



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

May 2, 2023

Project Name
1319 Wyandotte Street

Docket #3

Request
CD-CPC-2023-00020
Development Plan

Applicant
Liam Dai
LuxLiving

Owner
Red Oak Capital Fund II LLC

Location	1319 Wyandotte Street
Area	About 1.06 acres
Zoning	DC-15
Council District	4th
County	Jackson County
School District	KCMO 110

Surrounding Land Uses

North: Hotel, zoned DC-15
South: Office, zoned DC-15
East: Residential Use, zoned UR
West: Institutional, zoned UR

Major Street Plan

Wyandotte Street is identified as an Established Arterial on the City's Major Street Plan.

Land Use Plan

The Greater Downtown Area Plan recommends Downtown Core for this location.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 01/31/2023. Scheduling deviations from 2023 Cycle H have occurred. The applicant wanted some additional time to submit revised plans.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The Downtown Neighborhood Association is tied to the subject site.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on April 6, 2023. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The lot to the south is an existing surface parking lot and the lot to the north is currently not developed.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a mixed use development with a parking garage, hotel to the north, apartment building to the south and associated amenities.

CONTROLLING + RELATED CASES

CD-ROW-2023-00008 - Vacation of the alley running east to west from Wyandotte to Baltimore in between the two parcels being developed and connects to an alley that runs north to 13th Street.

PROFESSIONAL STAFF RECOMMENDATION

Docket #3 Recommendation
Approval with Conditions

PLAN REVIEW

The proposal is for a mixed-use development plan for a 27-story building with 200 hotel rooms, 300 residential units, ground floor retail, and associated amenities. The development is in the Downtown Core district adjacent to the existing Power and Light building, the Municipal Theater, and the Crowne Plaza Hotel.

The development is split; the hotel use located on the north end of the development and the residential use located on the south. The developer worked with staff to activate the corner of 14th street and Wyandotte with additional retail space. The retail space on the ground level will increase the pedestrian connectivity in the area. Off-street parking is not required in the Downtown Core however, the developer is proposing three and a half levels of parking for the development with 358 parking spaces.

The developer is proposing a pedestrian tunnel in between the two uses to provide a visual and physical connection to the buildings to the east. The pedestrian connection has the potential to be a link between new development and existing developments and a tourist location. The development will complete the pedestrian experience on this block since it is filling in the last undeveloped lot. Access to the parking garage is from 14th Street and through the valet area along Wyandotte Street. Staff is requesting that access to the development be restricted to right in-right out to ensure a steady flow of traffic. The developer will be required to ensure the valet are runs efficiently and prevents the excessive stacking of vehicles that will disrupt traffic on 14th street.

The construction materials for the development consists of glazing, metal wall panels, fiber cement wall panel, metal screen system, and a glass railing system.

FAA approval is required for this development due to it's location in the Downtown Core.

PLAN ANALYSIS

**indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-130)	Yes	Yes	
Downtown Development (88-338)	Yes	Yes	
Parkland Dedication (88-408)	Yes	Yes,	
Parking and Loading Standards (88-420)	Yes	Yes, subject to conditions	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions.	
Pedestrian Standards (88-450)	Yes	Yes	

SPECIFIC REVIEW CRITERIA**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable City ordinances and policies;

The plan complies with all standards in the Zoning and Development Code and applicable policies. The properties are located in the Downtown Core – 15 zoning district, which allows the uses, proposed setbacks, building height, and parking ratio. The Greater Downtown Area Plan recommends Downtown Core as the future land use, the Downtown Core is a primary hub for business, communications, accommodations, and entertainment. The Downtown Core also promotes residential development in stand-alone high density and mixed with office and retail uses.

B. The proposed use must be allowed in the district in which it is located;

The proposed hotel, residential, and retail uses are allowed in the Downtown Core-15 (DC-15) zoning district.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

Vehicular ingress and egress is from 14th Street, parking for the residential portion of the development will be physically separated from the hotel with a gate. The hotel parking area will only be accessed by valet, the valet will pick up the car from the valet area on Wyandotte Street make a right turn out of the valet area head north to 12th street and turn south onto Baltimore Ave before turning back onto 14th street to access the garage. While this is not the most efficient movement of traffic, due to the location of the development and proposed uses, staff is requesting that right in-right out policies be implemented for the access points in an effort to reduce on street stacking that could affect the flow of traffic.

The alley access will only be used for trash pick up and/or move in/out for tenants.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The plan provides for safe, efficient, and convenient non-motorized travel opportunities. The developer is proposing a sidewalk, 15' deep in some areas, and has provided pavers at the ingress/egress locations to provide a crossing area for pedestrians. The development will allow for additional connectivity in a busy area of the city. There are no bicycle lanes in the immediate vicinity of the site, however the developer has provided short and long-term bicycle parking.

The developer is proposing a pedestrian tunnel in between the two uses to provide a visual and physical connection to the buildings to the east. The pedestrian connection has the potential to be a link between new development and existing developments and a tourist location. A detailed rendering of the interior of the tunnel including lighting, proposed landscaping, proposed artwork, etc., will be required prior to ordinance request.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The plan provides for adequate utilities based on City standards.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The design and materials of the building is compatible with adjacent properties. The development is located immediately adjacent to the Power and Light building. The residential side of the development on the southern lot follows the front setback of the Power and Light building to allow for natural light to reach 14th street throughout the day. The proposed development is pushed back from the east side of the Power and Light building to allow light and a form of relief to the existing residential units.

The hotel side of the development is pushed back from the street about 8 floors up more in keeping with the Crowne Plaza hotel to the north. The height of the structure is in keeping with the surrounding buildings, however due to the location of the site in the Downtown Area, FAA approval is required.

The orientation and architectural features of the building are in keeping with the Downtown Area, with retail on the first floors and residential/hotel space on the remaining floors. There are multiple buildings throughout the area with large amounts of glazing used as a construction material and the proposed fenestration matches the diversity of the buildings in the area.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The developer is proposing landscaping in compliance with the Zoning and Development Code surrounding the development, the applicant has provided additional garden areas along the ground floor to provide a visual break for pedestrians in addition to the required street trees.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The design of the building with a parking garage included in the footprint of the development is consistent with the amount of impervious surface currently on site. The developer is including small garden areas at ground level for added landscaping.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are currently no trees on the properties therefore no tree plan was required.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

4. Public Testimony

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Larisa Chambi". The signature is fluid and cursive, with the first name "Larisa" being more prominent than the last name "Chambi".

Larisa Chambi, AICP
Lead Planner



Plan Conditions

Report Date: April 27, 2023

Case Number: CD-CPC-2023-00020

Project: 1319 Wyandotte Street

Condition(s) by Aviation. Contact Mike Waller at (816) 243-3038 / Mike.Waller@kcmo.org with questions.

1. The proposed development is located in an area where the Charles B. Wheeler Downtown Airport (MKC) height zoning restrictions apply. No structure in this area should be constructed which exceeds these restrictions.

Given the potential height and proximity of this plan to MKC, the proposed development may exceed FAR Part 77, Objects Affecting Navigable Airspace, standards. The proponent/developer shall file an on-line Form 7460-1, Notice of Proposed Construction or Alteration, for permanent vertical improvements or new structures and receive a Determination of No Hazard to Air Navigation from the FAA. Temporary cranes used for construction activities extending higher than the proposed top elevation of the building will need to be evaluated for compliance with FAR Part 77 standards as well. The FAA's Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) website can be accessed at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.

It is further recommended the proponent/developer provide the FAA with a 1A survey accuracy statement assuming the highest horizontal and vertical tolerance was used for this design. This information certifies the ground elevations the developer has portrayed within the plans are to higher level of accuracy. Per OEAAA, if this accuracy statement isn't provided, an adjustment commensurate with a 50 foot vertical buffer is applied to the development. This information can be referenced at: <https://oeaaa.faa.gov/oeaaa/external/content/surveyAccuracy.jsp>

The proponent/developer is recommended to comply with Chapters 3, 4, and 5 of FAA Advisory Circular (AC) 70/7460-1, Obstruction Marking and Lighting, as amended.

Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816) 513-8822 / Larisa.Chambi@kcmo.org with questions.

2. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
4. That all signage shall conform to 88-445 and shall require a sign permit prior to installation.
5. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
6. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
7. Access to the residential parking garage and the valet area shall be right in-right out only.
8. The developer shall provide a detailed rendering of the interior of the tunnel including information regarding lighting, proposed landscaping, proposed artwork, etc., prior to ordinance request.
9. The developer shall apply for and receive approval from the FAA regarding the height of the building prior to building permit.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

10. The developer shall submit a plan for approval and permitting by the Land Development Division prior to beginning construction of the improvements within the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

11. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
12. The developer shall integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
13. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.
14. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting
15. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
16. The developer must petition for the vacation of existing alley as shown on the development plan and relocate sewers as required by the Departments of Water Services, the Land Development Division, and Development Services prior to recording of the final plat.
17. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
18. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

19. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
20. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
21. Fire hydrant distribution shall follow IFC-2018 Table C102.1
Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)
22. Buildings which have an occupiable floor greater than 75 feet above grade shall meet high-rise requirements.
23. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)

Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard.Sanchez@kcmo.org with questions.

24. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2023 acquisition rate of \$64,220.18 per acre. This requirement shall be satisfied prior to certificate of occupancy.

Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard.Sanchez@kcmo.org with questions.

25. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way

Condition(s) by Public Works Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.

26. The developer must submit fire hydrant relocation drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.

(<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Main-Extensions-Final2.pdf>)

Condition(s) by Public Works Department. Contact Monica Kearney at (816) 513-9886 / monica.kearney@kcmo.org with questions.

27. The developer shall construct the drives for the valet zone as to prohibit left turns, and shall sign accordingly. Valet operations may not impede through traffic.

Condition(s) by Water Services Department. Contact Ghaith Dinn at / ghaith.dinn@kcmo.org with questions.

28. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

29. No water service line will be less than 1-1/2" in diameter where three or more units or Commercial building will be served by one domestic service line and meter.
30. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact – Sean Allen - 816-513-0318
North of River contact - Pedro Colato – 816-513-4892
31. Branch service lines one-and-one-half inches and larger in diameter for domestic water services or fire protection lines shall be connected to the main by cutting in a minimum 6" branch service tee, installing three gate valves, and two solid sleeves on the main. Line valves on the main shall be the same nominal size as the main.
32. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

A

B

C

D

E

1

2

3

4



14TH + WYANDOTTE

MIXED-USE DEVELOPMENT DEVELOPMENT PLAN

REVISED
04/17/2023

DEVELOPER
LUX LIVING
1 N TAYLOR AVE
ST. LOUIS, MO 63108

ARCHITECT
DLR GROUP
7290 W. 133RD ST
OVERLAND PARK, KS 66213
913-897-7811

LANDSCAPE ARCHITECT
HUMPHREYS & PARTNERS
LANDSCAPE ARCHITECTS
5339 ALPHA ROAD, SUITE 300
DALLAS, TX 75240
972.701.9636

CIVIL ENGINEER
SK DESIGN GROUP
4600 COLLEGE BOULEVARD,
SUITE 100
OVERLAND PARK, KS 66211
912-451-1818

MEP ENGINEER
FSC MEP ENGINEERS, LLC
A SUBSIDIARY OF FSC, INC.
8675 W 96TH ST
OVERLAND PARK, KS 66212
913-722-3473

SHEET LIST

- | | |
|-------|---------------------------|
| C1 | EXISTING SURVEY |
| C1.00 | SITE PLAN |
| C2.00 | SITE DIMENSION PLAN |
| C2.01 | SITE CIRCULATION PLAN |
| C3.00 | SITE GRADING PLAN |
| C4.00 | SITE UTILITIES PLAN |
| L1.00 | STREET SCAPE PLAN |
| L2.00 | LANDSCAPE PLAN |
| E1.00 | PHOTOMETRIC PLAN |
| A1.1 | ARCHITECTURAL FLOOR PLANS |
| A1.2 | ARCHITECTURAL FLOOR PLANS |
| A1.3 | ARCHITECTURAL FLOOR PLANS |

- | | |
|------|---------------------------|
| A1.4 | ARCHITECTURAL FLOOR PLANS |
| A1.5 | ARCHITECTURAL FLOOR PLANS |
| A1.6 | ARCHITECTURAL FLOOR PLANS |
| A1.7 | ARCHITECTURAL FLOOR PLANS |
| A4.1 | ARCHITECTURAL ELEVATIONS |
| A4.2 | ARCHITECTURAL ELEVATIONS |
| A4.3 | ARCHITECTURAL RENDERINGS |
| A4.4 | ARCHITECTURAL RENDERINGS |

DLRGROUP
© DLR Group
7290 W 133rd St, Overland Park, KS 66213
ARCHITECT: Joshua L. Doss
jldoss@dlrgroup.com
PHONE: 913.897.7811

NOT FOR
CONSTRUCTION.

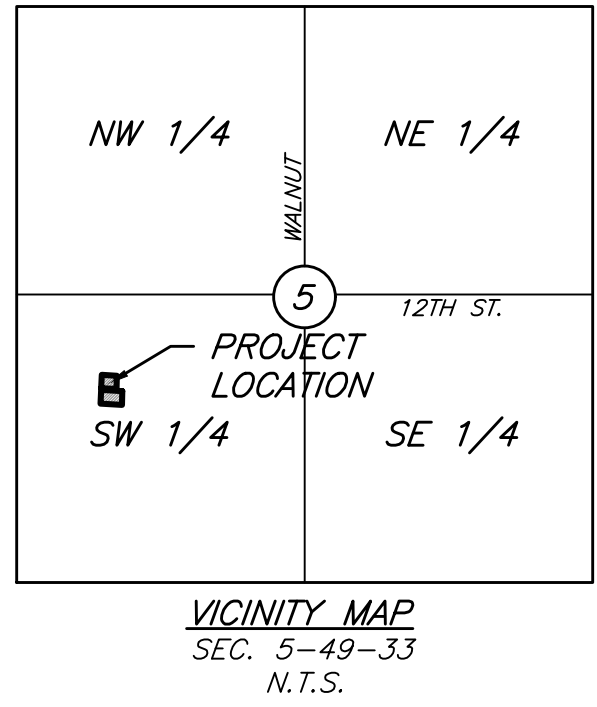
14th + Wyandotte
Mixed Use Development
100 W. 14th STREET
KANSAS CITY, MISSOURI

DEVELOPMENT
PLAN
02/27/2023
REVISIONS
04/17/2023 - RE-SUBMITTAL

CD-CPC-2023-00020
DLR PROJECT NO.
13-23105-00
COVER SHEET

A0.0

ALTA/NSPS LAND TITLE SURVEY
SW 1/4, SECTION 5, TOWNSHIP 49 NORTH, RANGE 33 WEST
KANSAS CITY, JACKSON COUNTY, MISSOURI



CLIENT:
Lux Living
Vic Alston
vic@luxliving.co

PROPERTY ADDRESS:
108 W 14TH Street and 1319 Wyandotte
Kansas City, MO 64105

TITLE DESCRIPTION:
Tract I:
Lots 5, 6, 7, 8, 9, 10, 11, 12, Block F, 2nd resurvey of Reid's Addition, a subdivision in Kansas City, Jackson County, Missouri, described as follows:

Tract II:
Lots 25, 26, 27, 28, and 29, Block 7, Reid's Addition, a subdivision in Kansas City, Jackson County, Missouri.

SCHEDULE B -- PART II NOTES:
Items 1-9 are non survey related items.

10.) Building setback lines, easements, covenants and restrictions, but deleting any unlawful restrictions including, but not limited to, racial restrictions, which are shown on the recorded plat of Reid's Addition filed December 23, 1857 in Plat book 1 at page 92.

11.) Building setback lines, easements, covenants and restrictions, but deleting any unlawful restrictions including, but not limited to, racial restrictions, which are shown on the recorded plat of 2nd Resurvey of Reid's Addition filed April 21, 1869 in Plat Book 2 at Page 74.

12.) Terms and provisions of Certificate of Completion as set forth in instrument filed May 28, 2019 under Document No. 2019E0038904.

GENERAL SURVEY NOTES:

- 1.) The plat of REID'S ADDITION OF LOTS 25 THRU 29, Tract II, is recorded in Plat Book 1 at Page 92 in the Register of Deeds Office in Jackson County, Missouri.
- 2.) The plat of REID'S ADDITION OF LOTS 5 THRU 12, Tract I, is recorded in Plat Book 2 at Page 74 in the Register of Deeds Office in Jackson County, Missouri.
- 3.) Title Report # MPS0001745, dated OCTOBER 4th, 2022 provided by Old Republic National Title Insurance Company was provide by client.
- 4.) Basis of bearings is established by the Missouri State Plane Coordinate System from GPS observation.
- 5.) The subject property is located in Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map (FIRM) 29095C0252G, effective January 20, 2017.
- 6.) Total parking spaces equal 66 in total with 3 ADA parking spaces.
- 7.) Utility ticket #230091011 dated January 9th, 2023.

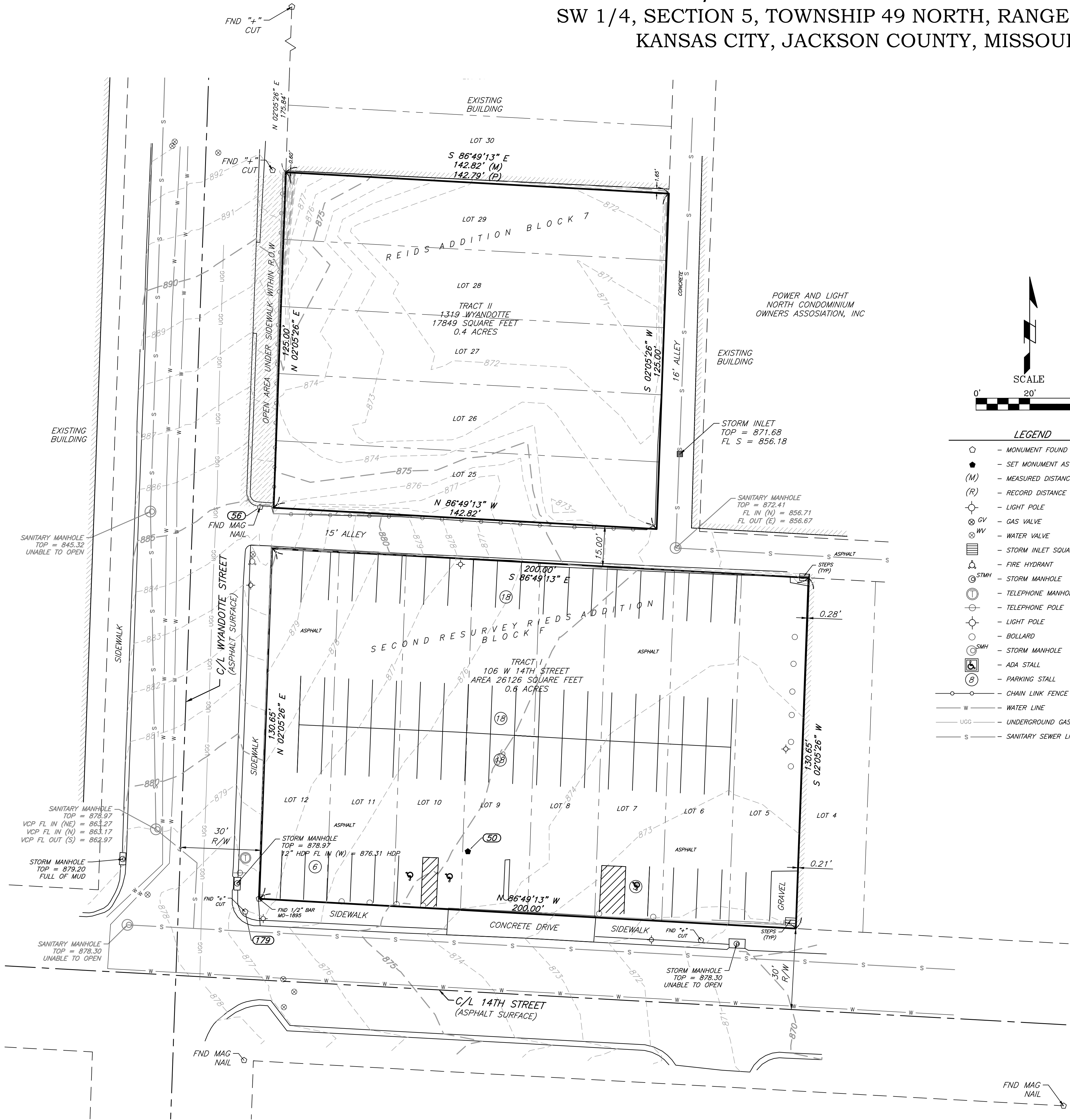
UTILITY NOTE:

The utilities on this survey are shown based on source information from plans and markings and were combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

SURVEY CONTROL POINTS				
Point #	Northing	Easting	Elevation	Description
1	1058173.26	2763807.05	995.40	PENN
50	1067158.36	2764493.65	875.15	MS + CUT
56	1067286.65	2764416.35	884.72	MF -MAGNAIL
179	1067136.00	2764410.76	877.00	MF + CUT

BENCHMARKS:

STATION PENN: Triangulation disk located in Kansas City on the East side of PENN VALLEY PARK, near the intersection of 31st Street and Wyandotte Street.
Elevation = 995.40



Location: S:\23.001 - 14 Wyandotte\DRAWINGS\2023-01-17 ALTA.dwg-Jan 23, 2023-2:53pm

01-20-23
INITIAL SUBMITTAL

1



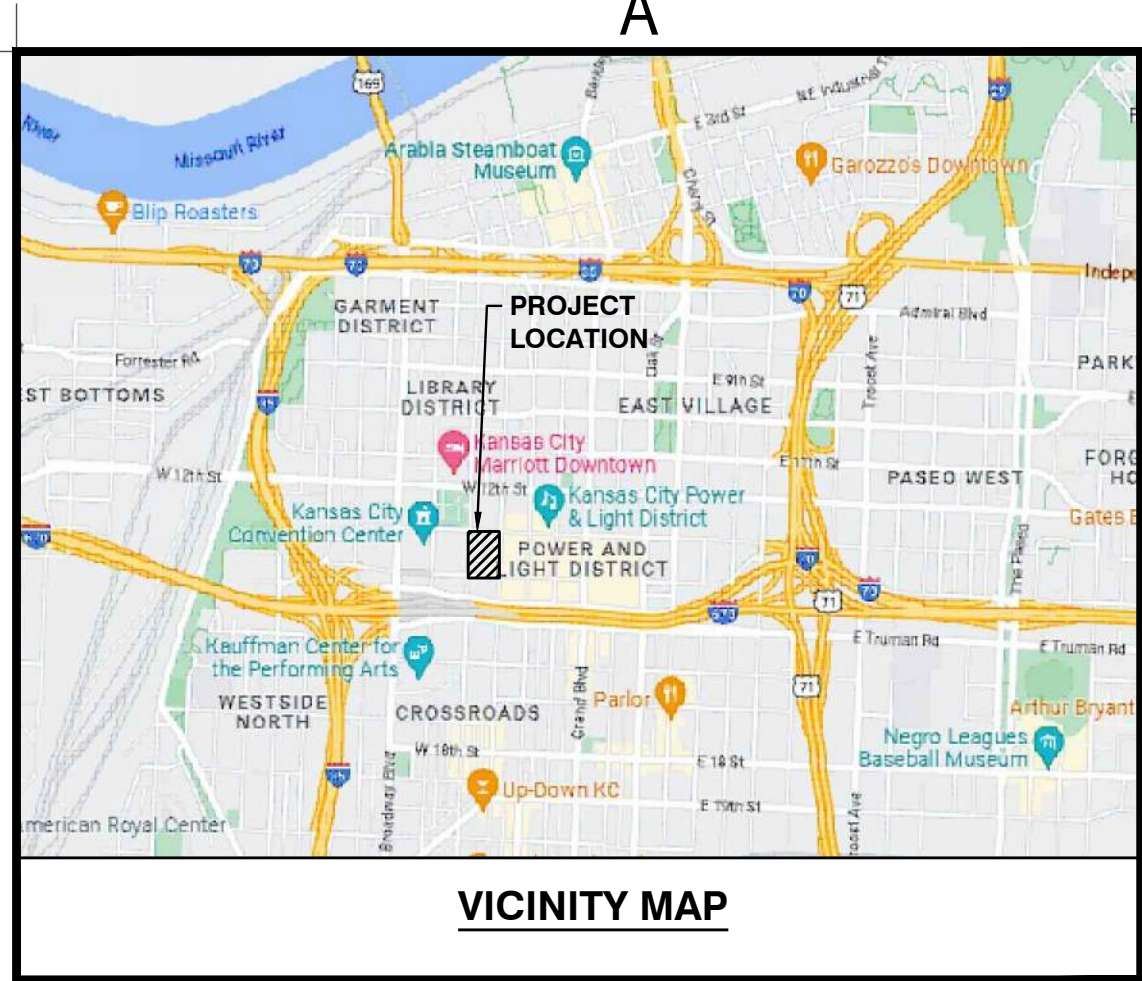
8680A N. GREEN HILLS ROAD • KANSAS CITY, MO 64154
PHONE (816) 741-1017 • FAX (816) 741-1018

CERTIFICATION:

To Old Republic National Title Insurance Company, Lux Living, LLC,
Red Oak Capital Fund II, LLC a Delaware limited liability company:
This is to certify that this map or plat and the survey on which
it is based were made in accordance with the 2021 Minimum
Standard Detail Requirements for ALTA/NSPS Land Title Surveys,
jointly established and adopted by ALTA and NSPS, and includes
Items 1, 2, 3, 4, 5, 8, 9, and 11, of Table A thereof. The field
work was completed on the 11th day of January, 2023.

1-23-23
Date

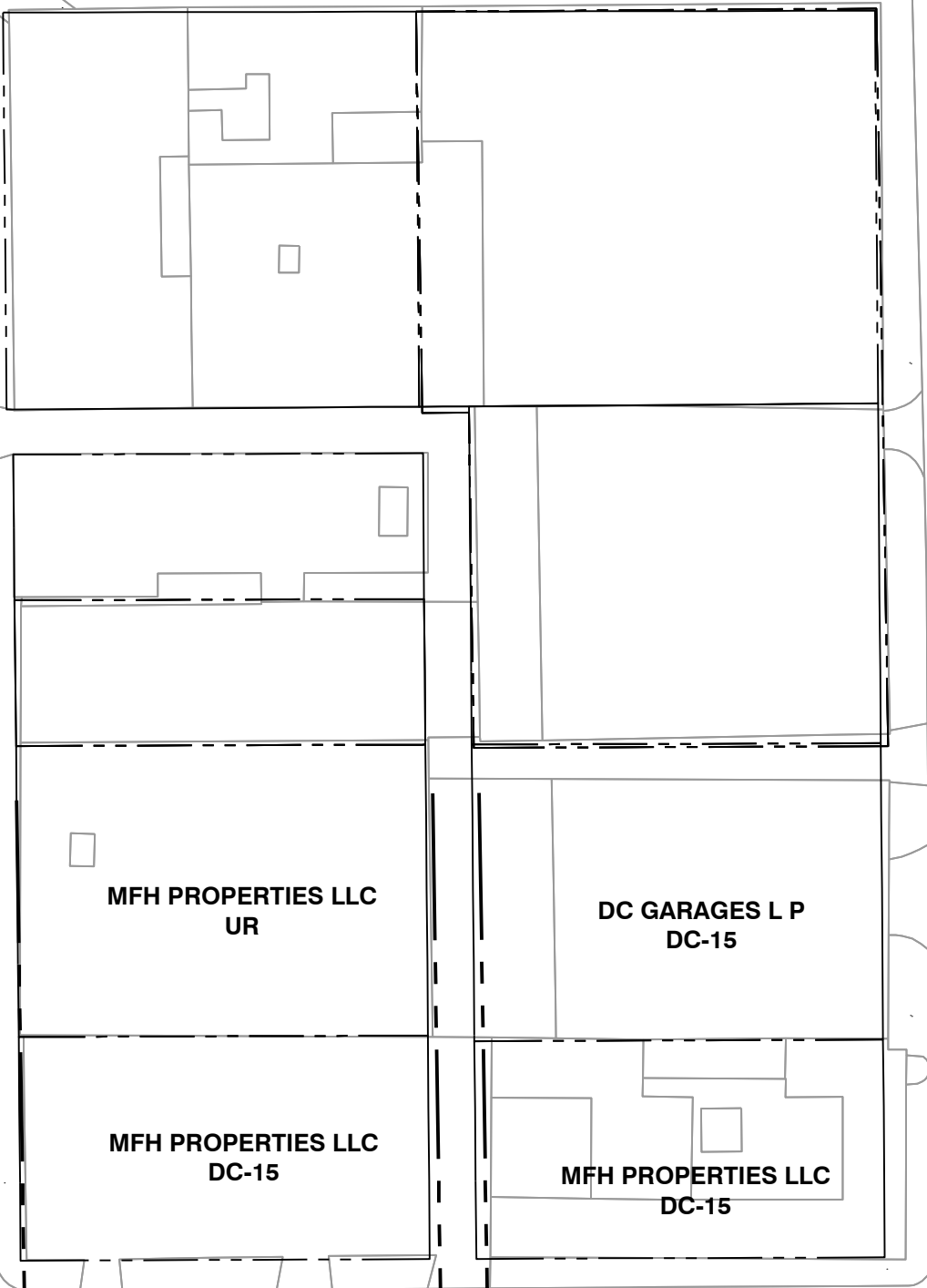
John B. Young PLS-2006016647



VICINITY MAP

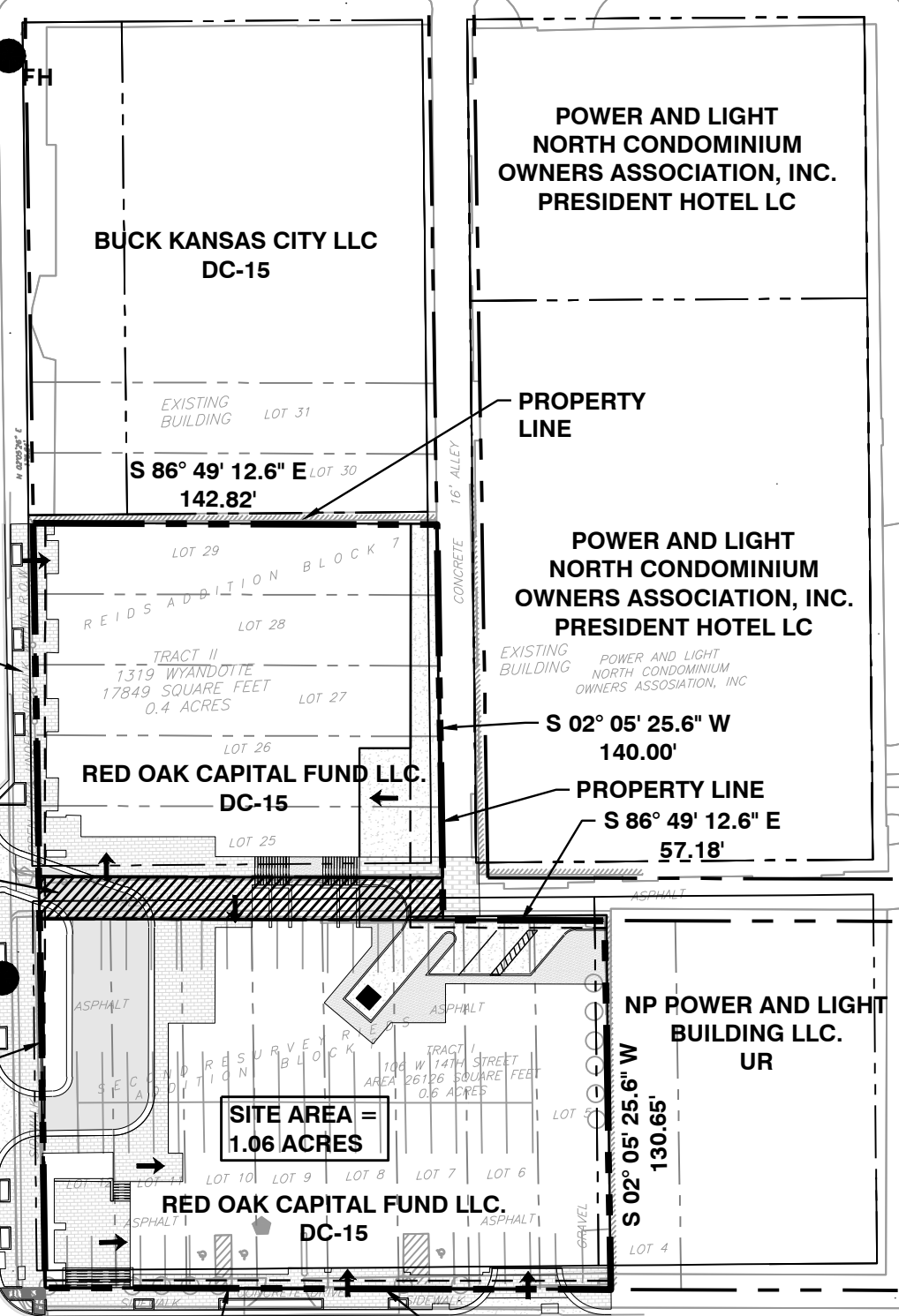
CITY OF KANSAS CITY
DC-15

12th STREET



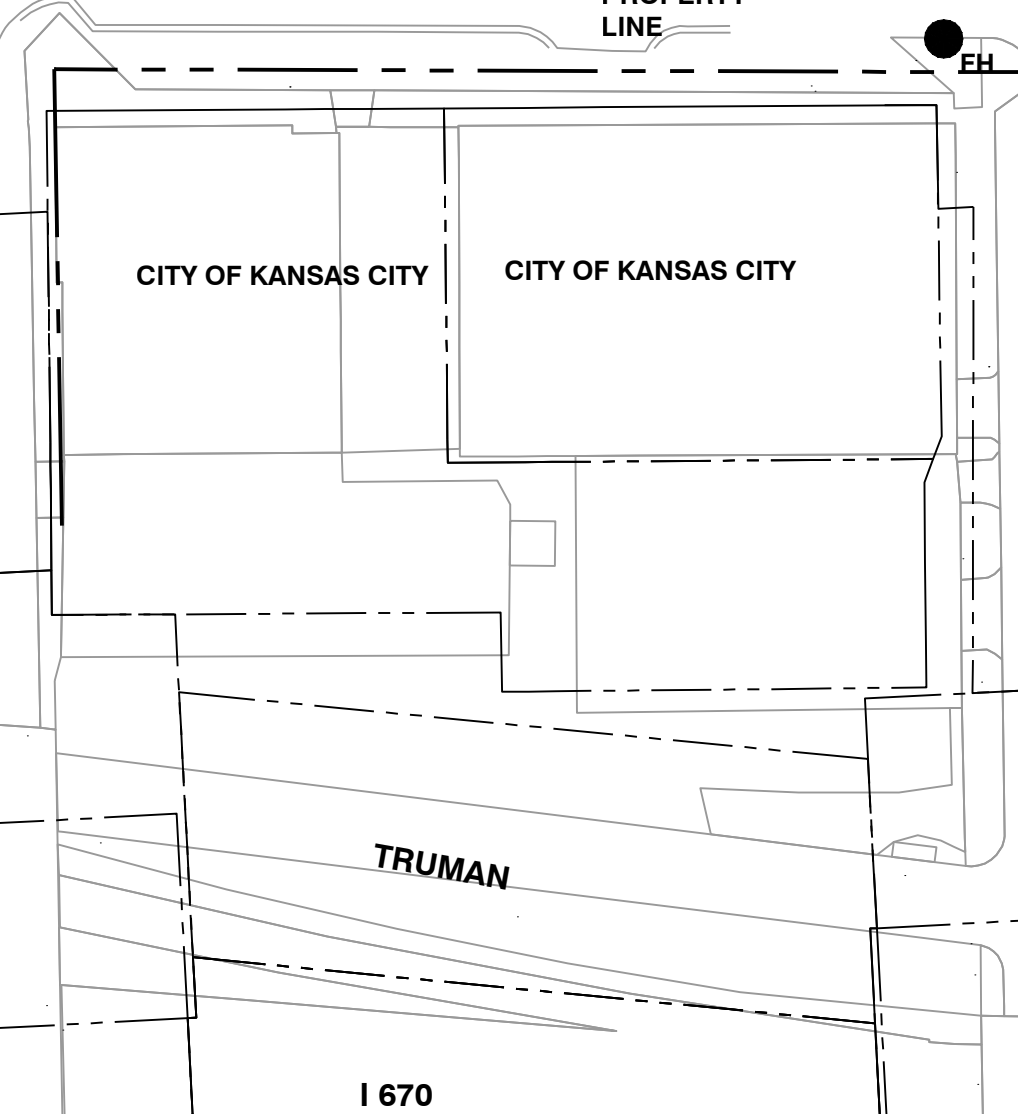
13th STREET

WYANDOTTE STREET



14th STREET

WYANDOTTE STREET



TRUMAN

1670

1200 CHIEFS OWNER LLC
DC-15

MIDLAND RESIDENTIAL LLC
DC-15

KCI MIDLAND THEATRE REAL
ESTATE HOLDINGS LLC
DC-15

CITY OF KANSAS CITY

CITY OF KANSAS CITY

CITY OF KANSAS CITY

PRESIDENT HOTEL LC
UR

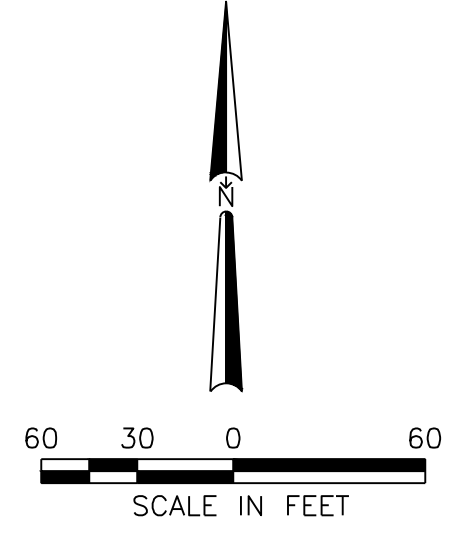
CITY OF KANSAS CITY

CITY OF KANSAS CITY

MAIN STREET

13th STREET

MAIN STREET



LEGEND:

- FH EXISTING FIRE HYDRANT
- ← BUILDING ENTRANCE / EXIT
- LOADING DOCK

Development Summary Table	
Item	Description
a	Zoning
	Existing = DC-15
	Proposed = DC-15
b	Total Land Area
	Existing = 1.060 AC
	Proposed = 1.060 AC
c	Right-of-way Land Area
	Existing = 0.00 AC
	Proposed = 0.00 AC
d	Net Land Area
	Existing = 1.060 AC
	Proposed = 1.060 AC
e	Proposed Building Use
	Hotel/Lodging 203,350 Gross SF
	Residential Units 308,228 Gross SF
	Retail/Commercial 1,675 Gross SF
	Parking Garage 148,006 Gross SF
f	Structure Height & Number of Floors
	Building = 340 ft.
	27 Floors
g	Gross Floor Area & Units
	Building #1
	Ground Level 32,368 SF
	Level 2 Parking Garage 22,221 SF
	Level 3-5 Parking 41,935 SF
	Garage x3 levels
	Level 6 32,670 SF
	Level 7 24,690 SF
	Level 8-12 Typical Hotel 25,795 SF
	Guestroom x5 levels
	Level 13 23,825 SF
	Level 14- 25 Typical 21,170 SF
	Residential x12 levels
	Level 26 8,865 SF
	Level 27 7,800 SF
	Project Total = 661,259 SF
	Project Total = 200 Hotel Rooms
	300 Residential Unit
h	Building Coverage & Floor Ratio
	FAR= 14.32
i	Gross & Net Density
	Gross Density 283.02 Units/Acre
	Net Density 283.02 Units/Acre
j	Vehicle Parking
	Ratio (Residential)= None Required for DC
	Required Spaces = 0
	Provided Spaces = 358
	Required ADA Spaces= 301 - 400 = 8
	Provided ADA Spaces= 8
k	Bike Parking
	Short term Ratio = 10% of Veh. Parking
	Required Spaces = 36
	Provided Spaces = 36
	Long term Ratio = 1 per 3 units (50% after 50)
l	Construction Timeline
	Begin = 1/15/2024
	Construction = 28 months
	Completion = 5/15/2026
m	Amendments to Development Plan
	No

Parkland Fee in Lieu of Dedication Formula	
Number of Residential Units	300
Residents per Unit	2
Number of Residents	600
Required Parkland per Resident (Acres)	0.006
Required Parkland to be Dedicated (Acres)	3.6
Parkland Dedicated (Acres)	0
Open Space Dedicated (Acres)	0
Total Acres for Fee Calculation	3.6
Fee per Acre	\$ 64,220.18
Parkland Fee*	\$ 231,192.65

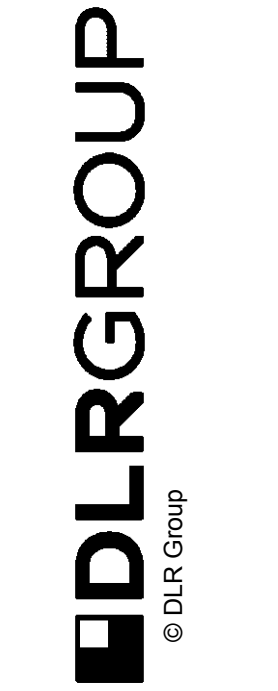
*NOTE: Developer will pay the above parkland fee in lieu of dedicating parkland and/or open space for this development

CIVIL ENGINEER:

JC CRONENWETT, PE
SK Design Group, Inc.
Phone: 913-451-1818
Fax: 913-451-7599
E-mail: jcronenwett@skdgroup.com

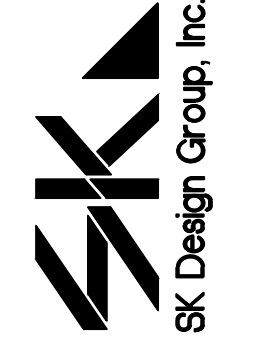
LEGAL DESCRIPTION:

108 W 14TH ST LOTS 5 THRU 12 BLK F
2ND RES OF REIDS ADD
1211-19 WYANDOTTE / REIDS ADD
LOTS 25 THRU 29 BLK 7



NOT FOR CONSTRUCTION

4600 College Boulevard
Suite 100
Overland Park, Kansas 66211
Fax: 913-451-7599

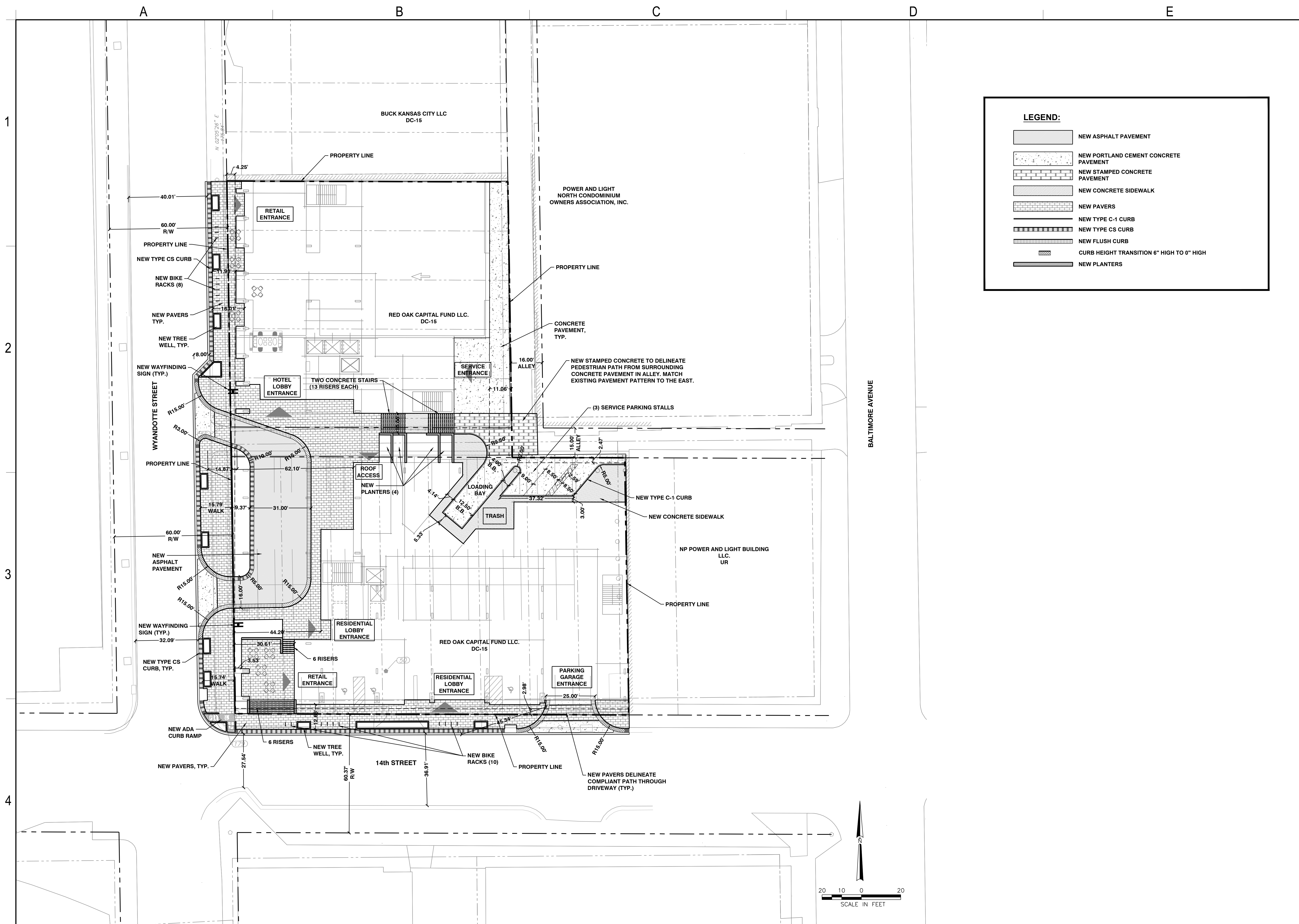


14th + Wyandotte
Mixed Use Development
108 W 14th STREET
KANSAS CITY, MISSOURI

DEVELOPMENT
PLAN
02/27/2023
REVISIONS
04/17/2023 - RE-SUBMITTAL

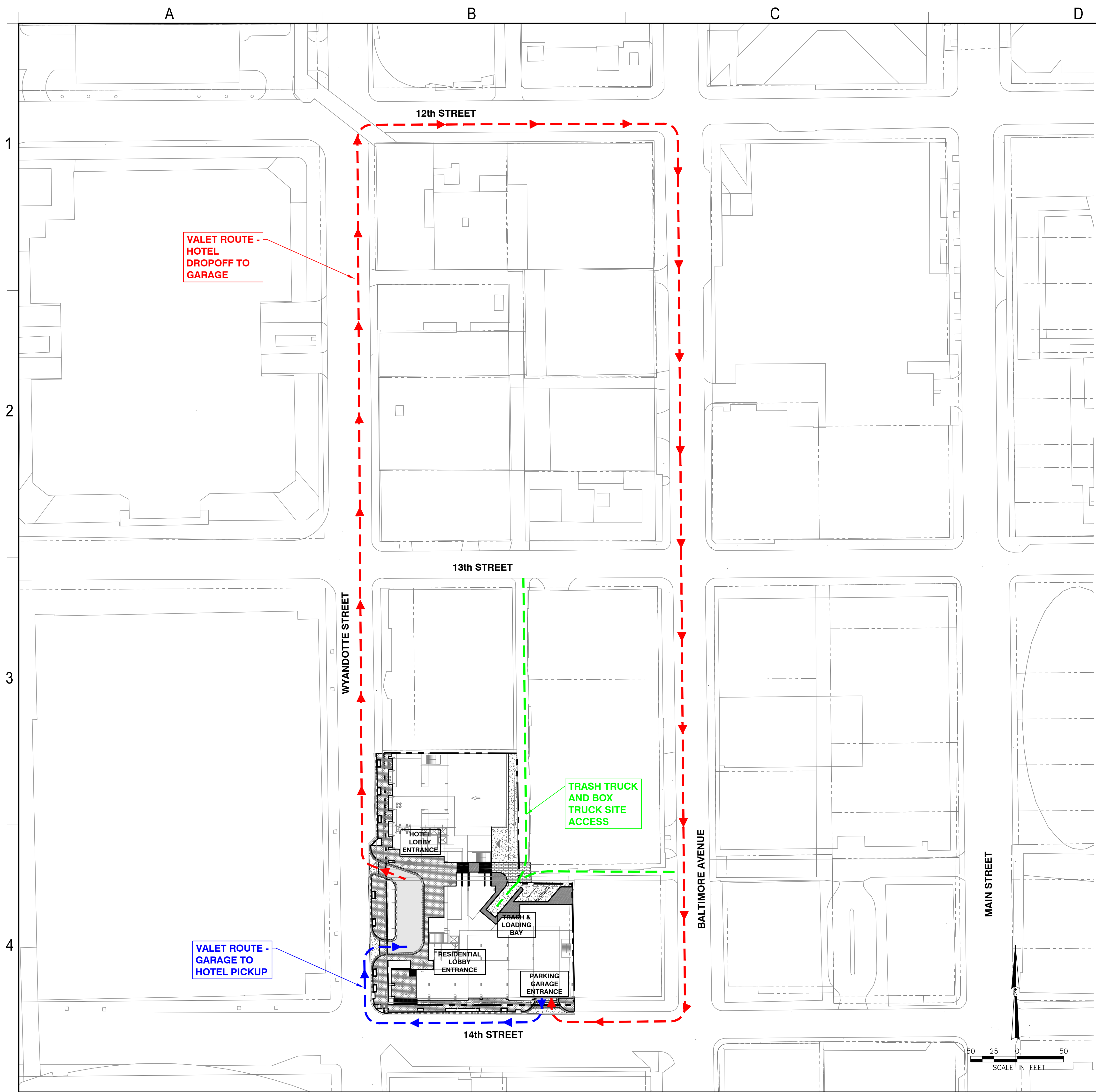
CD-CPC-2023-00020
DLR PROJECT NO.
13-23105-00
SITE PLAN

C1.00



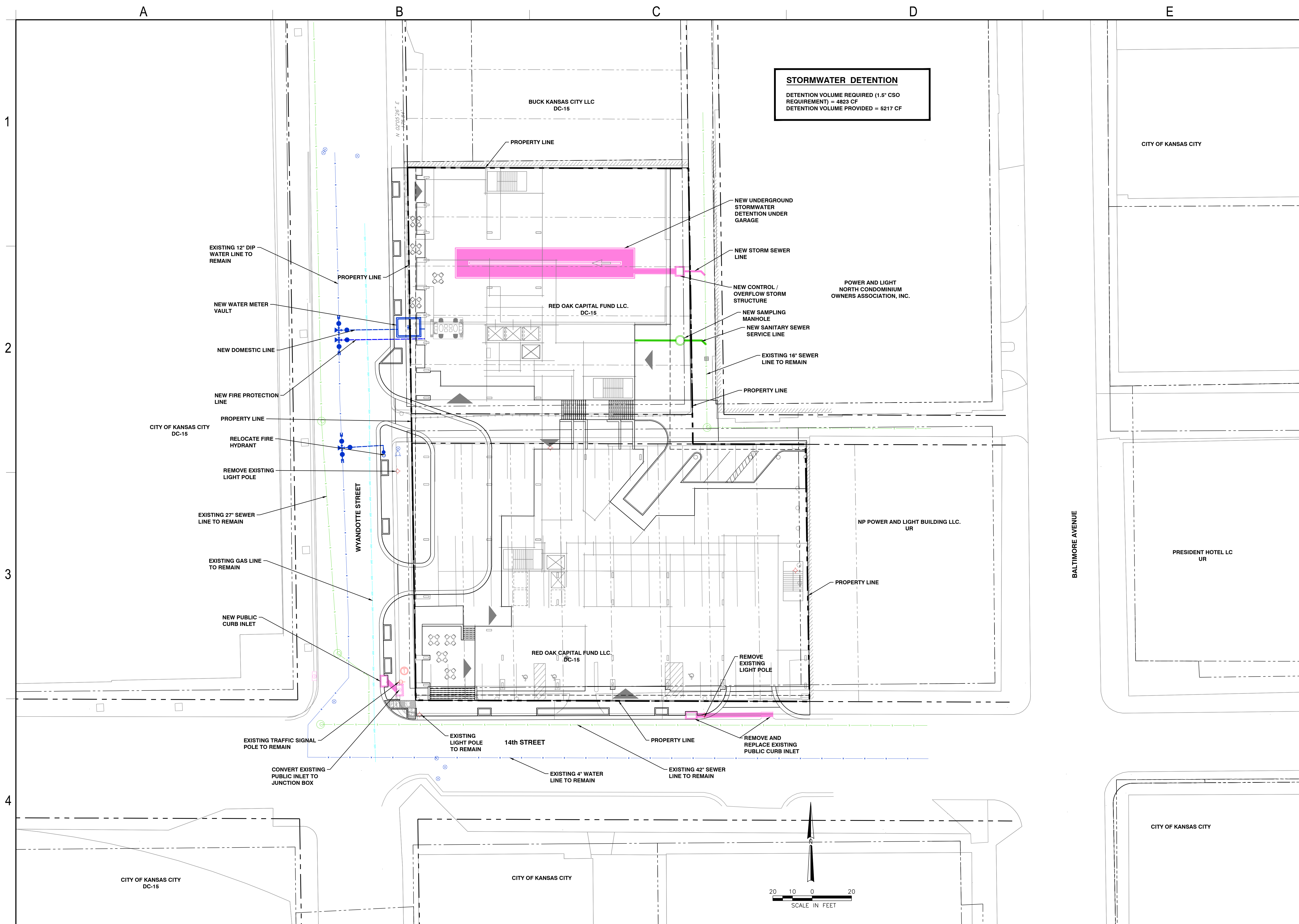
LEGEND:

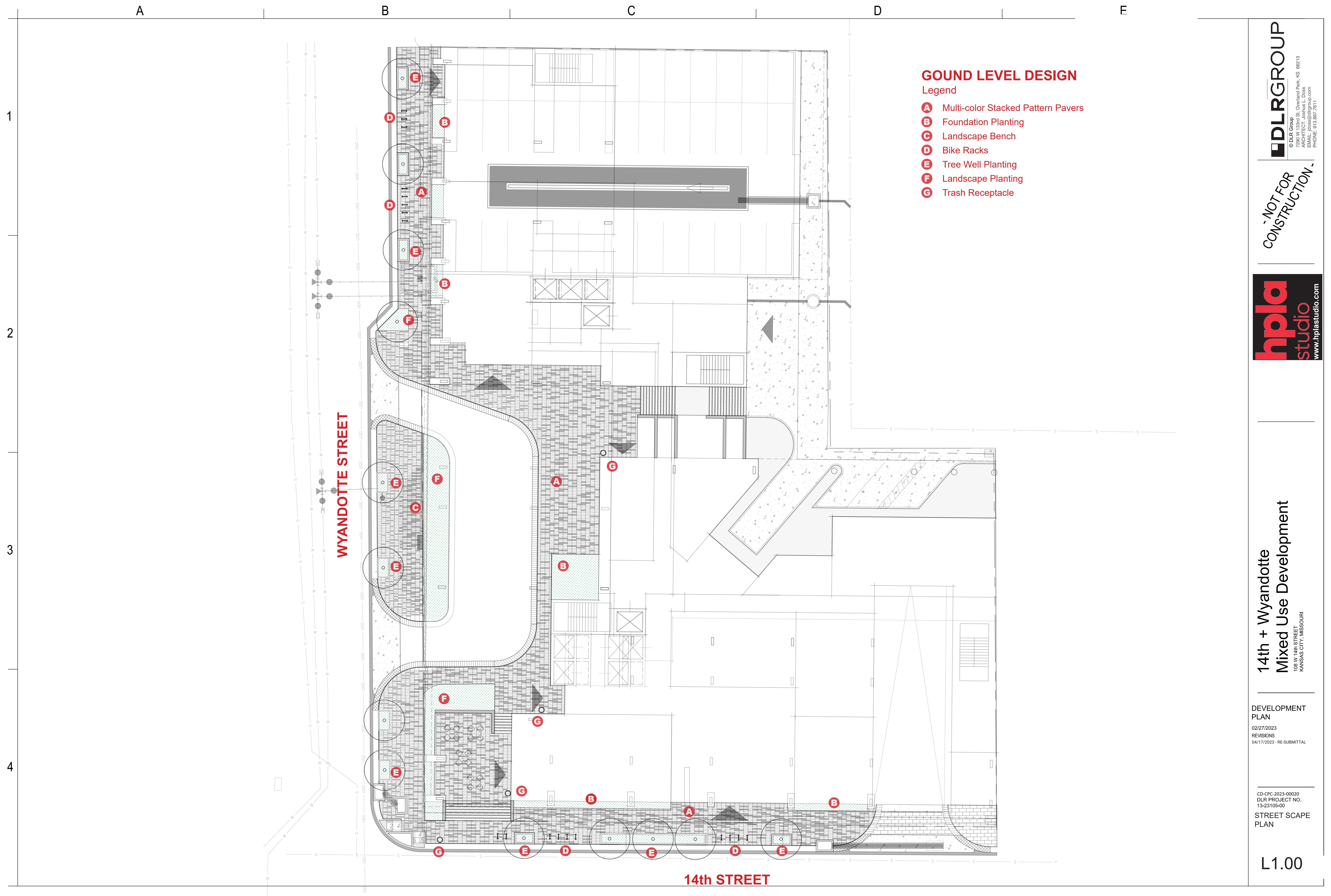
- NEW ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW STAMPED CONCRETE PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW PAVERS
- NEW TYPE C-1 CURB
- NEW TYPE CS CURB
- NEW FLUSH CURB
- CURB HEIGHT TRANSITION 6" HIGH TO 0" HIGH
- NEW PLANTERS

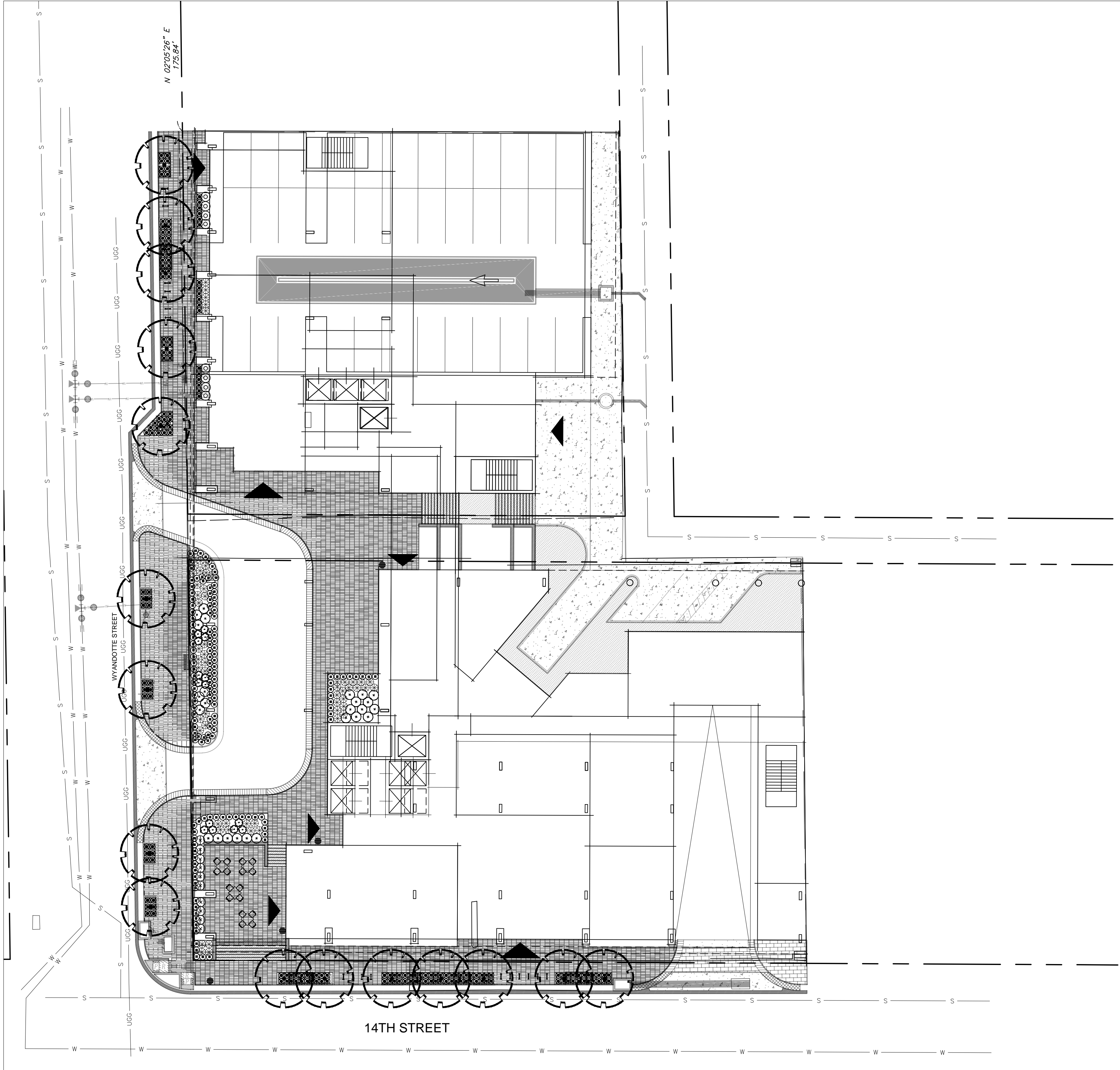


LEGEND:

- VALET ROUTE - HOTEL DROP OFF TO GARAGE
- VALET ROUTE - GARAGE TO HOTEL PICK UP
- TRASH TRUCK AND BOX TRUCK SITE ACCESS



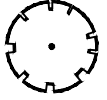

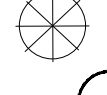


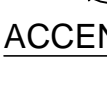








LANDSCAPE PLAN

SITE

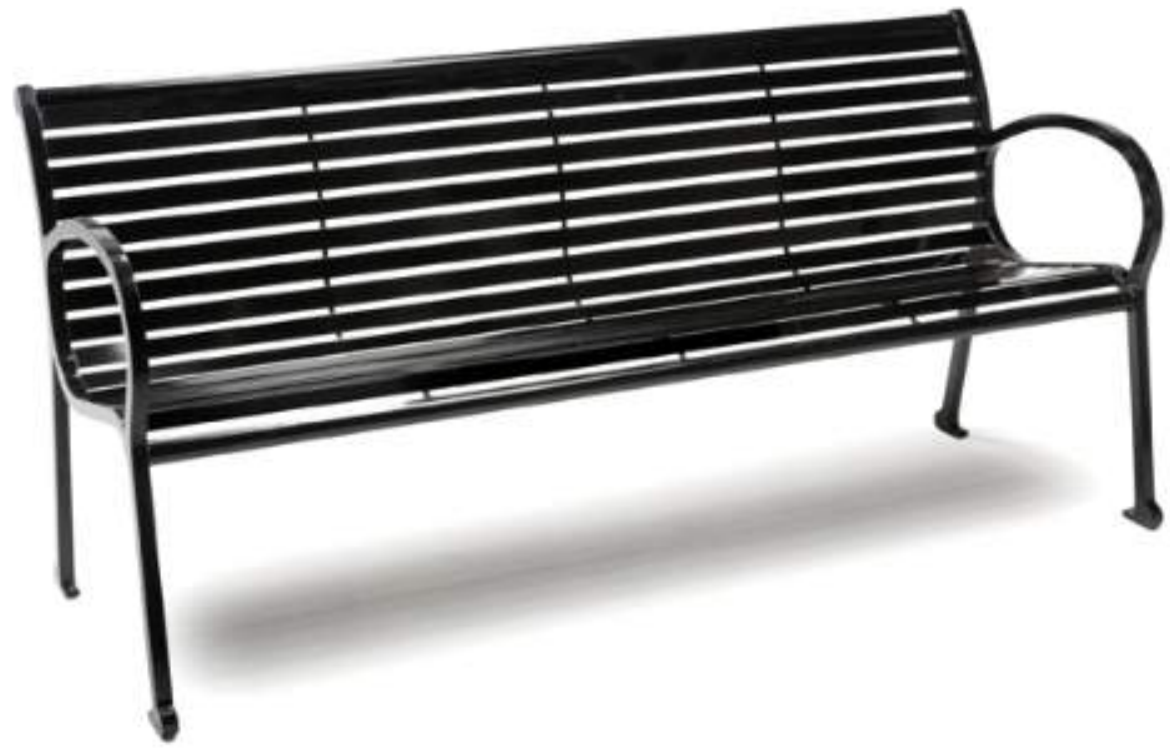


PLANT PALETTE - SITE					
TREES					
	NAME <i>Ginkgo biloba</i> 'Princeton Sentry' GINKGO	QTY. 16	SIZE 24" BOX	CALIPER 2" CAL. MIN.	COMMENTS 12'-15' HT. STANDARD
SHRUBS					
	NAME	QTY.	SIZE	HEIGHT	
	<i>Ilex 'Mesog'</i> China Girl CHINA GIRL HOLLY	08	5 GAL	24" HT.	
	<i>Buxus microphylla</i> 'Winter Green' WINTER GEM BOXWOOD	59	5 GAL	18" HT.	
	<i>Clethra alnifolia</i> 'Summer Sweet' SUMMER SWEET CLETHRA	25	5 GAL	24" HT.	
	<i>Taxus x media</i> 'Densiformis' DENSE YEW	14	5 GAL	18" HT.	
	<i>Cornus stolonifera</i> 'Farrow' ARCTIC FIRE DOGWOOD	12	5 GAL	24" HT.	
ACCENTS					
	NAME	QTY.	SIZE	SPACING	
	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' KARL FORESTER GRASS	10	5 GAL	SEE PLAN	
GROUNDCOVERS					
	NAME	QTY.	SIZE	SPACING	
	<i>Liriope muscari</i> 'Big Blue' BIG BLUE LIRIOPE	183	3 GAL	SEE PLAN	
	<i>Trachelospermum asiaticum</i> ASIATIC JASMINE	139	5 GAL	SEE PLAN	
SURFACE MATERIALS					
	DISCRPTION	QUANTITY			
	Shredded hardwood mulch- 3" in all non turf areas				

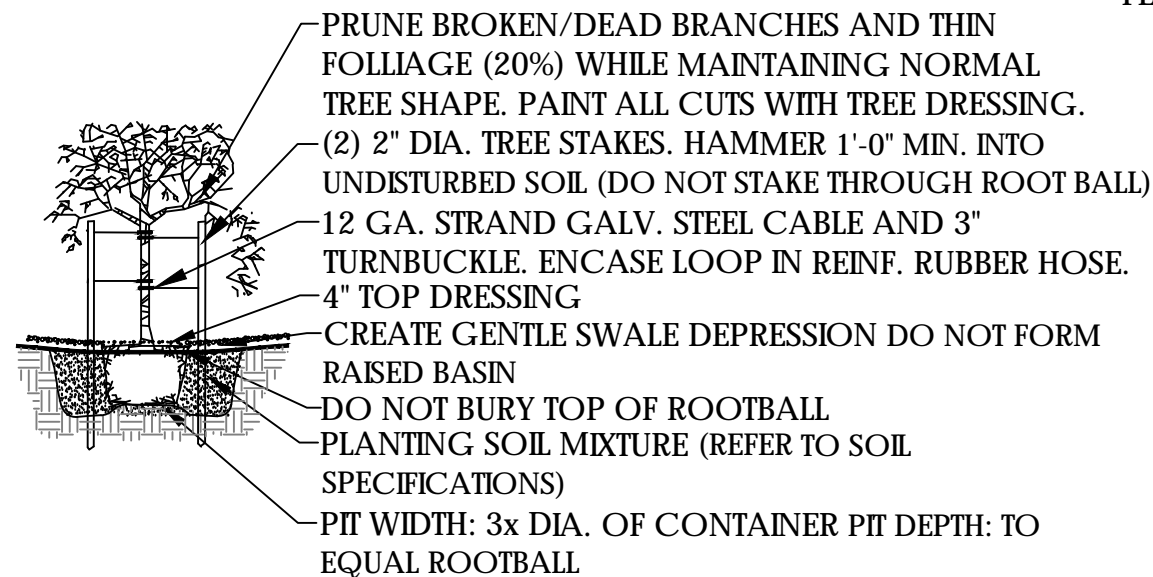
LANDSCAPE CALCULATIONS	
Wyandotte Street - (282 L.F.)	
Required trees: 09 (1 per 30')	
Provided Trees: 09	
14th Street - (222 L.F.)	
Required trees: 07 (1 per 30')	
Provided Trees: 07	
Wyandotte Street - (282 L.F.)	
Provided Bike Rack: 08	
14th Street - (222 L.F.)	
Provided Bike Rack: 10	

LANDSCAPE NOTES

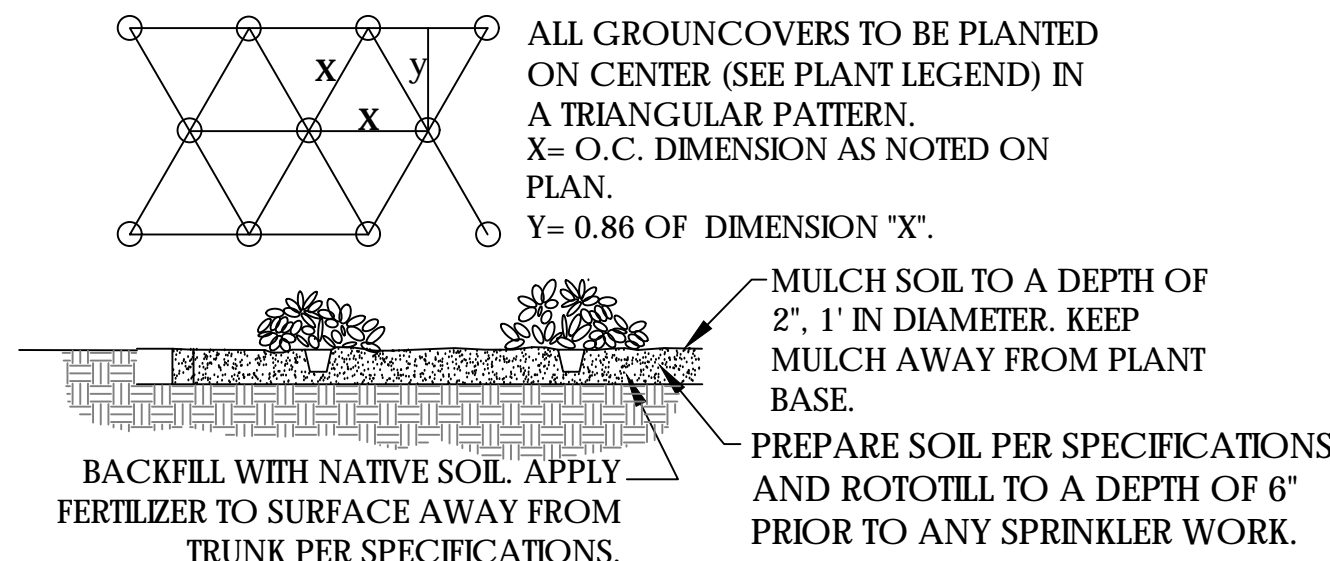
- All finished grades to be approved by the landscape architect prior to the installation of any plant material.
- Plant material to be approved by the landscape architect prior to installation.
- All tree locations to be staked by the landscape contractor and approved by the landscape architect prior to any holes being dug.
- The contractor is to provide a 2 lb sample of the proposed decomposed granite for review and approval by the landscape architect and owner. The contractor shall provide 100% coverage of non-paved areas within the limits of construction.
- For all tree planting that encounters hardpan/caliche provide separate unit price to install trees with an auger.
- It is the responsibility of the landscape contractor to inform the landscape architect of any plant material concerns based on the planting season (e.g. summer vs winter). Should the landscape contractor have any concerns about plant material due to heat or frost exposure, the installer shall request a substitution or delay in planting. Once planted, all plant material is subject to specified warranties.
- All palm and deciduous trees to be unconditionally guaranteed for one year after installation. All other plants shall be guaranteed for a minimum period of 90 days from the date of final approval by the city/owner. Any plant materials not approved by city/owner prior to October 1 of the calendar year in which they are installed shall be further guaranteed until may 20th of the following calendar year.
- Trees, shrubs, vines, groundcovers and turf which have to be replaced under the terms of the guarantee shall be guaranteed for an additional 90 days from the date of replacement.
- The landscape contractor shall be responsible for providing all finished grades and for maintaining positive drainage away from all buildings during the finish grading process. All slopes not to exceed 4:1 in landscape areas.
- The landscape contractor shall verify berm and retention basin locations shown on these plans with those on the civil engineering plans. Should a discrepancy exist between the plans, Studio Sprawl should be notified immediately.
- Under no circumstance shall any tree be planted within 6' of any building without the express written approval of the landscape architect.
- Trees and shrubs shall be placed a minimum of 6' from public accessways, utility cabinets and fire hydrants.
- Shrubs must be at maturity, 6' from the rear of a fire hydrant. No material other than groundcovers may be placed between a fire hydrant and the street or roadway or 6' on either side. Field verify all hydrant location with the civil engineering plans.
- All site improvements, including landscape and site clean up must be completed prior to final approval or certificate of occupancy.
- Trees adjacent to pedestrian walkways should have minimum canopy clearance of 6'8".
- No plant material with mature growth greater than three (3) feet in height shall be planted within potable water, sanitary sewer, or non-potable irigation easements. [Volume III, Section 2.05(A)]
- No shrubs shall be planted within five (5) feet or trees within ten (10) feet of potable and non-potable water meters, fire hydrants, sanitary sewer manholes, or potable water, sanitary water, and non-potable irigation mains and services. [Volume III, Section 2.05(B)]
- Automatic irigation system shall be equipped with an automatic rain detection device. [Chapter 18.44.100.3.b]



PRE-FAB BENCH | MODEL: SCARBOROUGH BENCH (72" BACKED)
BY: LANDSCAPEFORMS.COM | SIZE: 28"X72"X34"



TREE PLANTING NO SCALE



SHRUB PLANTING NO SCALE

DESIGNED BY: XXX
DRAWN BY: XXX
LAOR: DANIEL R. ERLANDSON
PLOT DATE: 00/00/2022

ISSUE FOR PRICING/BIDDING:
ISSUE DATE
ISSUE FOR PERMIT APPLICATION:
ISSUE DATE
ISSUE FOR CONSTRUCTION:
ISSUE DATE

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION:

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14th & WYANDOTTE

KANSAS CITY, MO
PROJECT #: H23-111

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.



HUMPHREYS & PARTNERS LANDSCAPE ARCHITECTURE, L.L.C.
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240
T: (972) 701-9636
F: (972) 701-9639
W: www.hplastudio.com

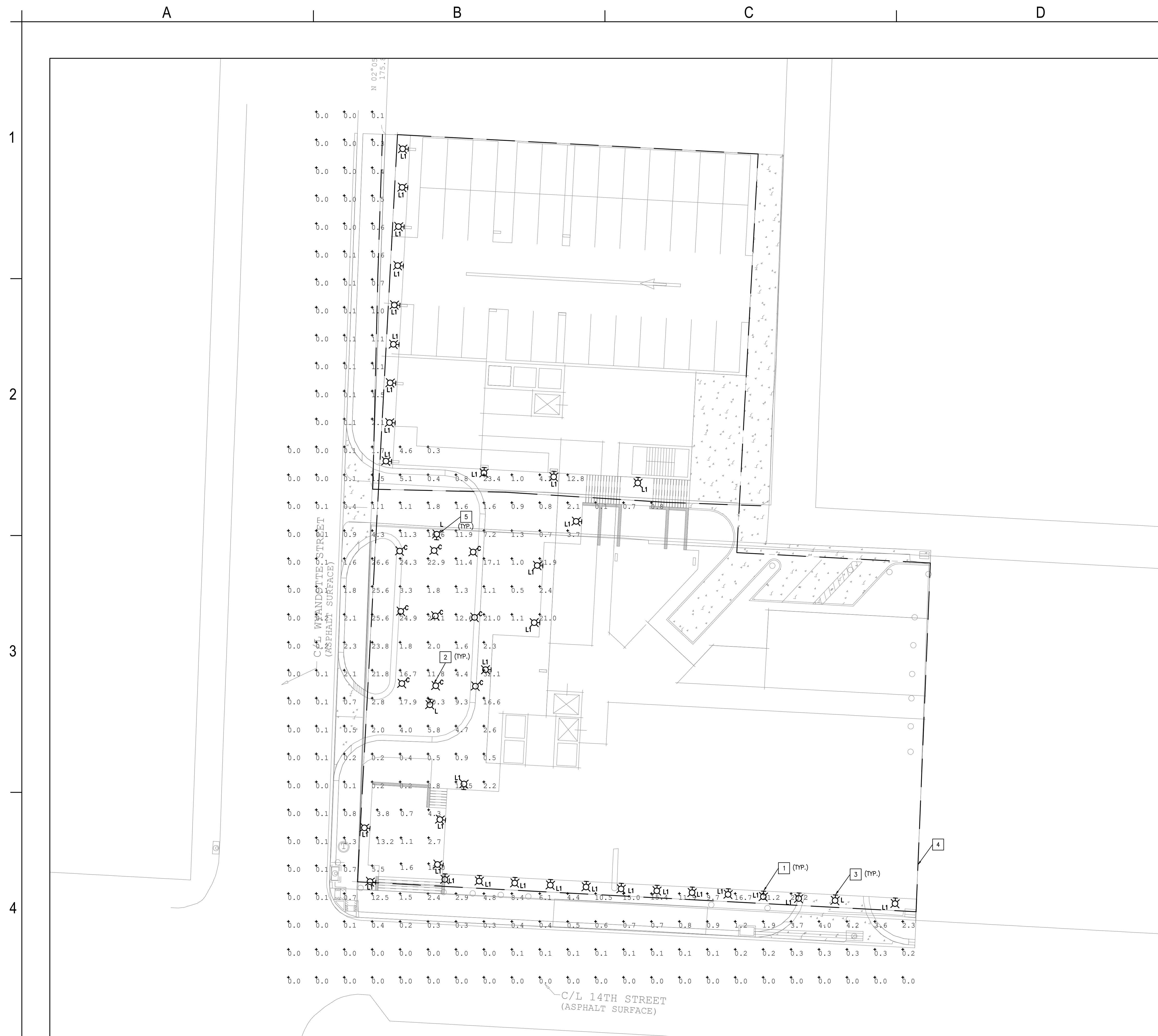
CLIENT
ADDRESS LINE 1
ADDRESS LINE 2
P: (000) 000-0000
E: xxx

SHEET TITLE
LANDSCAPE PLAN

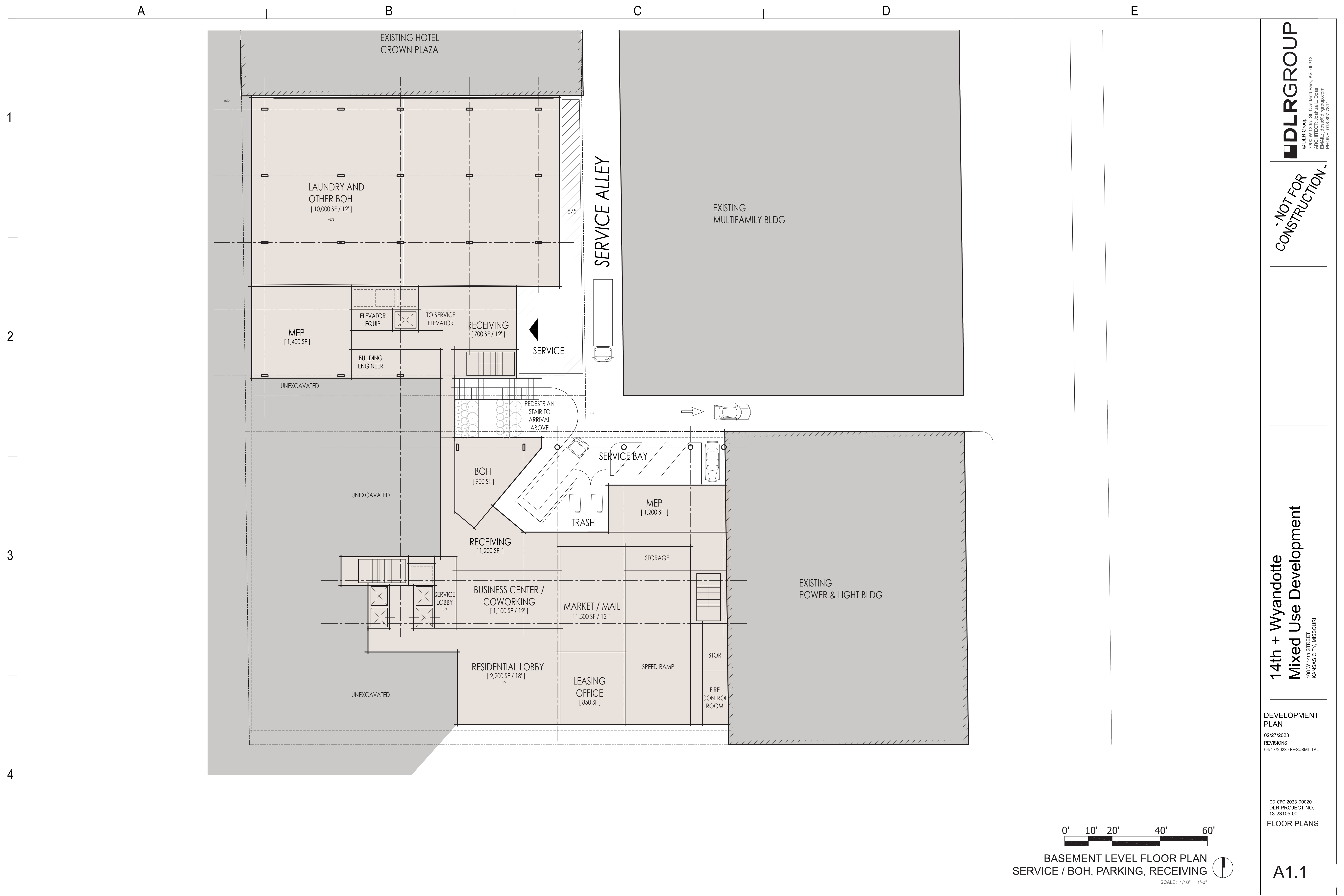
SHEET NUMBER
L8.00

SCALE: AS INDICATED

00% PROGRESS SET - 2022-MONTH-DAY - NOT FOR CONSTRUCTION



EL100



0' 10' 20' 40' 60'

BASEMENT LEVEL FLOOR PLAN
SERVICE / BOH, PARKING, RECEIVING

SCALE: 1/16" = 1'-0"

DLR GROUP
© DLR Group
7290 W 133rd St, Overland Park, KS 66213
ARCHITECT: Joshua L. Doss
jldoss@dlrgroup.com
PHONE: 913.897.7511

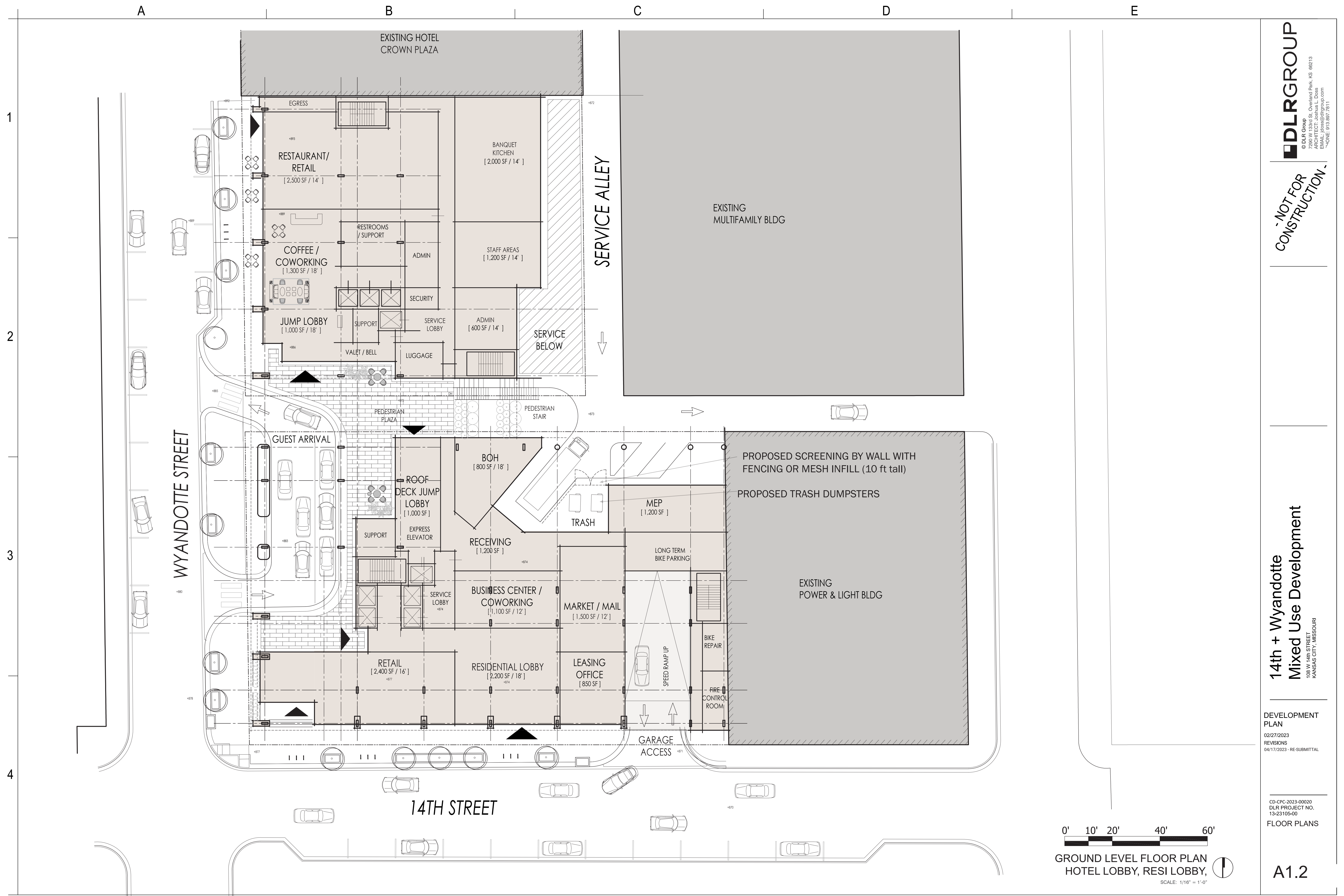
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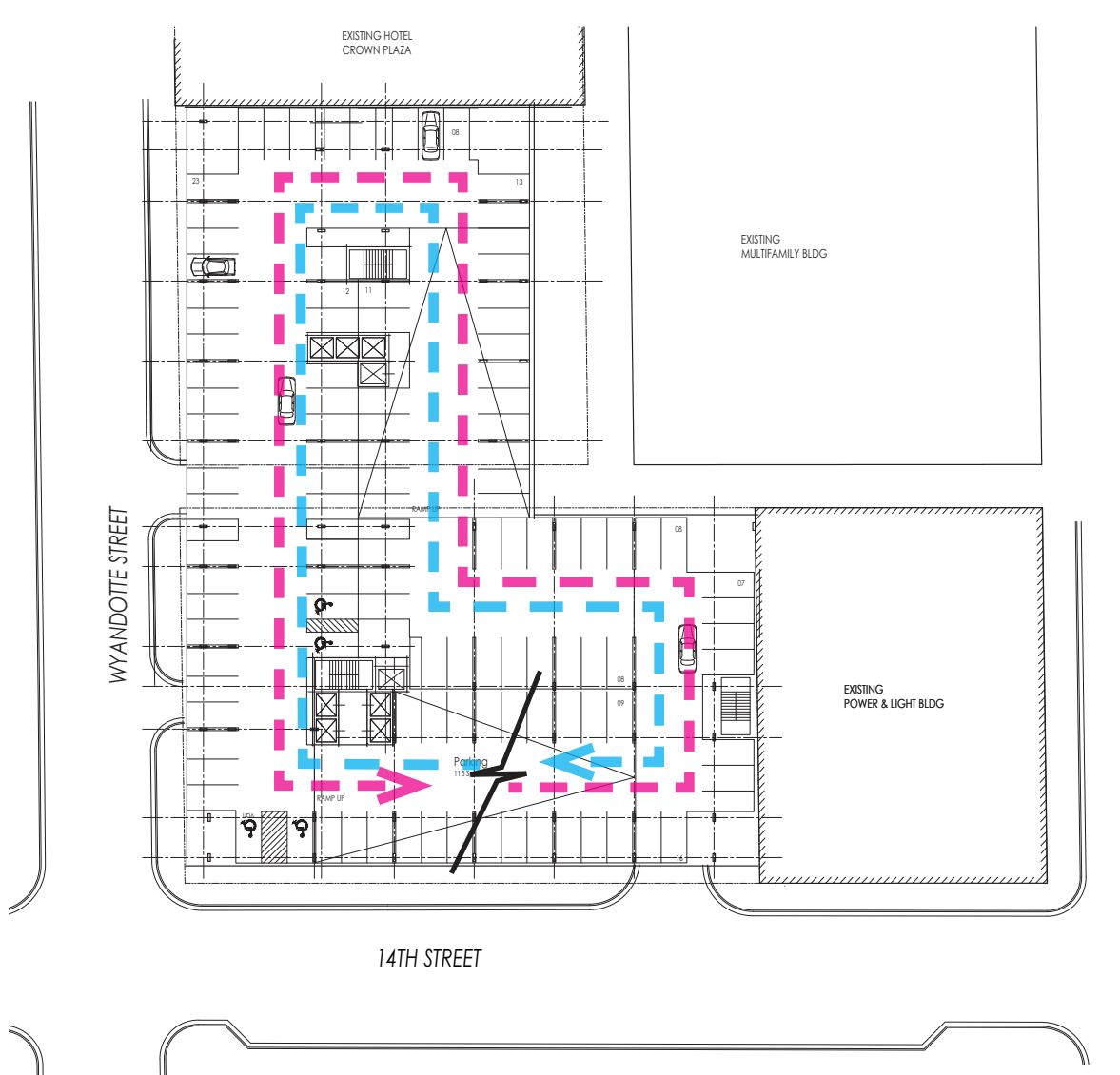
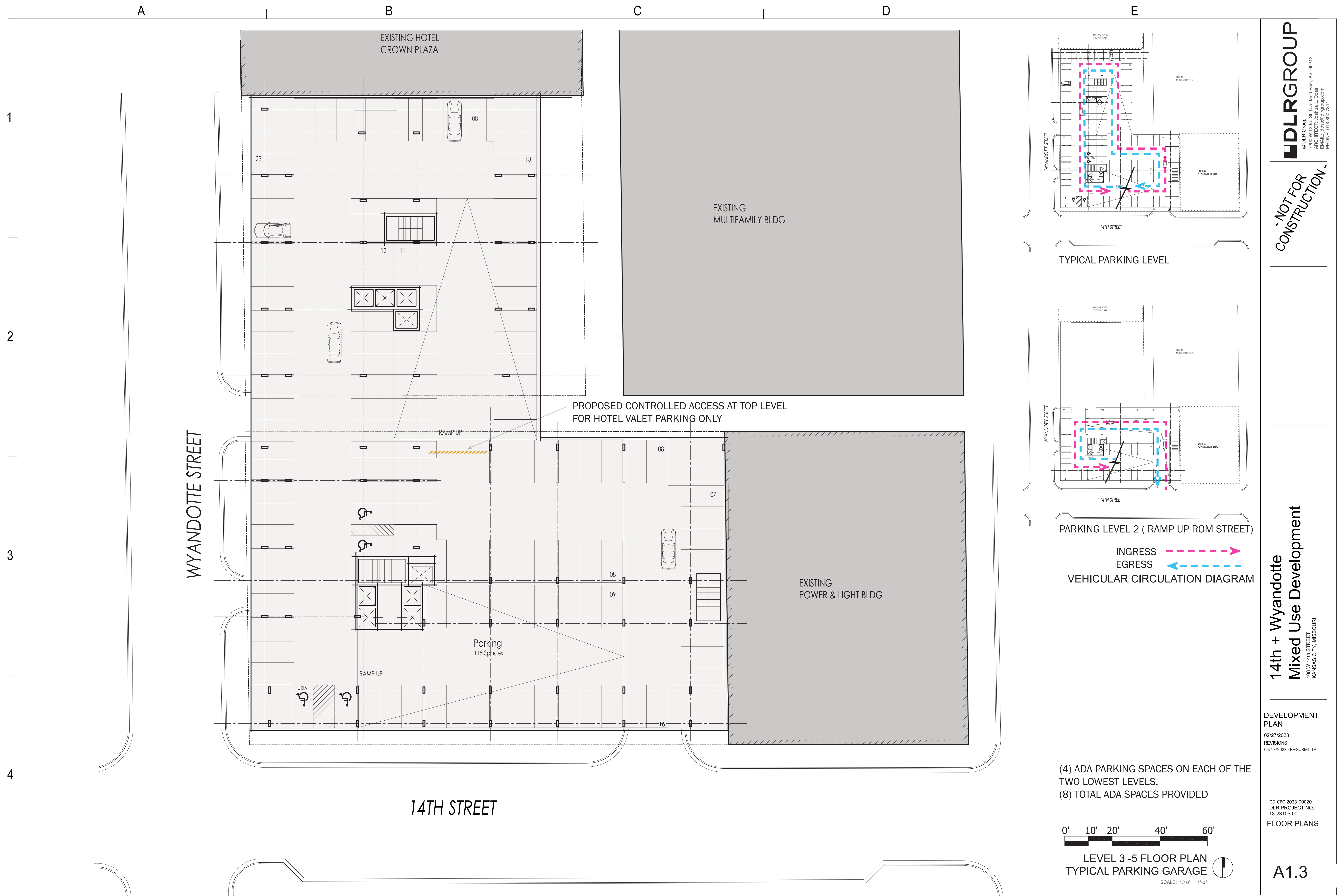
14th + Wyandotte
Mixed Use Development
100 W. 14th STREET
KANSAS CITY, MISSOURI

DEVELOPMENT PLAN
02/27/2023
REVISIONS
04/17/2023 - RE-SUBMITTAL

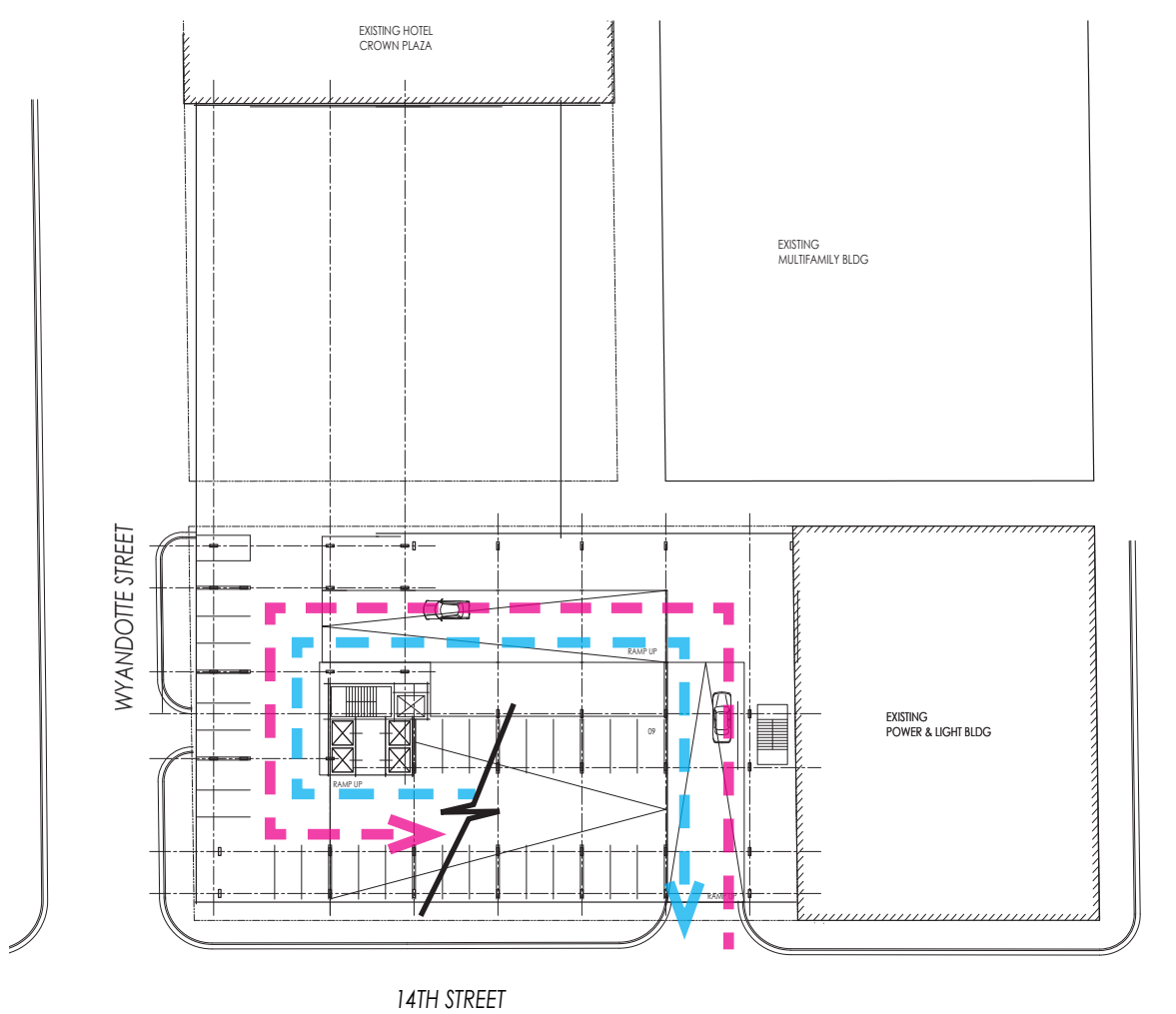
CD-CPC-2023-00020
DLR PROJECT NO.
13-23105-00
FLOOR PLANS

A1.1

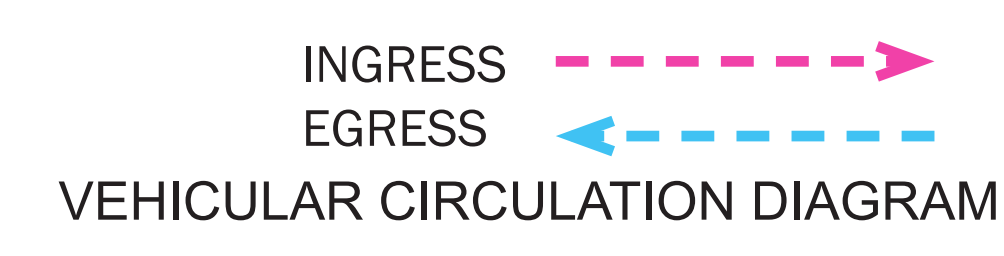




TYPICAL PARKING LEVEL



PARKING LEVEL 2 (RAMP UP ROM STREET)

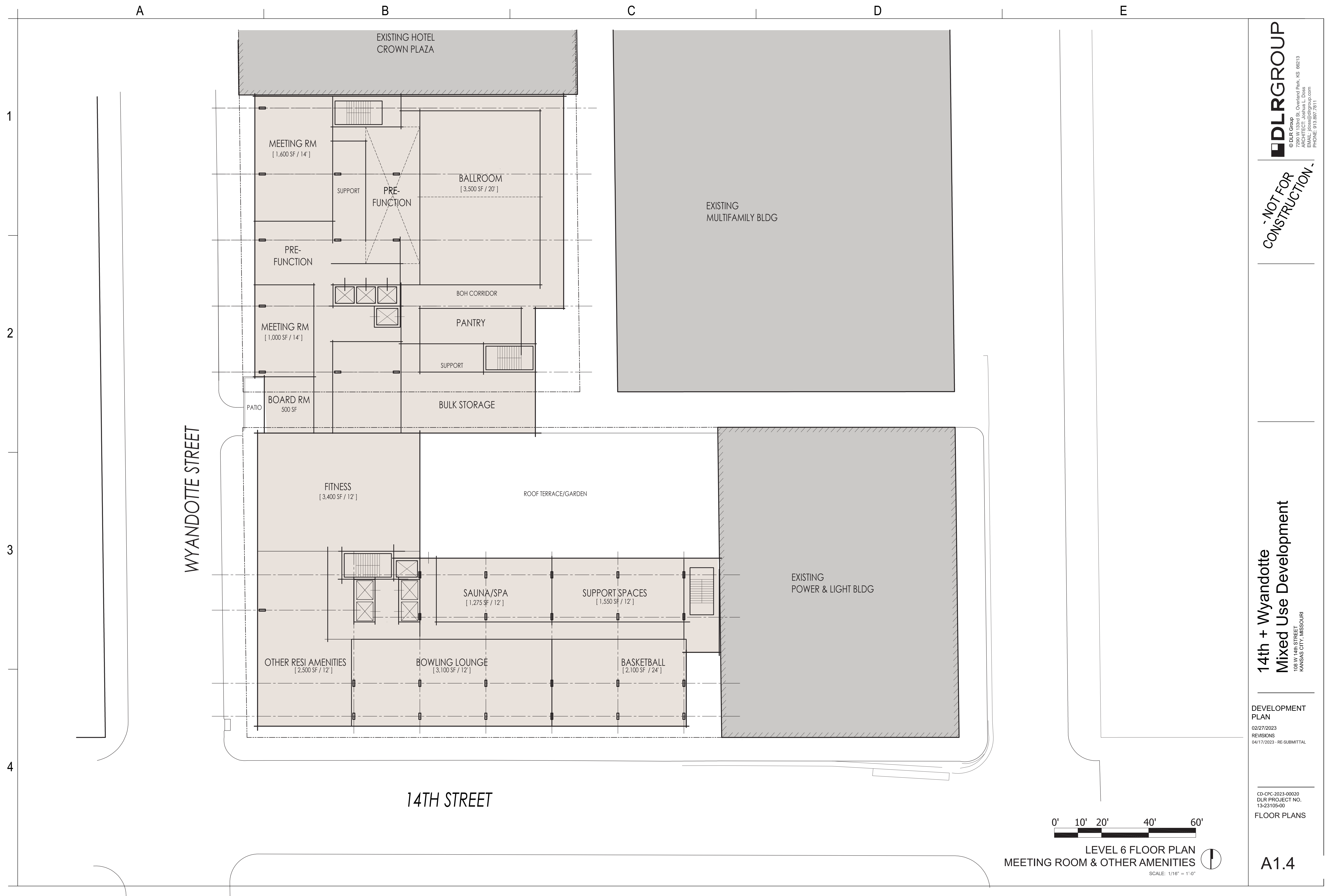


- (4) ADA PARKING SPACES ON EACH OF THE TWO LOWEST LEVELS.
- (8) TOTAL ADA SPACES PROVIDED

0' 10' 20' 40' 60'

LEVEL 3 -5 FLOOR PLAN
TYPICAL PARKING GARAGE

SCALE: 1/16" = 1'-0"



WYANDOTTE STREET

14TH STREET

0'10'20'40'60'

LEVEL 6 FLOOR PLAN
MEETING ROOM & OTHER AMENITIES

SCALE: 1/16" = 1'-0"

A

B

C

D

E

1

2

3

4



FLOOR PLAN
TYPICAL GUESTROOM LEVEL

SCALE: 1/16" = 1'-0"

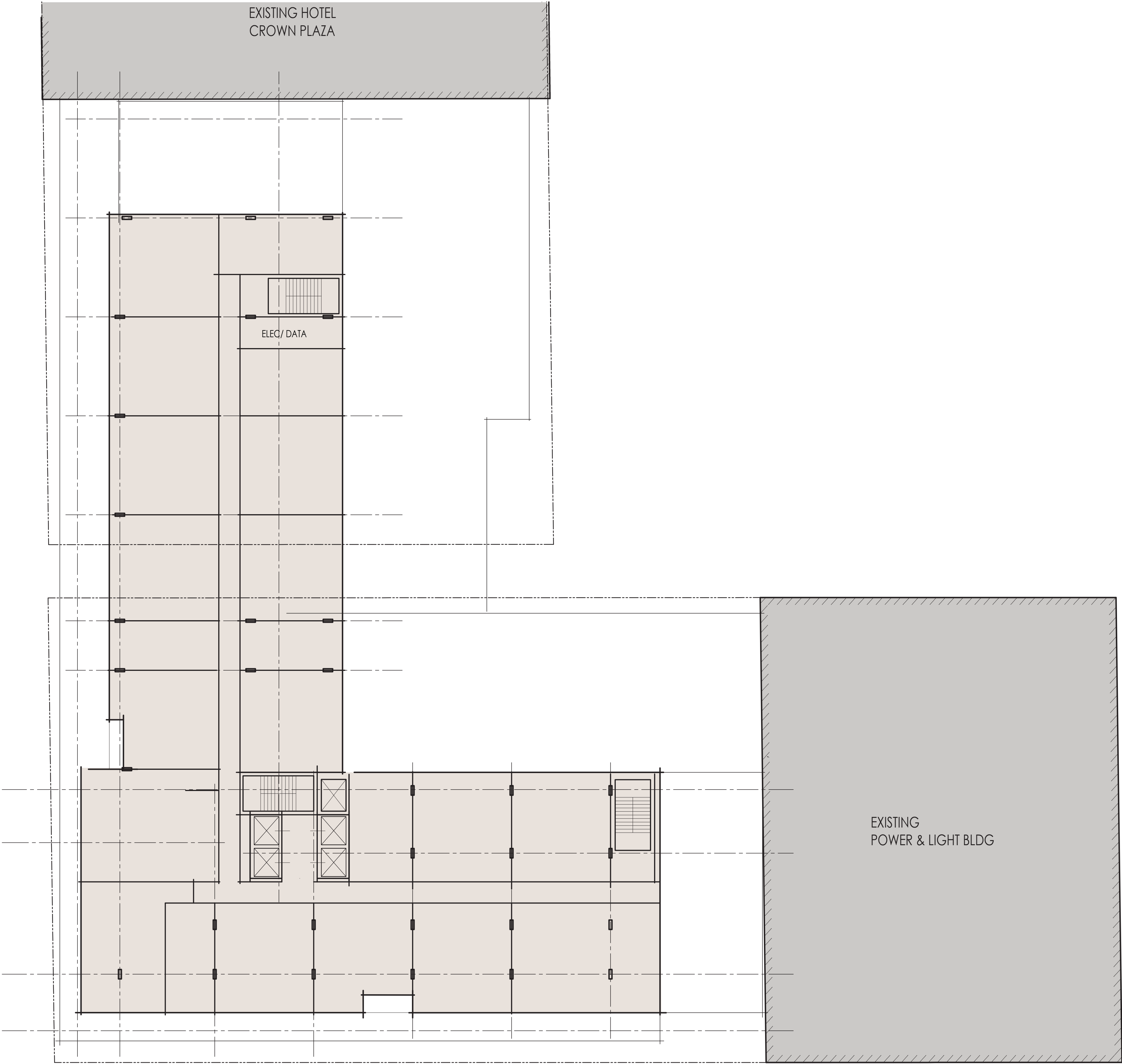
A

B

C

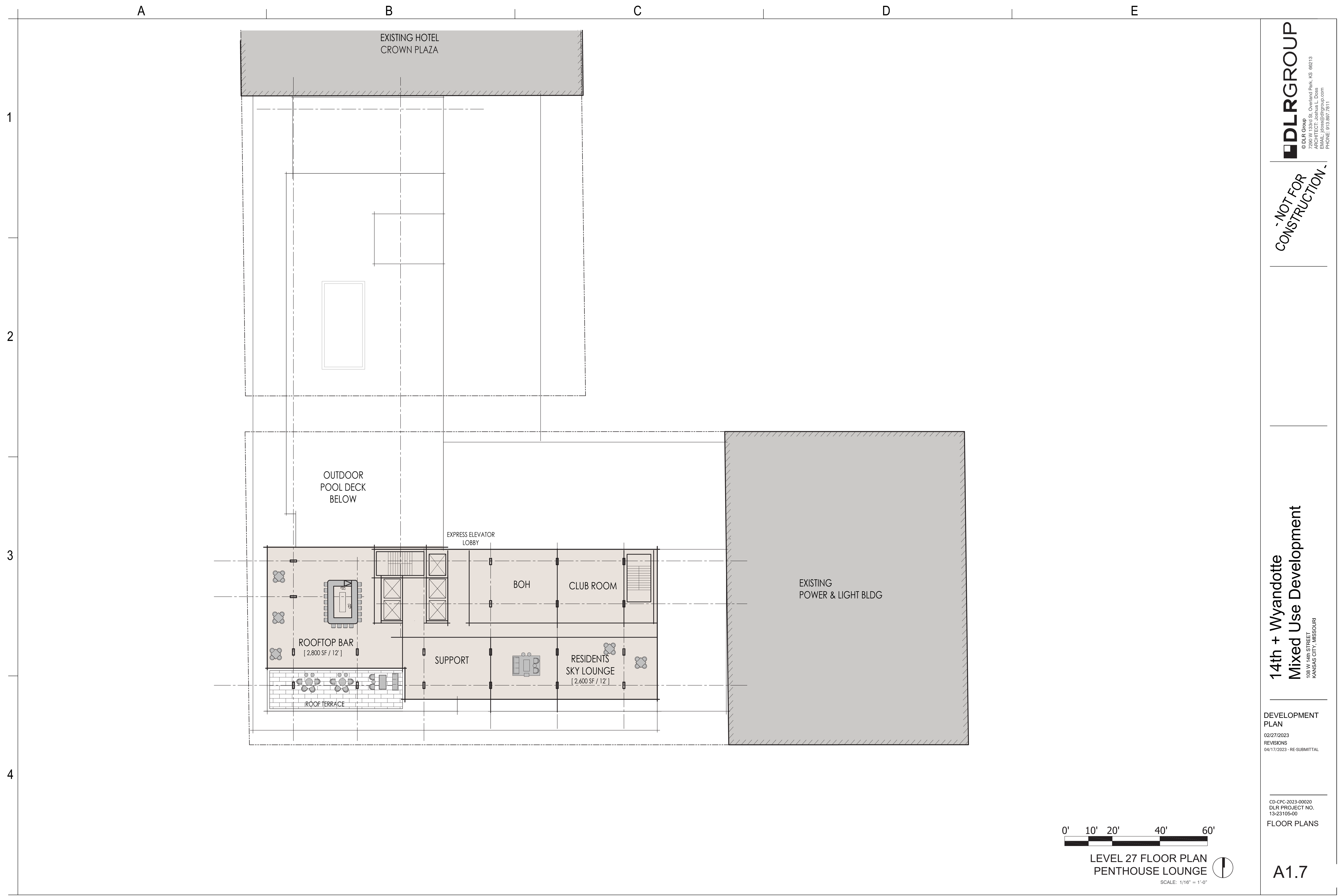
D

E



LEVEL 14-25 FLOOR PLAN
TYPICAL RESIDENTIAL

SCALE: 1/16" = 1'-0"

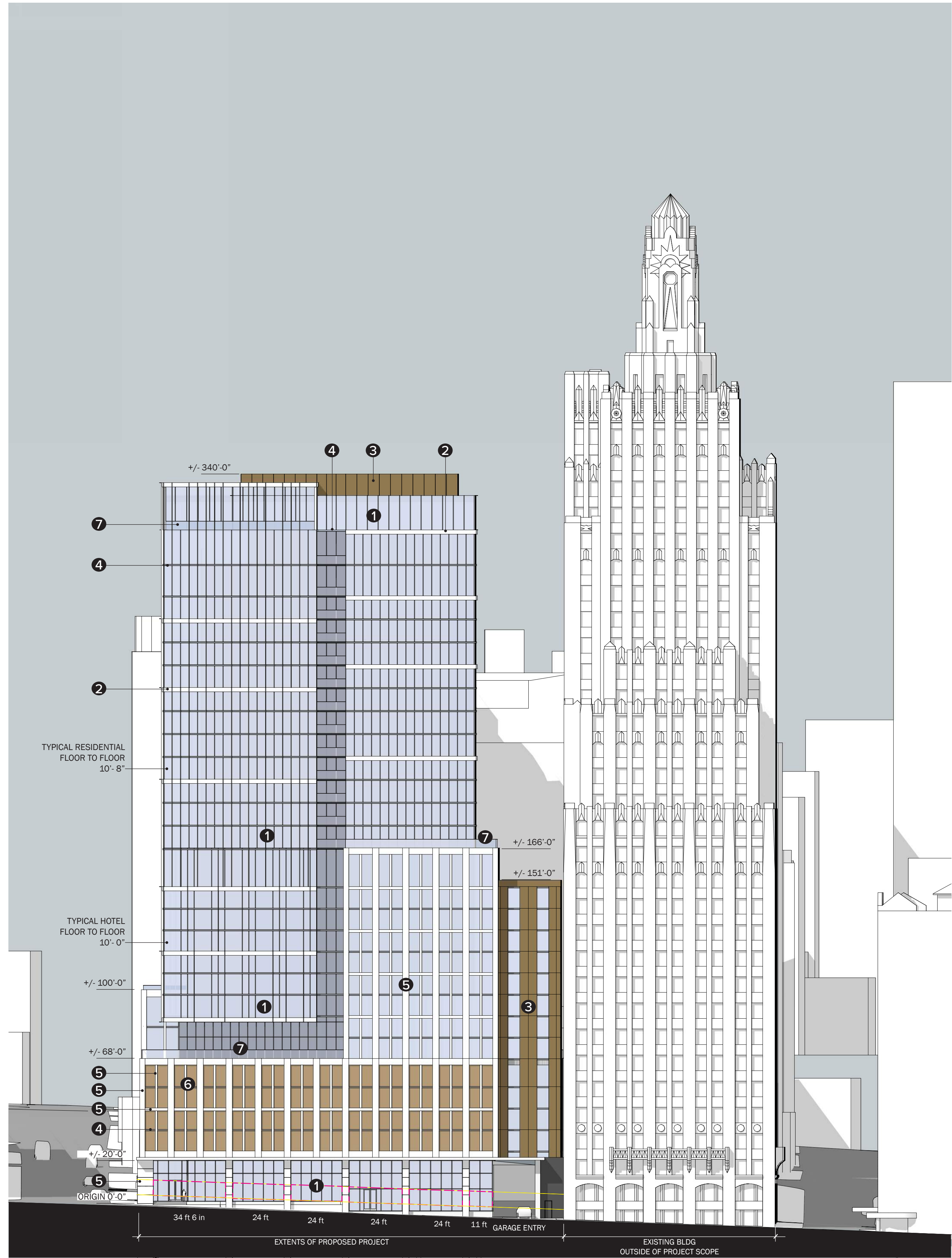


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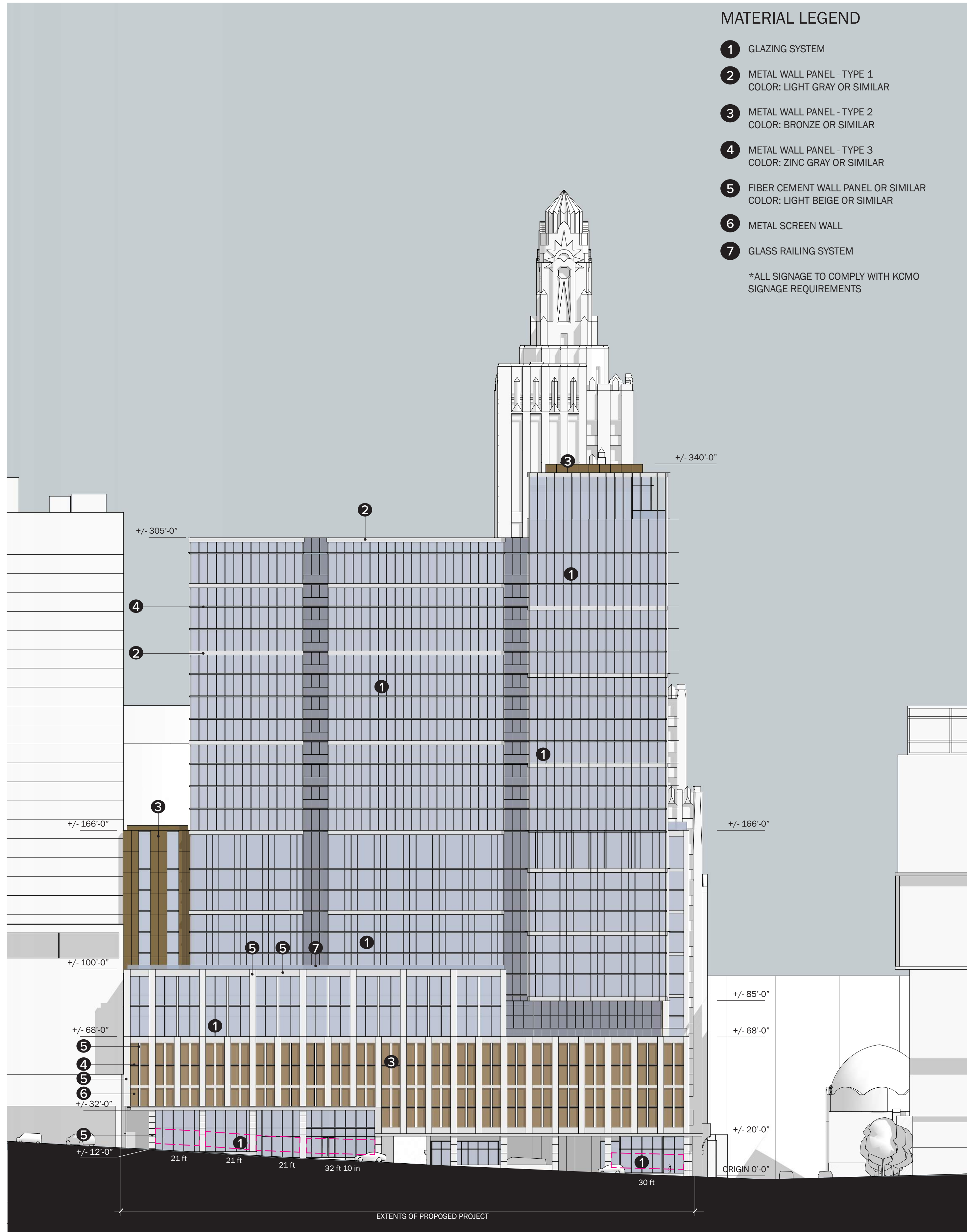
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3

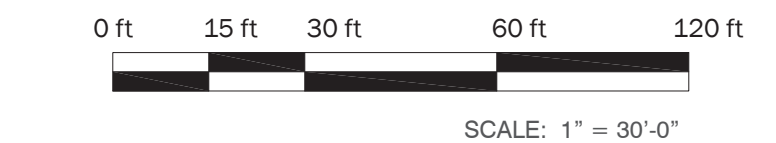
4



SOUTH ELEVATION



WEST ELEVATION

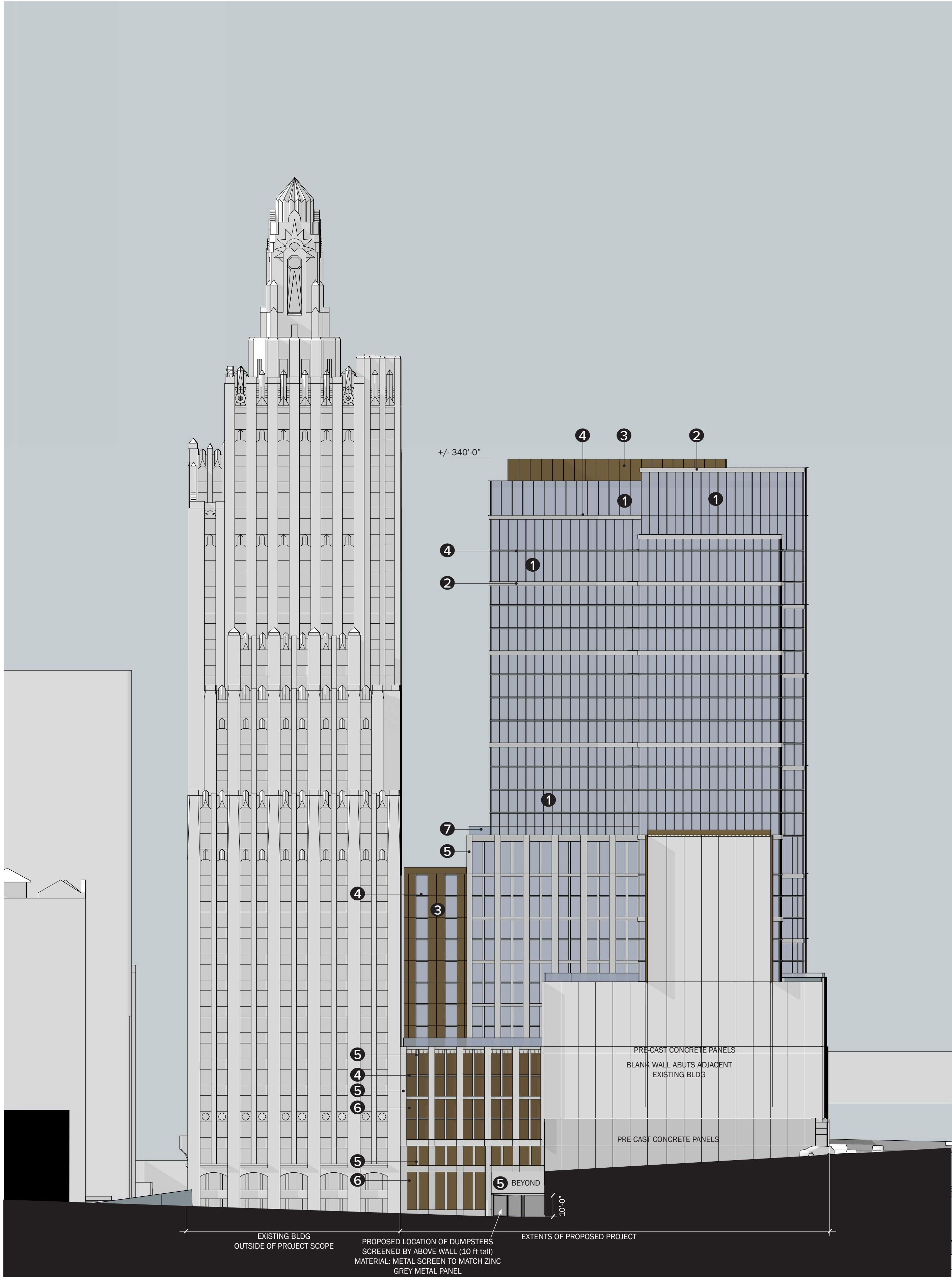


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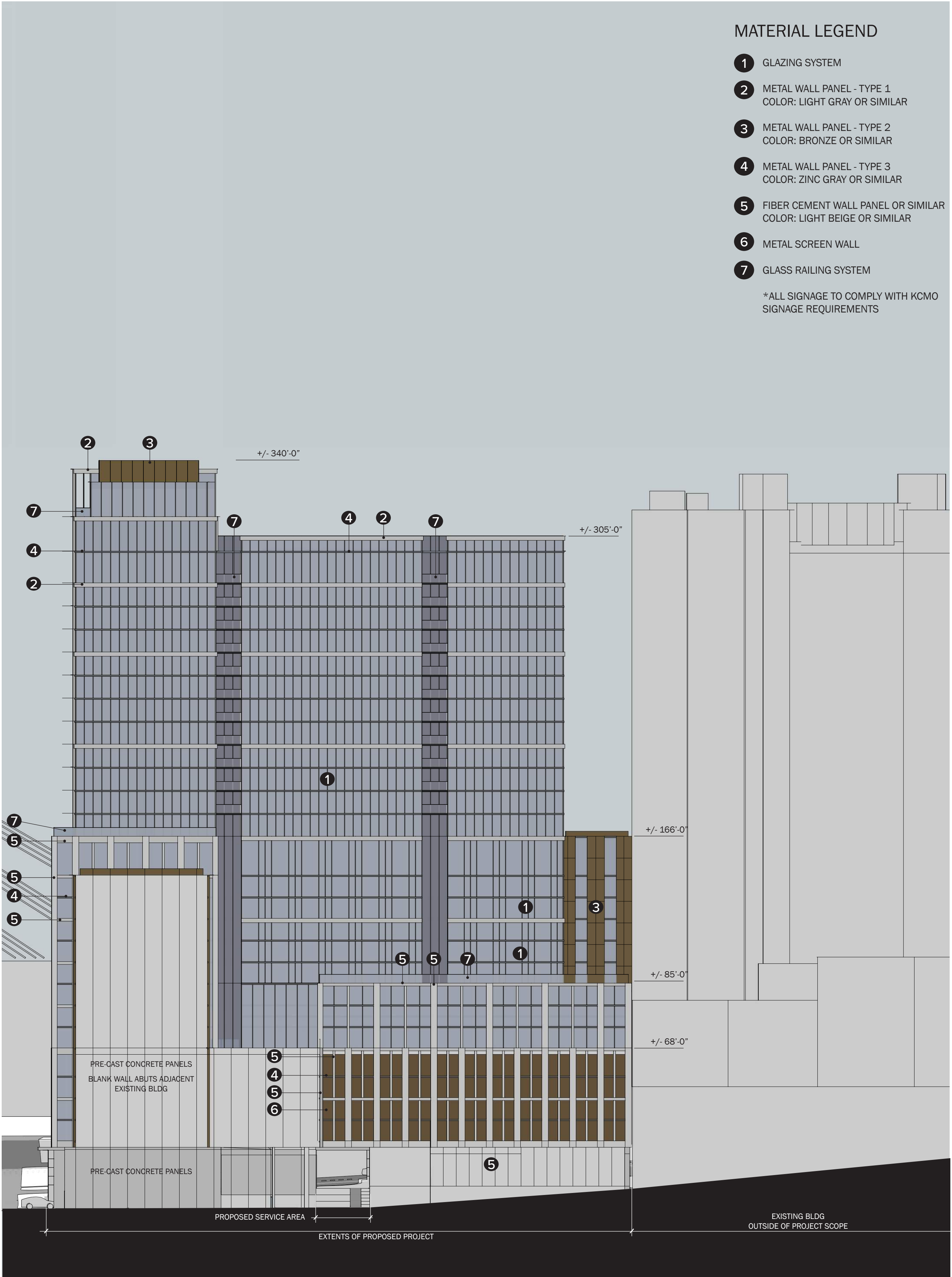
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3

4



NORTH ELEVATION

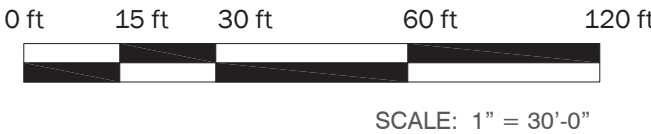


EAST ELEVATION

MATERIAL LEGEND

- 1 GLAZING SYSTEM
- 2 METAL WALL PANEL - TYPE 1
COLOR: LIGHT GRAY OR SIMILAR
- 3 METAL WALL PANEL - TYPE 2
COLOR: BRONZE OR SIMILAR
- 4 METAL WALL PANEL - TYPE 3
COLOR: ZINC GRAY OR SIMILAR
- 5 FIBER CEMENT WALL PANEL OR SIMILAR
COLOR: LIGHT BEIGE OR SIMILAR
- 6 METAL SCREEN WALL
- 7 GLASS RAILING SYSTEM

*ALL SIGNAGE TO COMPLY WITH KCMO
SIGNAGE REQUIREMENTS



A

B

C

D

E

1

2

3

4



PERSPECTIVE VIEW OF HOTEL DROP OFF
APPROX CEILING HEIGHT 14 FEET MIN
OTHER AREAS 16 - 18ft



PERSPECTIVE VIEW ALONG WYANDOTTE



SECTION VIEW THROUGH PEDESTRIAN
CONNECTION FROM ALLEY TO WYANDOTTE

A

B

C

D

E

1

2

3

4



© DLR Group
7290 W 133rd St, Overland Park, KS 66213
ARCHITECT: Joshua L. Doss
jldoss@dlrgroup.com
PHONE: 913.897.7511

NOT FOR
CONSTRUCTION

14th + Wyandotte Mixed Use Development

100 W. 14th STREET
KANSAS CITY, MISSOURI

DEVELOPMENT PLAN

02/27/2023
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CD-CPC-2023-00020
DLR PROJECT NO.
13-23105-00

BUILDING VIEWS

A4.4

1

2

3

4





CITY OF
KANSAS CITY,
MISSOURI

CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

J.Doss presented on behalf of the development team. The presentation started with an overview of the project and the surrounding context. Next, the updated plans were discussed along with the new massings and renderings. Attendees were generally supportive of the changes that had been made since the initial proposal and first round of public feedback.

Questions were asked about the ground floor activation, curb cuts, and the covered hotel drop-off.

Meeting Sign-In Sheet

Project Name and Address

14Wyandotte Mixed Use Development - 1319 Wyandotte, Kansas City, MO 64105

April 6th, 2023 - 6pm via Zoom

Name	Address	Phone	Email
Josh Doss			<jdoss@DLRGROUP.com>
Vic Alston			Vic@LuxLiving.Co
joey beim			joey beim @gmail.com
Justin Short			
Liam Dai			
Derek Hoetmer# MCLV			
Rob Reiman			
Barbara Ganote			
Niall (Chris Stritzel)			
Michael Montague Jr			
Paul's iPhone			

[illegible]

Public Comments

Date: Apr 24, 2023

Re: Case: CD-CPC-2023-00020

Property Address: 1319 Wyandotte

Project: LuxLiving's Proposed Development at 14th & Wyandotte

To Whom It May Concern -

As a downtown Kansas City resident, I am writing to express my full support of LuxLiving's proposed hotel/apartment project on the northeast corner of 14th & Wyandotte.

I have lived in downtown Kansas City for 16 years and this corner has been a dead zone that has gradually gotten worse during that time. Today, it has become a blighted pit in the heart of our entertainment and convention district.

I am thrilled that a developer has stepped up with an amazing plan to turn these decaying parcels into a vibrant mixed-use development that will provide great economic opportunities for our neighborhood and city. Activating these vacant lots will greatly enhance the visitor experience in Kansas City as well as continue the progress of transforming downtown into a thriving neighborhood.

The addition of 200 hotel rooms and 300 apartments will also generate significant traffic for downtown businesses as well as businesses in Midtown and the Plaza due to the property's proximity to the streetcar line. The economic impact will also be great for the City, the County, the school district, and other taxing jurisdictions as it will generate over \$67 million in estimated taxes over 20 years.

Finally, LuxLiving has demonstrated an impressive ability to listen to and collaborate with downtown residents and historic architectural groups to design a building that respects the adjacent Power & Light Building and compliments the area. I personally attended one of their neighborhood meetings and I was impressed with their willingness to listen to resident concerns and address those in their updated design.

I would strongly encourage your full support of LuxLiving's plan for this new mixed-use development in the heart of our downtown.

Thank you,

Tommy Wilson

905 Washington, Unit 202, Kansas City, MO 64105

April 24, 2023



RE: Case CD-CPC-2023-00020

Project Address: 1319 Wyandotte

Officers

Michael J. Klammer, Chair
CBRE

Dr. Kimberly Beatty, Vice
Chair
Metropolitan Community
Colleges

Gib Kerr, Vice Chair
Cushman Wakefield

Charles Miller, Secretary
Lewis Rice

Christopher Briggs,
Treasurer
PricewaterhouseCoopers

To Whom it May Concern:

The Downtown Council of Kansas City, Missouri (DTC)'s Business Attraction and Retention Committee recently was given a presentation on the proposed development at 1319 Wyandotte, LuxLiving Proposed development. Our Committee was very impressed with the proposed development and no objections were present by any of our members.

Downtown Kansas City is undergoing a renaissance. No other time in history has our Downtown experienced such significant redevelopment. With impressive new neighborhood amenities – from Power & Light District and the Creative Crossroads Arts District to the City Market and our riverfront – Downtown has positioned itself as a thriving neighborhood for those choosing the urban lifestyle.

The development of this key location in the Central Business District will do more than just add additional residential, hotel and commercial space to our community; it will drive new demand for Kansas City as a wonderful residential and hospitality destination. The creation of construction and permanent jobs downtown is vital to our city's ongoing development and will economically bolster the transit corridor along our streetcar line.

The project as designed, will bring to our Downtown a wonderful mix of residential, hotel units and a unique commercial retail space. It remains imperative if we are serious about growing business Downtown that we continue to develop parcels such as this surface parking lot and blighted hole into value creating, much needed mixed use development. We believe the development at 14th and Wyandotte will be well received in the Downtown market and a tremendous success.

Thank you for your consideration and we hope you will appreciate the economic impact this project represents. If you have any questions, please feel free to contact me.

Best regards,

Sean O'Byrne
Vice President

Downtown Council of Kansas City

Downtown Council

1000 Walnut Street, Suite 200, Kansas City, MO 64106

Phone: 816.421.1539 website: www.downtownkc.org



Planning & Development Committee
Letter of Support - April 24, 2023

PROJECT 14th & Wyandotte
DATE April, 6th 2023, 6:00 - 7:00 pm
LOCATION Online - Zoom

RE: 14TH & WYANDOTTE DEVELOPMENT PROJECT PROPOSAL

To Whom It May Concern,

On behalf of the board of the Downtown Neighborhood Association (DNA) and the downtown residents we represent, we support the Lux Living development proposal for 14th & Wyandotte. The proposed development meets most of the requirements outlined in the *DNA's Project Evaluation Rubric* and provides a quality infill project that benefits the community.

The DNA represents residents in the CBD and River Market areas in Kansas City. We have a history of supporting dense, walkable infill development and appreciated the opportunity to engage with Lux Living. The meeting included an informal presentation from the development team followed by an open forum where residents could ask questions and comments.

Below is a summary of those comments:

- **Curb Bumpouts:** The DNA requested the integration of curb bump-outs at the north east corner of 14th St. and Wyandotte St. We request to permanently integrate this area into the public right-of-way and improve pedestrian circulation and traffic calming with a new curb bump out.
- **Curb Cut Pedestrian Circulation:** We've asked the design team to consider the pedestrian connection north along Wyandotte St. and remove the valet curbcut to not disrupt the pedestrian experience and to ensure pedestrian safety.
- **Ground Floor Setback Reduction:** We've asked the design team to reduce the ground floor setback along Wyandotte St. and extend the development to the property line to better define the street edge.
- **Transparent Street-level Facade:** We highly recommend the development utilize transparent materials for the street-level facade to activate the ground floor and provide an enjoyable pedestrian experience regardless of the type of retail in that space.
- **Street Trees:** We request the integration of street tree pits in lieu of a few on street parking spaces to maximize sidewalk space and the pedestrian experience. Also, this should provide the best planting conditions to ensure the success of those trees.

We encourage the City of KCMO to consider the public feedback within this letter for the project and greatly appreciate this opportunity to engage with you.

Respectfully,

Joey Beim
Planning and Development Committee Chair
Downtown Neighborhood Association

April 24, 2023

RE: Case: CD-CPC-2023-00020

Property Address: 1319 Wyandotte

(LuxLiving Proposed Development at 14th & Wyandotte)

TO WHOM IT MAY CONCERN:

I am writing in support of LuxLiving's proposed hotel/apartment development project on the northeast corner of 14th & Wyandotte.

I have worked in the commercial real estate business in downtown Kansas City for over thirty years, and this corner has been a dead zone for my entire career. Blighted lots like these in the middle of our convention and entertainment district are a huge negative for Kansas City.

This project would generate an estimated 500 jobs during construction, and 200 jobs upon completion. In a period of economic uncertainty, we need to support projects like this that will provide economic opportunities for our community, particularly when they are transit-accessible such as this one.

Activating this long-vacant lot will go a long way toward enhancing the visitor impression for tourists in our convention and entertainment district. The streetscape plan will provide an excellent pedestrian walking experience.

The addition of 200 hotel rooms and 300 apartments will also generate significant traffic for downtown businesses as well as businesses in Midtown and the Plaza due to the property's proximity to the streetcar line. The economic impact will also be great for the City, the County, the school district and other taxing jurisdictions as it will generate over \$67 million in estimated taxes over 20 years.

Finally, LuxLiving has demonstrated an impressive ability to listen to and collaborate with their downtown neighbors and historic architectural groups to design a building that respects the adjacent Power & Light Building and compliments the area.

Kansas City needs to support LuxLiving's plan for this new development.

Thank you.



--Gib Kerr

800 W. 68th Terrace, Kansas City, MO 64113

Chris Stritzel

(314) 221-0669

chrisstritzel752@gmail.com

18th April 2023

Kansas City Planning Commission

414 East 12th Street

Kansas City, MO 64106

Dear Planning Commission Members,

I am writing in support of the proposed tower (Case: CD-CPC-2023-0002) at the northeast corner of 14th and Wyandotte. The project has been submitted by LuxLiving and its architect, DLR Group.

As a new resident of the City of Kansas City, a project like this makes me excited for the future. Cities are defined as much by their culture and quality of life as they are by their skyline. With the direction Kansas City has been going, and continues to trend in, a new skyline changing building will be a net-positive for Kansas City. Not to mention the fact that getting rid of a hazardous hole and obnoxious parking lot in the heart of downtown is a huge plus for vibrancy and tax revenue. 300 apartments, 200 hotel rooms, and retail space will do wonders for this part of downtown.

Watching this project go from the initial design (submitted to the city back in February) to the revised design (which you're now reviewing) submitted in the middle of April has been interesting. The development team very clearly took public comments and opinions to heart when revising their design. This sort of move is not common in the world of development, although it should be. This proved to me that they're serious about creating a building that the public can like and residents/visitors can enjoy.

We must build a stronger downtown that boosts the region as a whole. We must continue to keep allowing the skyline to evolve and showcase our present to the Kansas Citians of the future.

Once again, **I am in favor of this project proposal and I hope to see it built.**

Sincerely,

Chris Stritzel