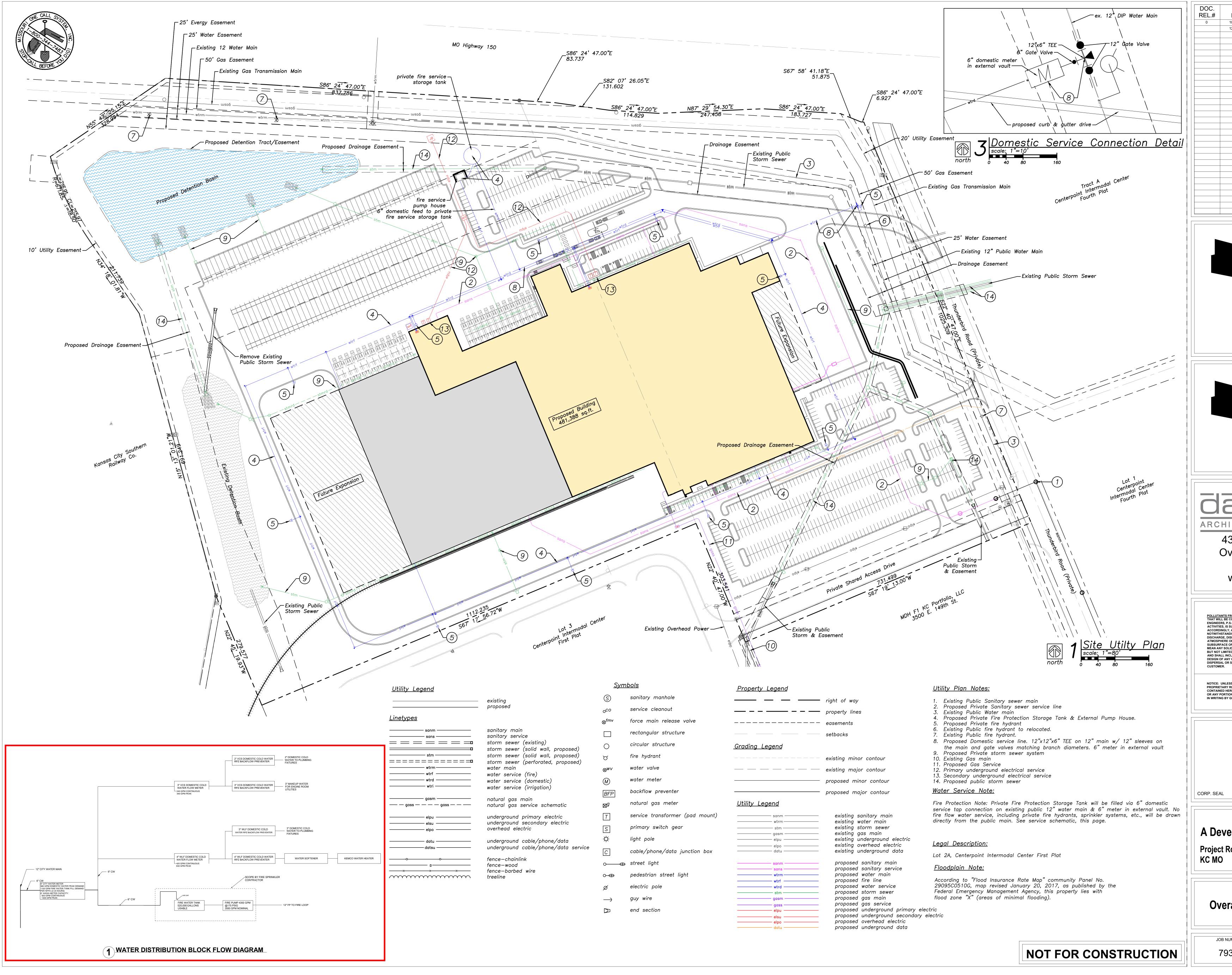
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⊗ ^{fmv}	force main release valve		he
	rectangular structure		сс
0	circular structure		st
Q	fire hydrant		st
⊗ ^w ∨	water valve		te
M	water meter		de
BFP	backflow preventer		ex
$\boxtimes^{\mathcal{G}}$	natural gas meter		
Т	service transformer (pad mount)	<u>Property Lec</u>	gei
S	primary switch gear		•
¢	light pole		
С	cable/phone/data junction box		
•⊕	street light		
0-⊕	pedestrian street light	<u>Grading Lege</u>	nc
Ø	electric pole		
\rightarrow	guy wire		
\square	end section		

] [
			DOC. REL.#	DATE	DESCRIPTION
				10/31/2022 12/12/2022	DEVELOPMENT PLAN DEVELOPMENT RE-SUBMITTAL
'41.18"E51.875 ∖					
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	Utility Easement				
orm Sewer	ounty Lasement				
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	– Existing Gas Transmission Main				
	\backslash	arct A dal Center			
		Tracermoduli Intermoduli Plat			
wird The second second		Tract A Tract A Centerpoint Intermodal Fourth Plat		t	
	25' Water Easement				
	Existing 12" Public V	/ater Main			
	Drainage Easement			r U	
* HEHRAHMIN MANHH HE S					
				Charlotte	5th Street 9, North Carolina 28202
					e: (704) 342-7600 e: (704) 342-7601
				Manufact	uring - Automotive
				Food & B	everage - Distribution ospitality
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The shift of the show of				ARCHIT 10 Quality	ECTS AND ENGINEERS, P.S.C.
2 A Asong				Lexingto	n, Kentucky 40507-1450 ne: (859) 281-5000
					e: (859) 252-5300
		Lot 1 Lot noint ter]
		Lot 1 Lot 1 Centerpoint Center Center Intermodal Plat Fourth	· · · · · -		
		Inte Fourtin		A//I	dson
			ARCH	TECTUF	RE + ENGINEERING
(1)		Thunder -	4:	301 India	an Creek Pkwy
elpo			0 V	verland F	Park, KS 66207
Drive					451.9390
Private Shared Access Drive 731.499 567 19 13.00 W					/idsonae.com
Private Snut 73 13.00	ιC				
507	Portfolio, LLC				
unt F1	KC Portfolio, LLC 60 E. 149th St.				
MD' 35					ACILITY TO BE DESIGNED BY GRAY ARCHITECTS AND Y GRAY, AND THE MATERIALS INVOLVED IN THOSE ITECTS AND ENGINEERS AND GRAY'S KNOWLEDGE.
		Site Paving & Crading Plan	ACCORDINGLY NOTWITHSTAN DISCHARGE, DI	(, AND ANYTHING CONTAIN IDING, ANY DUTY OR WARR ISPERSAL, ESCAPE, RELEA	ED IN THE CONTRACT DOCUMENTS TO THE CONTRARY ANTY BY GRAY HEREIN SHALL NOT APPLY TO THE SE OR SATURATION OF ANY POLLUTANT INTO THE
		<u>Site Paving & Grading Plan</u>	SUBSURFACE MEAN ANY SOL	OF LAND. FOR PURPOSE O LID, LIQUID, GASEOUS, OR 1	DR ON, ONTO, UPON, IN OR INTO THE SURFACE OR DF THIS SECTION, THE WORD "POLLUTANT" SHALL THERMAL IRRITANT OR CONTAMINANT, INCLUDING DT EILMES ACIDS ALKALIS CHEMICAL S AND WASTE
	north	0 40 80 160	AND SHALL INC DESIGN OF AN	CLUDE ANY HAZARDOUS S Y OF ITS PARTS, SO AS TO	OT, FUMES, ACIDS, ALKALIS, CHEMICALS AND WASTE UBSTANCE. THE CAPACITY OF THE FACILITY AND THE PREVENT THE ESCAPE, RELEASE, DISCHARGE, NNTS SHALL BE THE SOLE RESPONSIBILITY OF THE
			CUSTOMER.		
<u>nd</u>	<u>Site Plan Notes:</u>				I WRITING, GRAY IS THE SOLE OWNER OF ALL RIGHTS AND ANY TRADE SECRETS IN THE MATTER
ete pavement ard asphalt	1. Construct type 'CG—1 dry' curl 2. Construct concrete sidewalk pe	o & gutter where indicated (see legend). r KCMO standard details.	CONTAINED HE	EREIN. ANY DISCLOSURE, F ON THEREOF IS SPECIFICA	LEPRODUCTION OR REVISION OF THIS DOCUMENT LLY PROHIBITED UNLESS PREVIOUSLY APPROVED
ard asphalt duty asphalt	 Construct private concrete entr Construct private concrete entr Proposed location of new retai 	ance.			
duty asphalt	 5. Proposed wet detention basin. 6. Standard asphalt pavement. 				
ete sidewalk ard curb & gutter	7. Heavy duty asphalt pavement. 8. Heavy duty concrete pavement.				
ard dry curb & gutter	9. Proposed ADA ramps, parking	stalls, striping ana signage.			
prary asphalt curb	Legal Description:				
tion basin	Lot 2A, Centerpoint Intermodal Cer	ter First Plat			
ng detention basin	<u>Floodplain Note:</u>				
	According to "Flood Insurance Rat 29095C0510G, map revised Janua	e Map" community Panel No. ry 20, 2017, as published bv the	CORP. SEAL		
	Federal Emergency Management Ag flood zone "X" (areas of minimal	gency, this property lies with			
right of way					
— — — property lines				Innmont	Plan For:
— — — — — easements				-	
setbacks			Project R	loyal	
			KC MO		
existing minor contour					
— — — existing major contour					
proposed minor contour			Civil	Site Pav	ing + Grading Plan
proposed major contour				UNG F AV	my · Jraumy Flatt
			JOB NI	JMBER	SHEET NUMBER
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existing proposed
sanitary main sanitary service storm sewer (existing) storm sewer (solid wall, proposed storm sewer (solid wall, proposed storm sewer (perforated, proposed water main water service (fire) water service (domestic) water service (irrigation)
natural gas main natural gas service schematic
underground primary electric underground secondary electric overhead electric
underground cable/phone/data

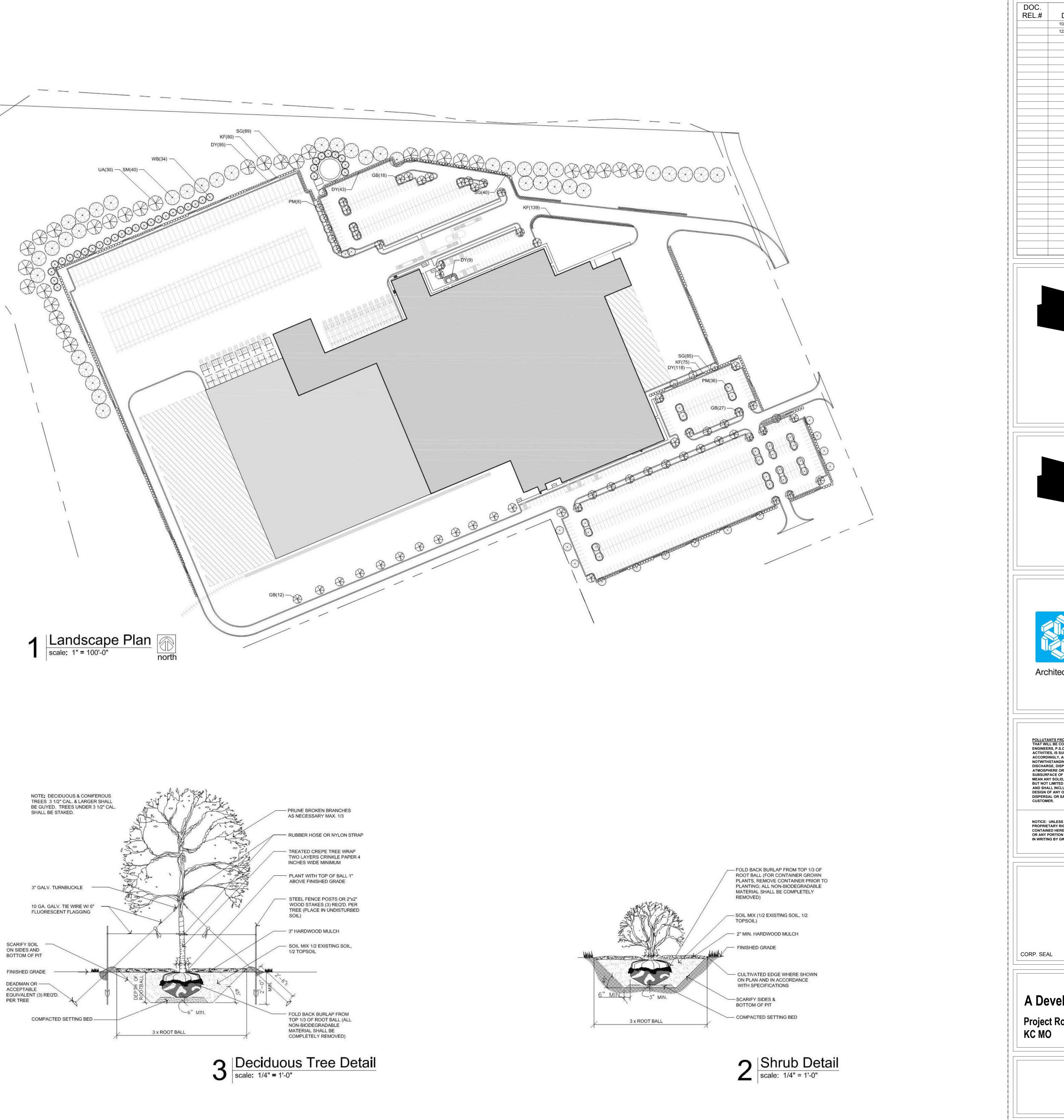
S	sanitary manhole
со	service cleanout
fmv	force main release valve
	rectangular structure
С	circular structure
J	fire hydrant
w∨	water valve
M)	water meter
3FP	backflow preventer
19	natural gas meter
Τ	service transformer (pad moun
S	primary switch gear
<u></u>	light pole
5	cable/phone/data junction box
) -	street light
\oplus	pedestrian street light
Ø	electric pole
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DATE 10/31/2022 12/12/2022	DESCRIPTION DEVELOPMENT PLAN DEVELOPMENT RE-SUBMITTAL
	Jray
Char Telep	Vest 5th Street lotte, North Carolina 28202 phone: (704) 342-7600 imile: (704) 342-7601
Food	ifacturing - Automotive & Beverage - Distribution I - Hospitality
	Jray
ARC 10 Qu	HITECTS AND ENGINEERS, P.S.C. Juality Street Ington, Kentucky 40507-1450
Telep	igion, Kentucky 40507-1450 phone: (859) 281-5000 imile: (859) 252-5300
	URE + ENGINEERING
301 In	dian Creek Pkwy d Park, KS 66207
91	3.451.9390 lavidsonae.com
CONDUCTED WITHIN S.C. AND CONSTRUC SUPERIOR TO GRAY 7, AND ANYTHING CO DING, ANY DUTY OR	RATIONS - CUSTOMER'S KNOWLEDGE OF ITS ACTIVITIES I THE FACILITY TO BE DESIGNED BY GRAY ARCHITECTS AND CTED BY GRAY, AND THE MATERIALS INVOLVED IN THOSE 'ARCHITECTS AND ENGINEERS AND GRAY'S KNOWLEDGE. INTAINED IN THE CONTRACT DOCUMENTS TO THE CONTRARY WARRANTY BY GRAY HEREIN SHALL NOT APPLY TO THE
OR ANY BODY OF W OF LAND. FOR PURI LID, LIQUID, GASEOL ED TO SMOKE, VAP CLUDE ANY HAZARE Y OF ITS PARTS, SO	RELEASE OR SATURATION OF ANY POLLUTANT INTO THE ATER OR ON, ONTO,UPON, IN OR INTO THE SURFACE OR POSE OF THIS SECTION, THE WORD "POLLUTANT" SHALL IS, OR THERMAL IRRITANT OR CONTAMINANT, INCLUDING DR, SOOT, FUMES, ACIDS, ALKALIS, CHEMICALS AND WASTE OUS SUBSTANCE. THE CAPACITY OF THE FACILITY AND THE AS TO PREVENT THE ESCAPE, RELEASE, DISCHARGE, DILUTANTS SHALL BE THE SOLE RESPONSIBILITY OF THE
SS OTHERWISE AGF RIGHTS, INCLUDING	REED IN WRITING, GRAY IS THE SOLE OWNER OF ALL COPYRIGHTS AND ANY TRADE SECRETS IN THE MATTER
	SURE, REPRODUCTION OR REVISION OF THIS DOCUMENT CIFICALLY PROHIBITED UNLESS PREVIOUSLY APPROVED
e lopme Royal	nt Plan For:
rall Site	e Utility Plan
	· • • • • • • • • • • • • • • • • • • •
JMBER 34	SHEET NUMBER

KEY					COMMON NAME	SIZE	SPACING
GB	57 30	Glinko Ulmus	Blloba americana 'New Harmony'		Glnko New Harmony Elm	5' - 6' ht 2" cal. b & b	per plan
WB			rus scopulorum 'Wichita Blue'		Wichita Blue Juniper	5' - 6' ht	per plan
SM	40	Acer S	Saccharum		Sugar Maple	2" cal. b & b	per plan
PM SHRUBS / GRASS	20 X 1949 V	Acer (Grlseum		Paperbark Maple	2" cal. b & b	per plan
KF	294	Calam	agrostls x acutlflora 'Karl Foerster'		Karl Foerster Feather Reed Grass	3 gal.	per plan
SG	214		rus x pfitzeriana 'Sea Green'		Sea Green Juniper	3 gal.	per plan
		-		۱.	Densifromis Yew	3 gal.	per plan
	DUAP		CALCULATIONS	AS IT APPLIES	TO THIS SITE	PR	
-425-03 Street Tre	ees		1 Tree per 30'	Missouri Highwa	ay 150 1,996 L.F. / 30 = 66 Street 1	rees req. 66 F	Provided
-425-06-B Min. Ir	terlor landscape	area	35 S.F. of landscape area per parking space	653 (park i ng sp	aces) X 35 = 22,855 S.F. req.	25,6	642 S.F. Provid
-425-06-E Interior	parking plant m	aterlal	1 Tree for every 5 parking spaces	653 / 5 = 131 Tr	ees req.	131	Trees provided
-425-06-E Interlor	parking plant m	aterlai	1 Shrub for every parking space	653 Shrubs req.		653	Shrubs provide
-425-06-E Interior	parking plant m	aterlai	Ground cover to cover all landscape areas	Covered		Cov	ered
-425-08-B Screen juipment and utility			Any cabinet visible from the right-of-way must be screened from public view with landscaping	Continuous scre	en	9 pla	ants prov i ded
8-425-05-C Perime	eter landscaping	of	Continuous evergreen screen to be 4' In ht.	Continuous eve	rgreen screen		evergreen
						shri	ubs provided
		NUMBER OF STREET	E NOTES:				
			RE APPROXIMATE, THE CONTRACTOR SH	HALL FIELD VE	RIFY LOCATIONS PRIOR TO CO		IENT OF
CONSTRU	ICTION OPERA	ATIONS.					
			E THE PROPERTY LINES, UNLESS OTHER IN RELATED TO UTILITY INSTALLATION A			RE ACCESS	BEYOND IS
4. REFER TO	CIVIL DRAWI	NGS FC	OR ALL GRADING AND BERMING, EROSIO	N CONTROL, S	TORM DRAINAGE, UTILITIES A	ND SITE LA	YOUT.
5. THE CONT ALL WORK		ALL ARF	RANGE AND CONDUCT A PRE-CONSTRUC	TION MEETING	G ONSITE WITH LANDSCAPE A	RCHITECT I	PRIOR TO
			NFORMATION ONLY. DRAWING SHALL PI ES AND BID ACCORDINGLY.	REVAIL IF CON	FLICT OCCURS. CONTRACTO	R IS RESPC	NSIBLE FOR
			ES AND BID ACCORDINGLY. FY LANDSCAPE ARCHITECT AFTER STAK	ING IS COMPL	ETED AND BEFORE PLANT PI	IS ARE EXC	AVATED.
8. THE CONT	TRACTOR SHA	ALL PLA	CE SHREDDED HARDWOOD BARK MULC				
			NUT PRODUCTS ARE PROHIBITED. DJACENT TO DRIVES, WALKS, WALLS AN		RES MAY BE FIELD AD JUSTER		VED BY THE
	PE ARCHITEC		SUNCENT TO DRIVEO, WALKO, WALLO AN	BEIGHT HATO		Adamte	VED DI INE
	E AND QUALIT		ANT MATERIAL SHALL CONFORM TO AM	ERICAN STAN	DARD FOR NURSERY STOCK,	ANSI-260-20	04, OR
11. THE CONT	TRACTOR SHA	ALL REF	PORT SUBSURFACE SOIL OR DRAINAGE F	PROBLEMS TO	THE LANDSCAPE ARCHITECT		
			NGES BASED ON PLANT SIZE AND MATE ANSAS CITY, MO AND THE LANDSCAPE AF		LITY. ALL CHANGES OR SUBS	TITUTIONS	MUST BE
			, SODDED AND SEEDED TURFGRASS SH DVEMBER 15) PLANTING SEASON AND WI				RIL 15-JUNE
			N ALL LANDSCAPE BEDS ABUTTING SODE			0020.	
SYSTEM I	S FULLY FUNC	CTIONA	TO BE RESPONSIBLE FOR WATERING AL L AND ACCEPTANCE OF THE PROJECT H HE WORK) WILL BE PROMPTLY REMOVED	AS TAKEN PLA	CE. ANY MATERIAL WHICH D		
			HOW PROOF OF PROCUREMENT, SOUP GRASSES AND ANNUALS WITHIN 21 DA				i,
GROWN, S	SOUND, HEAI	LTHY, V ECIES.	ERED AND UNDERSIZED TREES SHALI (IGOROUS AND FREE FROM INSECTS, SIZES SHALL BE EQUAL TO OR EXCEE JANTITY AS SHOWN ON THE DRAWING	DISEASE AND DING SIZES II	INJURIES, WITH HABIT OF G	ROWTH TH	IAT IS
			S IN FIELD AS INDICATED ON THE DRA PRIOR TO PLANTING.	WINGS OR AS	DIRECTED BY THE LANDSC	APE ARCH	TECT FOR
			UDING RIGHTS OF WAY, NOT OTHERW				CAPE BEDS
20. ALL EXTE UTILITY M		D OR E		UDING BUT N	OT LIMITED TO MECHANICA	L EQUIPME	
21. PREPARI PERENNIA	UTILITY METER BANKS SHALL BE SCREENED FROM PUBLIC VIEW WITH EVERGREEN LANDSCAPING THAT IS 6" TALLER THAN THE EQUIPMENT BEING SCREENED AT THE TIME OF PLANTING. PREPARE PLANTING BEDS BY INCORPORATING AN APPROVED COMPOSTED ORGANIC SOIL INTO EXISTING SOIL FOR ALL SHRUB, PERENNIAL AND ANNUAL PLANTING BEDS AT A MINIMUM DEPTH OF 6". THOROUGHLY MIX ORGANIC MATERIAL INTO THE EXISTING SOIL BY ROTOTILLING OR OTHER APPROVED METHOD TO A MINIMUM DEPTH OF 12".						
			STIMULATOR (APPROVED BY LANDSCAP MANUFACTURER DURING FIRST PLANT V			3S AND GRO	UND COVER
	SCAPE AREA		THE POINT PLANT VIEW OF THE PLANT VIEW	A LENING FUL	LOT ALLA HON.		
Ce 112	 ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM ACHIEVING 100% EVEN COVERAGE OF ALL LANDSCAPE AREAS. IRRIGATION SYSTEM SHALL BE DESIGN-BUILD TO MEET ALL CITY REQUIREMENTS. TREE PROTECTION FENCING SHALL BE INSTALLED AND APPROVED BY THE CITY FORESTER PRIOR TO ANY LAND DISTURBANCE. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE ON THE PROJECT. NO PARKING OF VEHICLES, MATERIAL STORAGE, WASHOUTS OR GRADING ARE ALLOWED WITHIN THE FENCING. IF THE FENCING MUST BE REMOVED OR RELOCATED, 						VEN
24. TREE PR PROTECTI MATERIAL	STORAGE, W	NCING SHALL I ASHOU	E AREAS. IRRIGATION SYSTEM SHALL B SHALL BE INSTALLED AND APPROVED B REMAIN IN PLACE UNTIL ALL CONSTRUC TS OR GRADING ARE ALLOWED WITHIN	E DESIGN-BUIL Y THE CITY FC TION IS COMPI	D TO MEET ALL CITY REQUIR RESTER PRIOR TO ANY LAND LETE ON THE PROJECT. NO P	EMENTS. DISTURBAI ARKING OF	NCE. TREE VEHICLES,
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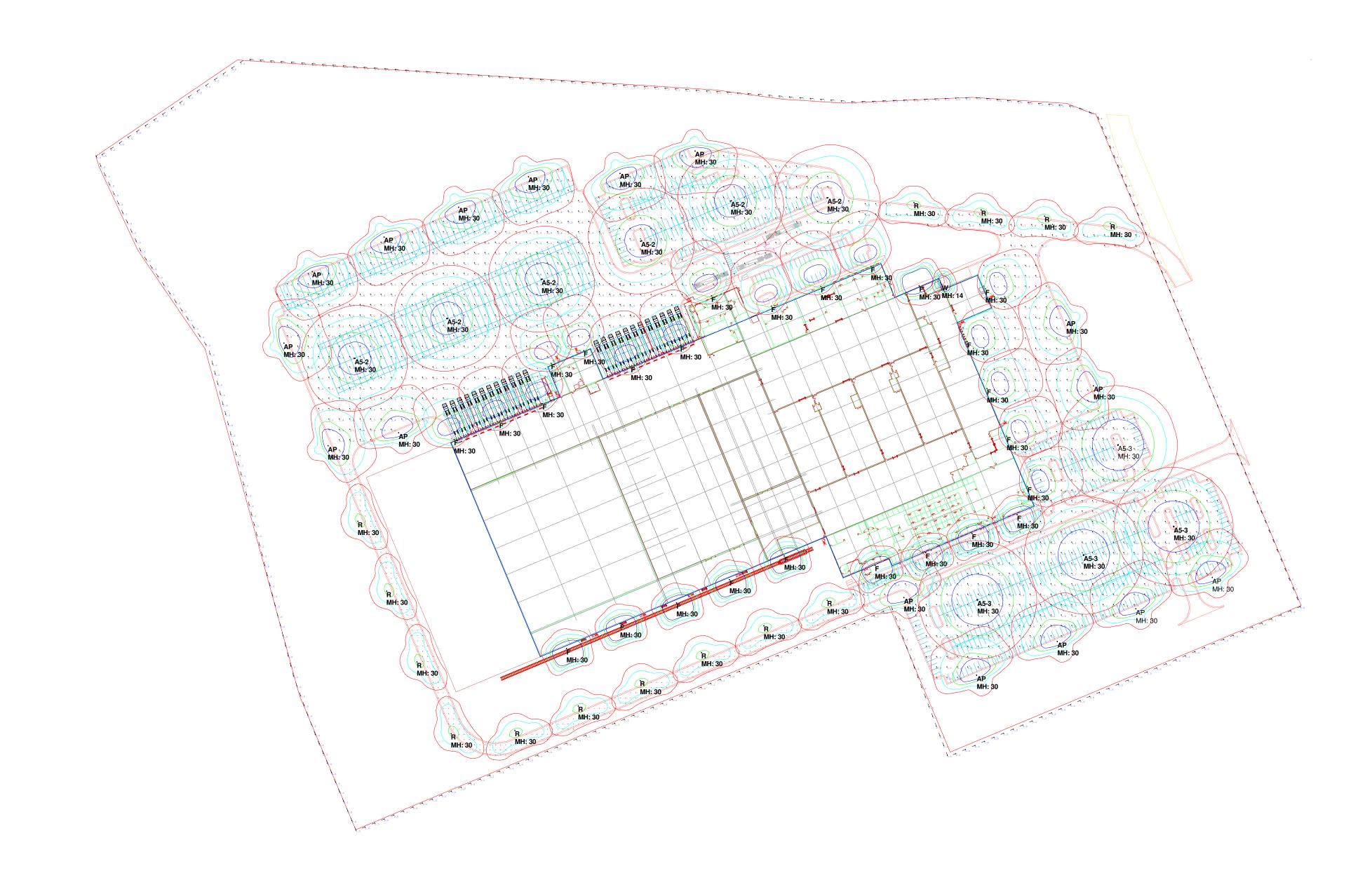
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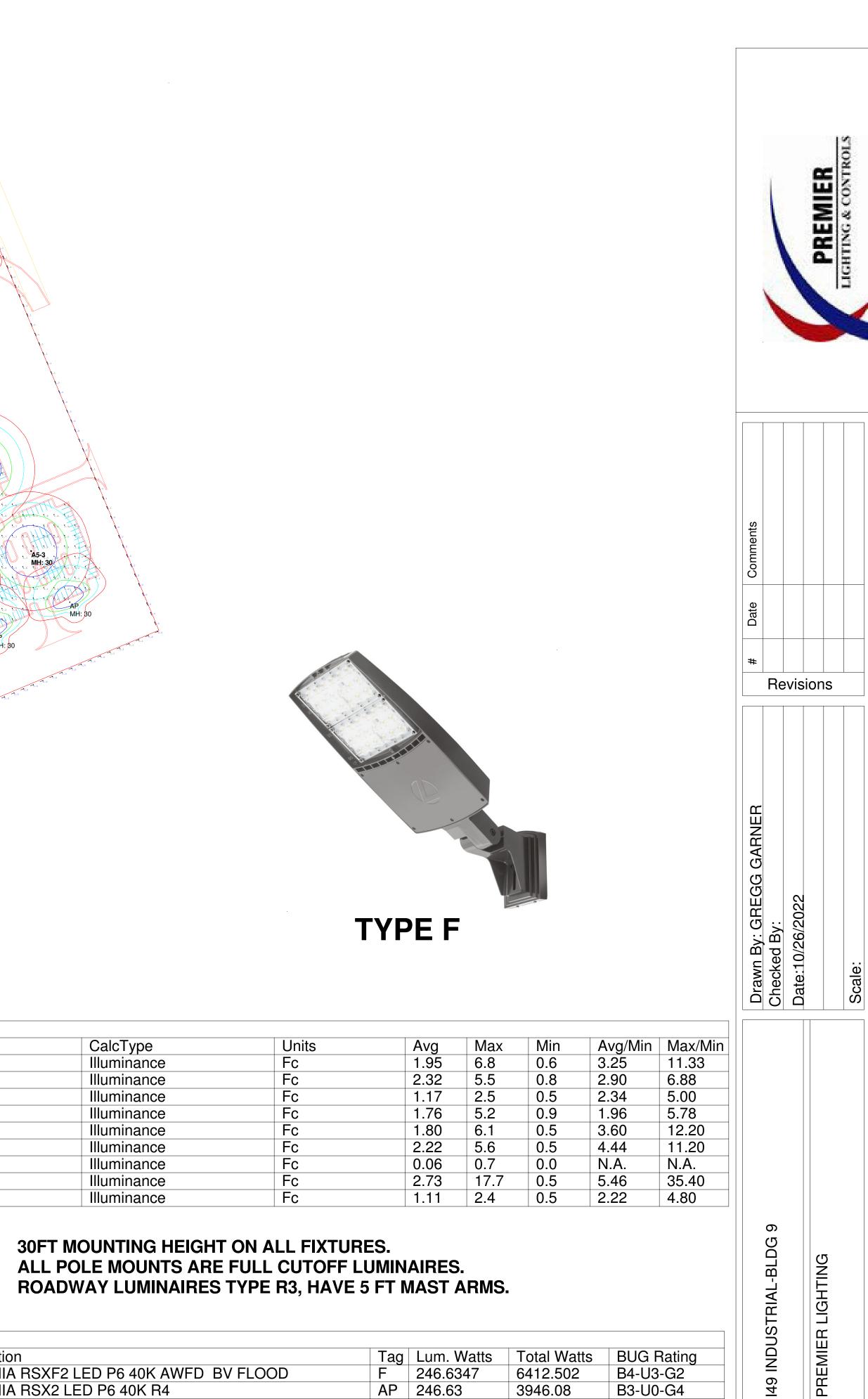
Numeric Summary	
Label	CalcType
EAST SIDE OF BLDG	Illuminance
NORTH EAST CAR PARKING LOT	Illuminance
NORTH EAST ROADWAY	Illuminance
NORTH EAST TRUCK ENTRANCE EX	Illuminance
NORTH TRAILER PARKING LOT	Illuminance
NORTH TRUCK DOCKS	Illuminance
PROPERTY LINE	Illuminance
SOUTH EAST CAR PARKING LOT	Illuminance
WEST DRIVE	Illuminance

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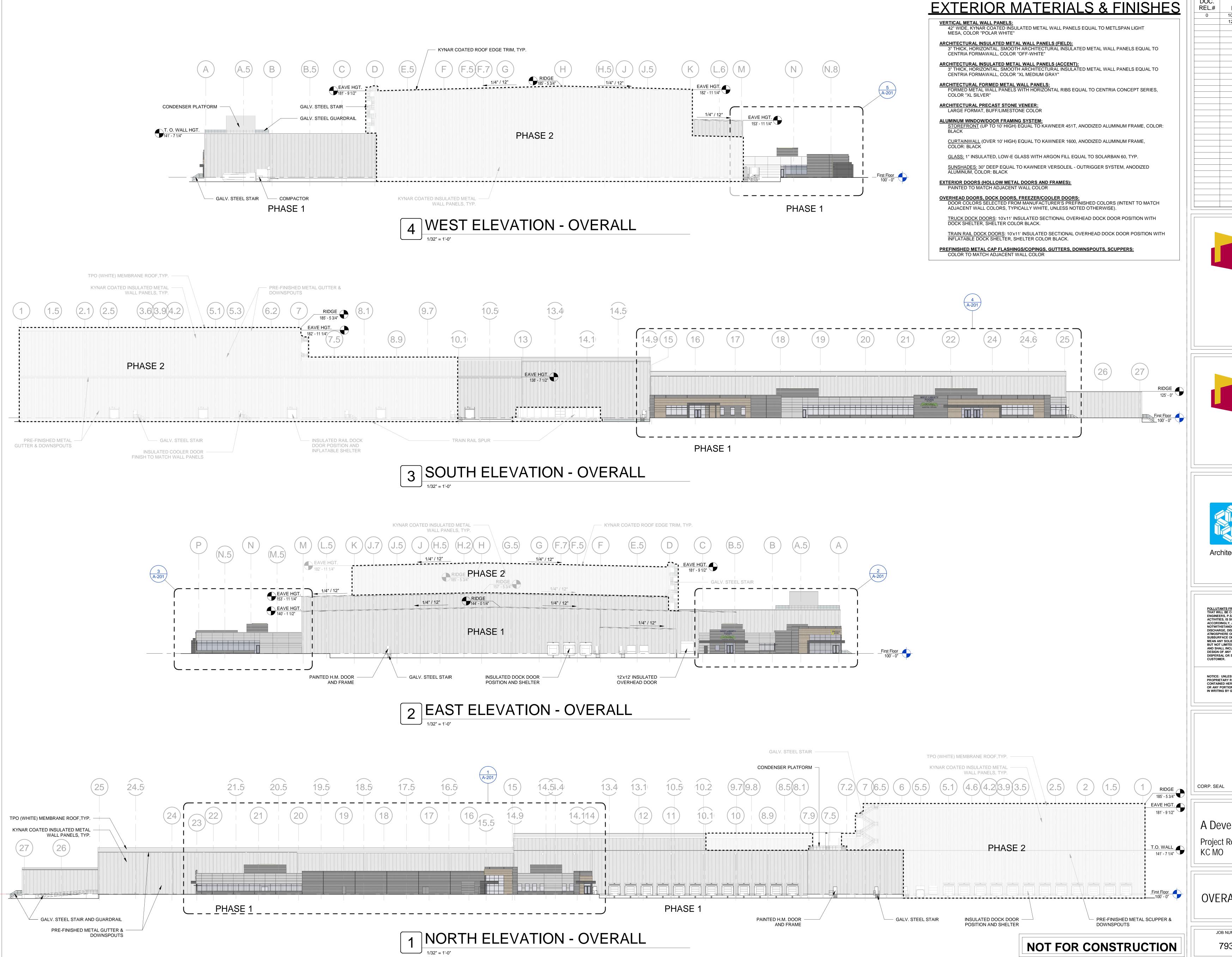
Label	Arrangement	Total Lamp Lume	nlsLF	Description	Tag	Lum. Watts	Total Watts	BUG Rating
RSXF2_LED_P6_40K_AWFDBV	SINGLE	N.A.	0.950	LITHONIA RSXF2 LED P6 40K AWFD BV FLOOD	F	246.6347	6412.502	B4-U3-G2
RSX2_LED_P6_40K_R4	SINGLE	N.A.	0.950	LITHONIA RSX2 LED P6 40K R4	AP	246.63	3946.08	B3-U0-G4
RSX2_LED_P6_40K_R5	3 @ 120 DEGREES	N.A.	0.950	RSX2 LED P6 40K R5	A5-3	246.63	2959.56	B5-U0-G4
RSX2_LED_P6_40K_R5_1	BACK-BACK	N.A.	0.950	RSX2 LED P6 40K R5	A5-2	246.63	2959.56	B5-U0-G4
RLX-3_T3_100W_4K	SINGLE	N.A.	0.950	VISIONAIRE LIGHTING ROADWAY	R	96	1344	B2-U0-G2
WPX2_LED_40K_Mvolt	SINGLE	N.A.	0.950	LITHONIA WPX2 LED 40K Mvolt	W	47.77	47.77	B1-U0-G1



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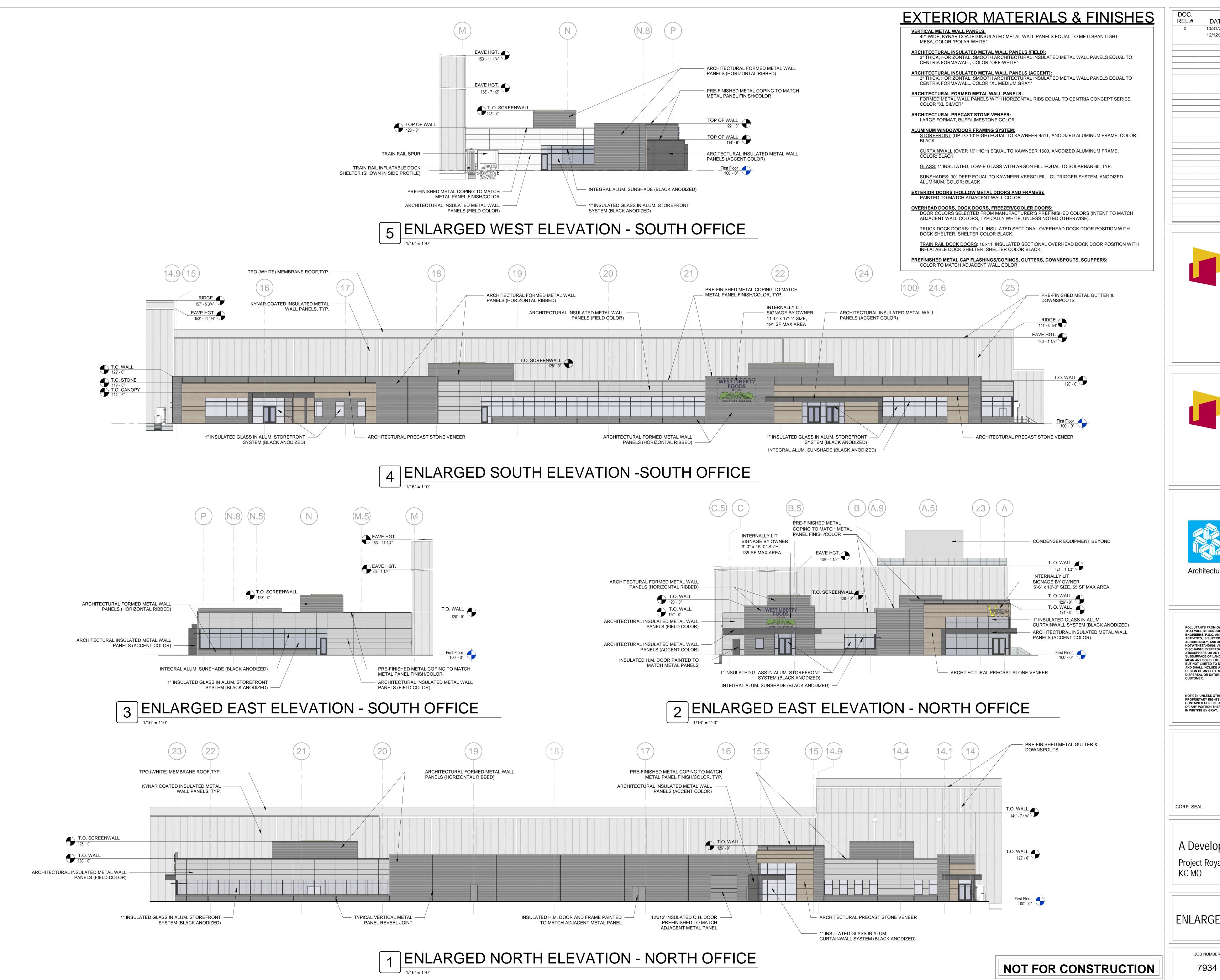
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Charlotte, North Carolina 28202 Telephone: (704) 342-7600 Facsimile: (704) 342-7601 Manufacturing - Automotive Food & Beverage - Distribution Retail - Hospitality Coccost Coccost ARCHITECTS AND ENGINEERS, P.S.C. 10 Quality Street Lexington, Kentucky 40507-1450 Telephone: (859) 281-5000 Facsimile: (859) 252-5300	10/31/2022	DEVELOPMENT PLAN
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