



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

May 2, 2023

**Project Name**  
1319 Wyandotte Street

**Docket #3**

**Request**  
CD-CPC-2023-00020  
Development Plan

**Applicant**  
Liam Dai  
LuxLiving

**Owner**  
Red Oak Capital Fund II LLC

Location 1319 Wyandotte Street  
Area About 1.06 acres  
Zoning DC-15  
Council District 4th  
County Jackson County  
School District KCMO 110

**Surrounding Land Uses**

**North:** Hotel, zoned DC-15  
**South:** Office, zoned DC-15  
**East:** Residential Use, zoned UR  
**West:** Institutional, zoned UR

**Major Street Plan**

Wyandotte Street is identified as an Established Arterial on the City's Major Street Plan.

**Land Use Plan**

The Greater Downtown Area Plan recommends Downtown Core for this location.

**APPROVAL PROCESS**



**PROJECT TIMELINE**

The application for the subject request was filed on 01/31/2023. Scheduling deviations from 2023 Cycle H have occurred. The applicant wanted some additional time to submit revised plans.

**NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED**

The Downtown Neighborhood Association is tied to the subject site.

**REQUIRED PUBLIC ENGAGEMENT**

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on April 6, 2023. A summary of the meeting is attached to the staff report, see Attachment #3.

**EXISTING CONDITIONS**

The lot to the south is an existing surface parking lot and the lot to the north is currently not developed.

**SUMMARY OF REQUEST + KEY POINTS**

The applicant is seeking approval of a mixed use development with a parking garage, hotel to the north, apartment building to the south and associated amenities.

**CONTROLLING + RELATED CASES**

CD-ROW-2023-00008 - Vacation of the alley running east to west from Wyandotte to Baltimore in between the two parcels being developed and connects to an alley that runs north to 13<sup>th</sup> Street.

**PROFESSIONAL STAFF RECOMMENDATION**

Docket #3 Recommendation  
Approval with Conditions

**PLAN REVIEW**

The proposal is for a mixed-use development plan for a 27-story building with 200 hotel rooms, 300 residential units, ground floor retail, and associated amenities. The development is in the Downtown Core district adjacent to the existing Power and Light building, the Municipal Theater, and the Crowne Plaza Hotel.

The development is split; the hotel use located on the north end of the development and the residential use located on the south. The developer worked with staff to activate the corner of 14<sup>th</sup> street and Wyandotte with additional retail space. The retail space on the ground level will increase the pedestrian connectivity in the area. Off-street parking is not required in the Downtown Core however, the developer is proposing three and a half levels of parking for the development with 358 parking spaces.

The developer is proposing a pedestrian tunnel in between the two uses to provide a visual and physical connection to the buildings to the east. The pedestrian connection has the potential to be a link between new development and existing developments and a tourist location. The development will complete the pedestrian experience on this block since it is filling in the last undeveloped lot. Access to the parking garage is from 14<sup>th</sup> Street and through the valet area along Wyandotte Street. Staff is requesting that access to the development be restricted to right in-right out to ensure a steady flow of traffic. The developer will be required to ensure the valet area runs efficiently and prevents the excessive stacking of vehicles that will disrupt traffic on 14<sup>th</sup> street.

The construction materials for the development consists of glazing, metal wall panels, fiber cement wall panel, metal screen system, and a glass railing system.

FAA approval is required for this development due to it's location in the Downtown Core.

**PLAN ANALYSIS**

*\*indicates adjustment/deviation*

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
Lot and Building Standards (88-130)	Yes	Yes	
Downtown Development (88-338)	Yes	Yes	
Parkland Dedication (88-408)	Yes	Yes,	
Parking and Loading Standards (88-420)	Yes	Yes, subject to conditions	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions.	
Pedestrian Standards (88-450)	Yes	Yes	

**SPECIFIC REVIEW CRITERIA****Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable City ordinances and policies;**

The plan complies with all standards in the Zoning and Development Code and applicable policies. The properties are located in the Downtown Core – 15 zoning district, which allows the uses, proposed setbacks, building height, and parking ratio. The Greater Downtown Area Plan recommends Downtown Core as the future land use, the Downtown Core is a primary hub for business, communications, accommodations, and entertainment. The Downtown Core also promotes residential development in stand-alone high density and mixed with office and retail uses.

**B. The proposed use must be allowed in the district in which it is located;**

The proposed hotel, residential, and retail uses are allowed in the Downtown Core-15 (DC-15) zoning district.

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

Vehicular ingress and egress is from 14<sup>th</sup> Street, parking for the residential portion of the development will be physically separated from the hotel with a gate. The hotel parking area will only be accessed by valet, the valet will pick up the car from the valet area on Wyandotte Street make a right turn out of the valet area head north to 12<sup>th</sup> street and turn south onto Baltimore Ave before turning back onto 14<sup>th</sup> street to access the garage. While this is not the most efficient movement of traffic, due to the location of the development and proposed uses, staff is requesting that right in-right out policies be implemented for the access points in an effort to reduce on street stacking that could affect the flow of traffic.

The alley access will only be used for trash pick up and/or move in/out for tenants.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

The plan provides for safe, efficient, and convenient non-motorized travel opportunities. The developer is proposing a sidewalk, 15' deep in some areas, and has provided pavers at the ingress/egress locations to provide a crossing area for pedestrians. The development will allow for additional connectivity in a busy area of the city. There are no bicycle lanes in the immediate vicinity of the site, however the developer has provided short and long-term bicycle parking.

The developer is proposing a pedestrian tunnel in between the two uses to provide a visual and physical connection to the buildings to the east. The pedestrian connection has the potential to be a link between new development and existing developments and a tourist location. A detailed rendering of the interior of the tunnel including lighting, proposed landscaping, proposed artwork, etc., will be required prior to ordinance request.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

The plan provides for adequate utilities based on City standards.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The design and materials of the building is compatible with adjacent properties. The development is located immediately adjacent to the Power and Light building. The residential side of the development on the southern lot follows the front setback of the Power and Light building to allow for natural light to reach 14<sup>th</sup> street throughout the day. The proposed development is pushed back from the east side of the Power and Light building to allow light and a form of relief to the existing residential units.

The hotel side of the development is pushed back from the street about 8 floors up more in keeping with the Crowne Plaza hotel to the north. The height of the structure is in keeping with the surrounding buildings, however due to the location of the site in the Downtown Area, FAA approval is required.

The orientation and architectural features of the building are in keeping with the Downtown Area, with retail on the first floors and residential/hotel space on the remaining floors. There are multiple buildings throughout the area with large amounts of glazing used as a construction material and the proposed fenestration matches the diversity of the buildings in the area.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The developer is proposing landscaping in compliance with the Zoning and Development Code surrounding the development, the applicant has provided additional garden areas along the ground floor to provide a visual break for pedestrians in addition to the required street trees.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The design of the building with a parking garage included in the footprint of the development is consistent with the amount of impervious surface currently on site. The developer is including small garden areas at ground level for added landscaping.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

There are currently no trees on the properties therefore no tree plan was required.

#### **ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

4. Public Testimony

**PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,

A handwritten signature in cursive script that reads "Larisa Chambi".

Larisa Chambi, AICP  
Lead Planner



## Plan Conditions

Report Date: April 27, 2023

Case Number: CD-CPC-2023-00020

Project: 1319 Wyandotte Street

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*Condition(s) by Aviation. Contact Mike Waller at (816) 243-3038 / Mike.Waller@kcmo.org with questions.*

1. The proposed development is located in an area where the Charles B. Wheeler Downtown Airport (MKC) height zoning restrictions apply. No structure in this area should be constructed which exceeds these restrictions.

Given the potential height and proximity of this plan to MKC, the proposed development may exceed FAR Part 77, Objects Affecting Navigable Airspace, standards. The proponent/developer shall file an on-line Form 7460-1, Notice of Proposed Construction or Alteration, for permanent vertical improvements or new structures and receive a Determination of No Hazard to Air Navigation from the FAA. Temporary cranes used for construction activities extending higher than the proposed top elevation of the building will need to be evaluated for compliance with FAR Part 77 standards as well. The FAA's Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) website can be accessed at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.

It is further recommended the proponent/developer provide the FAA with a 1A survey accuracy statement assuming the highest horizontal and vertical tolerance was used for this design. This information certifies the ground elevations the developer has portrayed within the plans are to higher level of accuracy. Per OEAAA, if this accuracy statement isn't provided, an adjustment commensurate with a 50 foot vertical buffer is applied to the development. This information can be referenced at: <https://oeaaa.faa.gov/oeaaa/external/content/surveyAccuracy.jsp>

The proponent/developer is recommended to comply with Chapters 3, 4, and 5 of FAA Advisory Circular (AC) 70/7460-1, Obstruction Marking and Lighting, as amended.

*Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816) 513-8822 / Larisa.Chambi@kcmo.org with questions.*

2. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
4. That all signage shall conform to 88-445 and shall require a sign permit prior to installation.
5. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
6. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
7. Access to the residential parking garage and the valet area shall be right in-right out only.
8. The developer shall provide a detailed rendering of the interior of the tunnel including information regarding lighting, proposed landscaping, proposed artwork, etc., prior to ordinance request.
9. The developer shall apply for and receive approval from the FAA regarding the height of the building prior to building permit.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

10. The developer shall submit a plan for approval and permitting by the Land Development Division prior to beginning construction of the improvements within the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

11. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
12. The developer shall integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
13. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.
14. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting
15. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
16. The developer must petition for the vacation of existing alley as shown on the development plan and relocate sewers as required by the Departments of Water Services, the Land Development Division, and Development Services prior to recording of the final plat.
17. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
18. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

19. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
20. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
21. Fire hydrant distribution shall follow IFC-2018 Table C102.1  
Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)
22. Buildings which have an occupiable floor greater than 75 feet above grade shall meet high-rise requirements.
23. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)

*Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard.Sanchez@kcmo.org with questions.*

24. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2023 acquisition rate of \$64,220.18 per acre. This requirement shall be satisfied prior to certificate of occupancy.

*Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard.Sanchez@kcmo.org with questions.*

25. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way

*Condition(s) by Public Works Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.*

26. The developer must submit fire hydrant relocation drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.  
(<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Main-Extensions-Final2.pdf> )

*Condition(s) by Public Works Department. Contact Monica Kearney at (816) 513-9886 / monica.kearney@kcmo.org with questions.*

27. The developer shall construct the drives for the valet zone as to prohibit left turns, and shall sign accordingly. Valet operations may not impede through traffic.

*Condition(s) by Water Services Department. Contact Ghaith Dinn at / ghaith.dinn@kcmo.org with questions.*

28. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

29. No water service line will be less than 1-1/2" in diameter where three or more units or Commercial building will be served by one domestic service line and meter.
30. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact – Sean Allen - 816-513-0318  
North of River contact - Pedro Colato – 816-513-4892
31. Branch service lines one-and-one-half inches and larger in diameter for domestic water services or fire protection lines shall be connected to the main by cutting in a minimum 6" branch service tee, installing three gate valves, and two solid sleeves on the main. Line valves on the main shall be the same nominal size as the main.
32. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.  
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

A

B

C

D

E

1

2

3

4

# 14TH + WYANDOTTE

## MIXED-USE DEVELOPMENT DEVELOPMENT PLAN

REVISED  
04/17/2023

**DLR GROUP**  
© DLR Group  
7290 W. 133rd St. Overland Park, KS 66213  
ARCHITECT: Joshua L. Doss  
jldoss@dlr.com  
PHONE: 913.897.7811

NOT FOR  
CONSTRUCTION.

14th + Wyandotte  
Mixed Use Development

100 W. 14th STREET  
KANSAS CITY, MISSOURI

DEVELOPMENT  
PLAN  
02/27/2023  
REVISIONS  
04/17/2023 - RE-SUBMITTAL

CD-CPC-2023-00020  
DLR PROJECT NO.  
13-23105-00  
COVER SHEET

A0.0

**DEVELOPER**  
LUX LIVING  
1 N TAYLOR AVE  
ST. LOUIS, MO 63108

**ARCHITECT**  
DLR GROUP  
7290 W. 133RD ST  
OVERLAND PARK, KS 66213  
913-897-7811

**CIVIL ENGINEER**  
SK DESIGN GROUP  
4600 COLLEGE BOULEVARD,  
SUITE 100  
OVERLAND PARK, KS 66211  
913-451-1818

**LANDSCAPE ARCHITECT**  
HUMPHREYS & PARTNERS  
LANDSCAPE ARCHITECTS  
5339 ALPHA ROAD, SUITE 300  
DALLAS, TX 75240  
972.701.9636

**MEP ENGINEER**  
FSC MEP ENGINEERS, LLC  
A SUBSIDIARY OF FSC, INC.  
8675 W 96TH ST  
OVERLAND PARK, KS 66212  
913-722-3473

### SHEET LIST

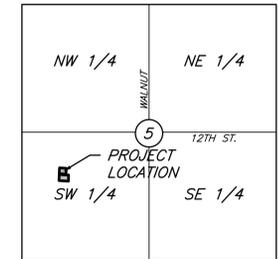
C1 EXISTING SURVEY  
C1.00 SITE PLAN  
C2.00 SITE DIMENSION PLAN  
C2.01 SITE CIRCULATION PLAN  
C3.00 SITE GRADING PLAN  
C4.00 SITE UTILITIES PLAN  
L1.00 STREET SCAPE PLAN  
L2.00 LANDSCAPE PLAN  
E1.00 PHOTOMETRIC PLAN  
A1.1 ARCHITECTURAL FLOOR PLANS  
A1.2 ARCHITECTURAL FLOOR PLANS  
A1.3 ARCHITECTURAL FLOOR PLANS

A1.4 ARCHITECTURAL FLOOR PLANS  
A1.5 ARCHITECTURAL FLOOR PLANS  
A1.6 ARCHITECTURAL FLOOR PLANS  
A1.7 ARCHITECTURAL FLOOR PLANS  
A4.1 ARCHITECTURAL ELEVATIONS  
A4.2 ARCHITECTURAL ELEVATIONS  
A4.3 ARCHITECTURAL RENDERINGS  
A4.4 ARCHITECTURAL RENDERINGS

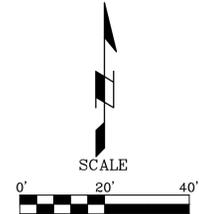
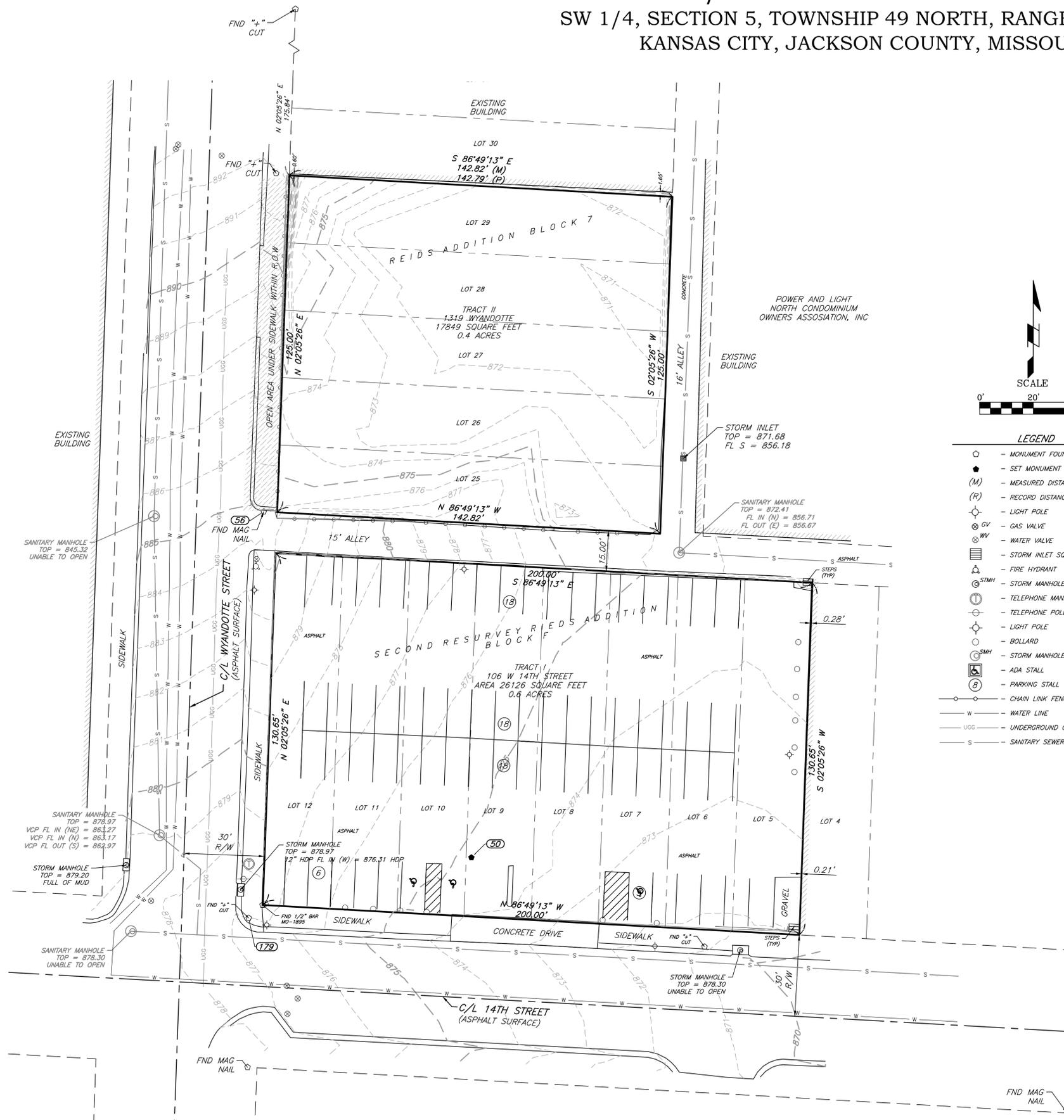
# ALTA/NSPS LAND TITLE SURVEY

## SW 1/4, SECTION 5, TOWNSHIP 49 NORTH, RANGE 33 WEST

### KANSAS CITY, JACKSON COUNTY, MISSOURI



VICINITY MAP  
SEC. 5-49-33  
N.T.S.



**LEGEND**

- - MONUMENT FOUND AS NOTED
- - SET MONUMENT AS NOTED
- (M) - MEASURED DISTANCE
- (R) - RECORD DISTANCE
- - LIGHT POLE
- ⊗ - GAS VALVE
- ⊗ - WATER VALVE
- - STORM INLET SQUARE
- ⊕ - FIRE HYDRANT
- ⊗ - STORM MANHOLE
- ⊗ - TELEPHONE MANHOLE
- ⊗ - TELEPHONE POLE
- - LIGHT POLE
- - BOLLARD
- - STORM MANHOLE
- ⊗ - ADA STALL
- ⊗ - PARKING STALL
- - CHAIN LINK FENCE
- W - WATER LINE
- UGG - UNDERGROUND GAS
- S - SANITARY SEWER LINE

**CLIENT:**  
Lux Living  
Vic Alston  
vic@luxliving.co

**PROPERTY ADDRESS:**  
108 W 14TH Street and 1319 Wyandotte  
Kansas City, MO 64105

**TITLE DESCRIPTION:**  
Tract I:  
Lots 5, 6, 7, 8, 9, 10, 11, 12, Block F, 2nd resurvey of Reid's Addition, a subdivision in Kansas City, Jackson County, Missouri, described as follows:

Tract II:  
Lots 25, 26, 27, 28, and 29, Block 7, Reid's Addition, a subdivision in Kansas City, Jackson County, Missouri.

**SCHEDULE B - PART II NOTES:**  
Items 1-9 are non survey related items.

- 10.) Building setback lines, easements, covenants and restrictions, but deleting any unlawful restrictions including, but not limited to, racial restrictions, which are shown on the recorded plat of Reid's Addition filed December 23, 1857 in Plat book 1 at page 92.
- 11.) Building setback lines, easements, covenants and restrictions, but deleting any unlawful restrictions including, but not limited to, racial restrictions, which are shown on the recorded plat of 2nd Resurvey of Reid's Addition filed April 21, 1869 in Plat Book 2 at Page 74.
- 12.) Terms and provisions of Certificate of Completion as set forth in instrument filed May 28, 2019 under Document No. 2019E0035904.

**GENERAL SURVEY NOTES:**

- 1.) The plat of REID'S ADDITION OF LOTS 25 THRU 29, Tract II, is recorded in Plat Book 1 at Page 92 in the Register of Deeds Office in Jackson County, Missouri.
- 2.) The plat of REID'S ADDITION OF LOTS 5 THRU 12, Tract I, is recorded in Plat Book 2 at Page 74 in the Register of Deeds Office in Jackson County, Missouri.
- 3.) Title Report # MPS0001745, dated OCTOBER 4th, 2022 provided by Old Republic National Title Insurance Company was provide by client.
- 4.) Basis of bearings is established by the Missouri State Plane Coordinate System from GPS observation.
- 5.) The subject property is located in Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map (FIRM) 29095C0252G, effective January 20, 2017.
- 6.) Total parking spaces equal 66 in total with 3 ADA parking spaces.
- 7.) Utility ticket #230091011 dated January 9th, 2023.

**UTILITY NOTE:**

The utilities on this survey are shown based on source information from plans and markings and were combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

SURVEY CONTROL POINTS				
Point #	Northing	Easting	Elevation	Description
1	1058173.26	2763807.05	995.40	PENN
50	1067158.36	2764493.65	875.15	MS + CUT
56	1067286.65	2764416.35	884.72	MF -MAGNAIL
179	1067136.00	2764410.76	877.00	MF + CUT

**BENCHMARKS:**  
STATION PENN: Triangulation disk located in Kansas City on the East side of PENN VALLEY PARK, near the intersection of 31st Street and Wyandotte Street. Elevation = 995.40

**CERTIFICATION:**  
To Old Republic National Title Insurance Company, Lux Living, llc., Red Oak Capital Fund II, LLC a Delaware limited liability company:  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 9, and 11, of Table A thereof. The field work was completed on the 11th day of January, 2023.

**CLIENT:**  
Lux Living  
Vic Alston  
vic@luxliving.co

**PROPERTY ADDRESS:**  
108 W 14TH Street and 1319 Wyandotte  
Kansas City, MO 64105

**TITLE DESCRIPTION:**  
Tract I:  
Lots 5, 6, 7, 8, 9, 10, 11, 12, Block F, 2nd resurvey of Reid's Addition, a subdivision in Kansas City, Jackson County, Missouri, described as follows:

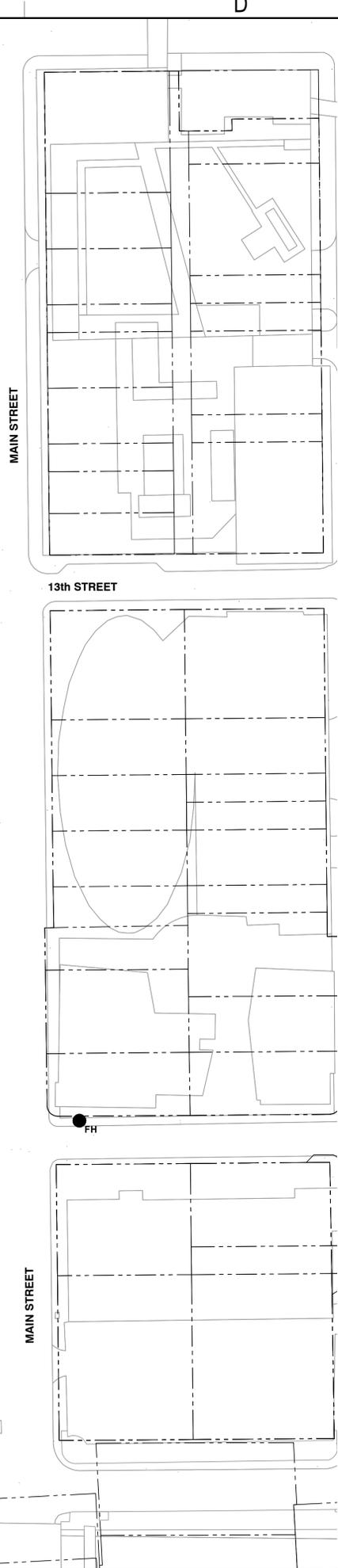
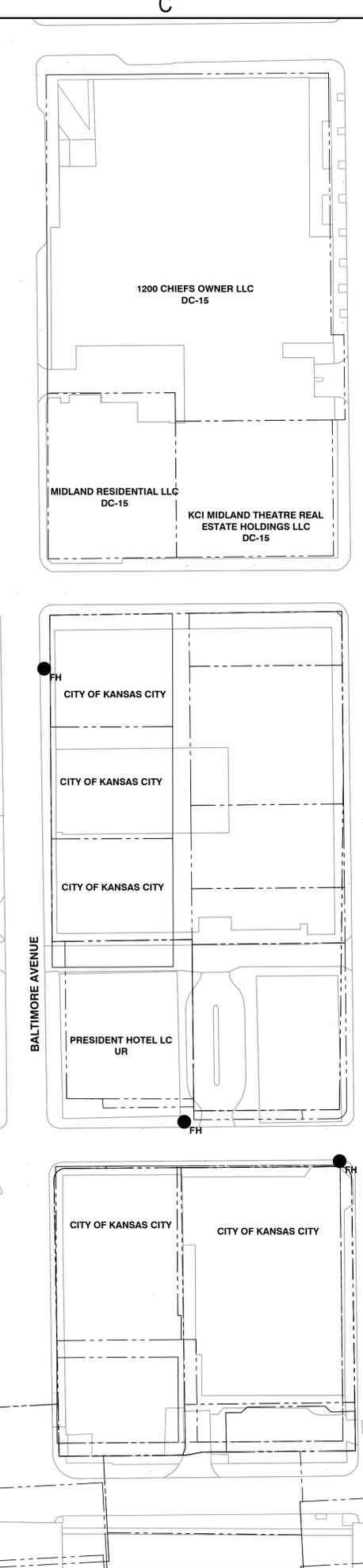
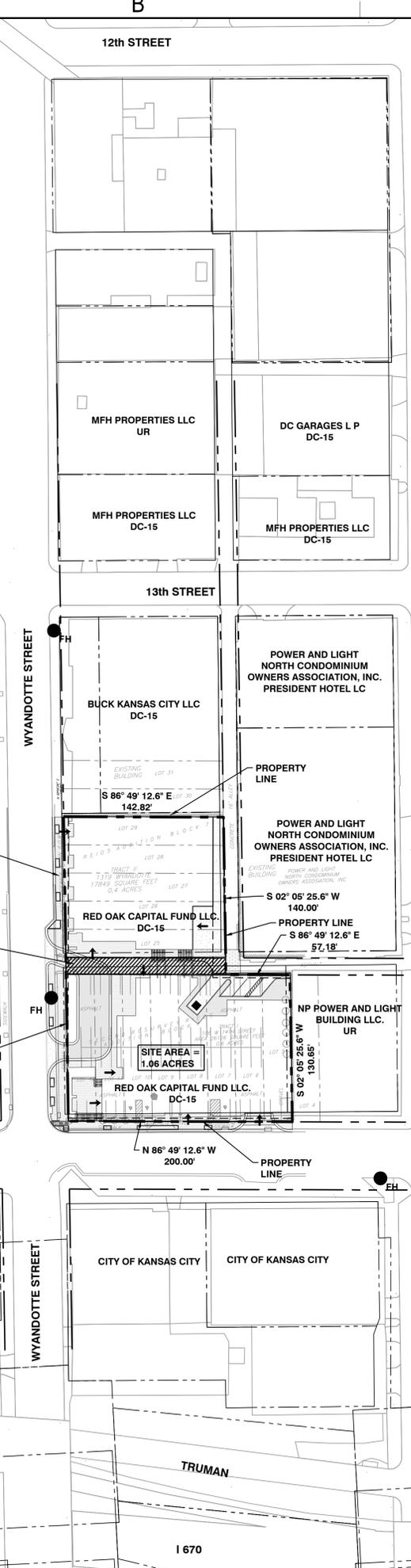
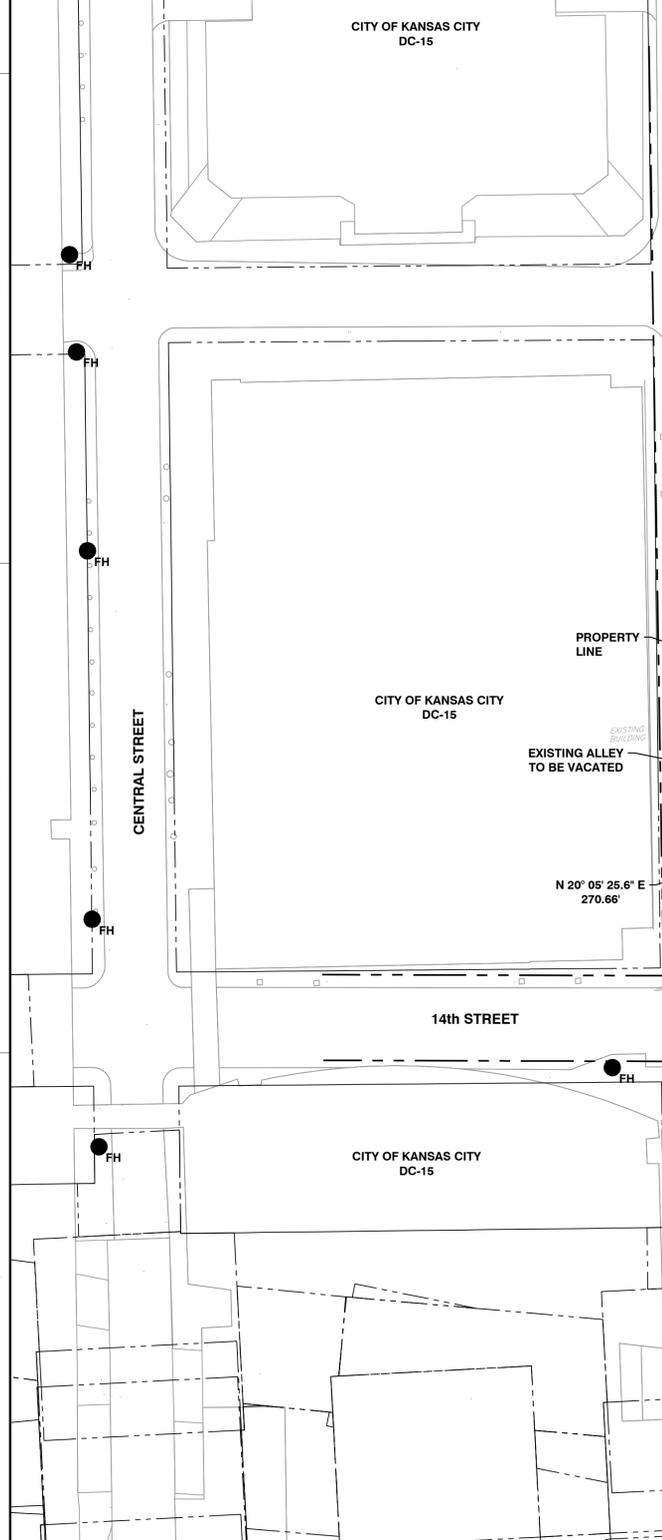
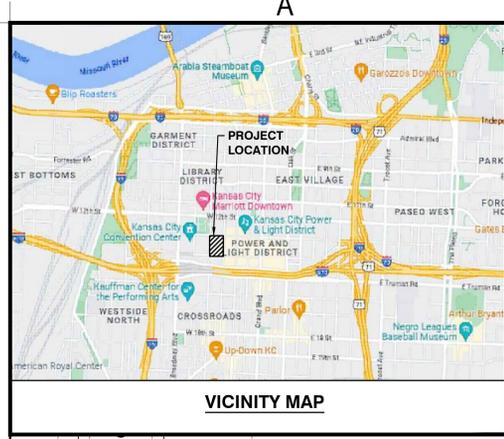
Tract II:  
Lots 25, 26, 27, 28, and 29, Block 7, Reid's Addition, a subdivision in Kansas City, Jackson County, Missouri.

**SCHEDULE B - PART II NOTES:**  
Items 1-9 are non survey related items.

**J & J SURVEY LLC**

8680A N. GREEN HILLS ROAD • KANSAS CITY, MO 64154  
PHONE (816) 411-1017 • FAX (816) 411-1018

01-20-23	INITIAL SUBMITTAL								
1									



Development Summary Table	
a	Existing = DC-15
	Proposed = DC-15
b	<b>Total Land Area</b>
	Existing = 1.060 AC Proposed = 1.060 AC
c	<b>Right-of-way Land Area</b>
	Existing = 0.00 AC Proposed = 0.00 AC
d	<b>Net Land Area</b>
	Existing = 1.060 AC Proposed = 1.060 AC
e	<b>Proposed Building Use</b>
	Hotel/Lodging 203,350 Gross SF
	Residential Units 308,228 Gross SF
	Retail/Commercial 1,675 Gross SF
f	<b>Parking Garage</b> 148,006 Gross SF
	<b>Structure Height &amp; Number of Floors</b>
g	Building = 340 ft.
	27 Floors
h	<b>Gross Floor Area &amp; Units</b>
	Ground Level 32,368 SF
	Level 2 Parking Garage 22,221 SF
	Level 3-5 Parking 41,935 SF
	Garage x3 levels
	Level 6 32,670 SF
	Level 7 24,690 SF
	Level 8-12 Typical Hotel 25,795 SF
	Guestroom x5 levels
	Level 13 23,825 SF
	Level 14-25 Typical 21,170 SF
	Residential x12 levels
	Level 26 8,865 SF
	Level 27 7,800 SF
	Project Total = 661,259 SF
Project Total = 200 Hotel Rooms	
Project Total = 300 Residential Unit	
i	<b>Building Coverage &amp; Floor Ratio</b>
	FAR = 14.32
j	<b>Gross &amp; Net Density</b>
	Gross Density 283.02 Units/Acre Net Density 283.02 Units/Acre
k	<b>Vehicle Parking</b>
	Ratio (Residential) = None Required for DC
	Required Spaces = 0
	Provided Spaces = 358
	Required ADA Spaces = 301 - 400 = 8
Provided ADA Spaces = 8	
l	<b>Bike Parking</b>
	Short term Ratio = 10% of Veh. Parking
	Required Spaces = 36
	Provided Spaces = 36
	Long term Ratio = 1 per 3 units (50% after 50)
Required Spaces = 1+1 per 30 hotel rooms	
Provided Spaces = 1+1 per 5000 sf retail	
m	<b>Construction Timeline</b>
	Begin = 1/15/2024
	Completion = 5/15/2026
n	<b>Amendments to Development Plan</b>
	No

Parkland Fee in Lieu of Dedication Formula	
Number of Residential Units	300
Residents per Unit	2
Number of Residents	600
Required Parkland per Resident (Acres)	0.006
Required Parkland to be Dedicated (Acres)	3.6
Parkland Dedicated (Acres)	0
Open Space Dedicated (Acres)	0
Total Acres for Fee Calculation	3.6
Fee per Acre	\$ 64,220.18
Parkland Fee*	\$ 231,192.65

\*NOTE: Developer will pay the above parkland fee in lieu of dedicating parkland and/or open space for this development

**CIVIL ENGINEER:**  
 JC CRONENWETT, PE  
 SK Design Group, Inc.  
 Phone: 913-451-1818  
 Fax: 913-451-7599  
 E-mail: jcronenwett@skdg.com

**LEGAL DESCRIPTION:**  
 108 W 14TH ST LOTS 5 THRU 12 BLK F  
 2ND RES OF REIDS ADD  
 1211-19 WYANDOTTE / REIDS ADD  
 LOTS 25 THRU 29 BLK 7

**DLRGROUP**  
 © DLR Group

**SK Design Group, Inc.**  
 4600 College Boulevard  
 Suite 100  
 Overland Park, Kansas 66211  
 Fax: 913-451-7599

**NOT FOR CONSTRUCTION**

**14th + Wyandotte Mixed Use Development**  
 108 W 14th STREET  
 KANSAS CITY, MISSOURI

**DEVELOPMENT PLAN**  
 02/27/2023  
 REVISIONS  
 04/17/2023 - RE-SUBMITTAL

CD-CPC-2023-00020  
 DLR PROJECT NO.  
 13-23105-00

**SITE PLAN**

**C1.00**

A

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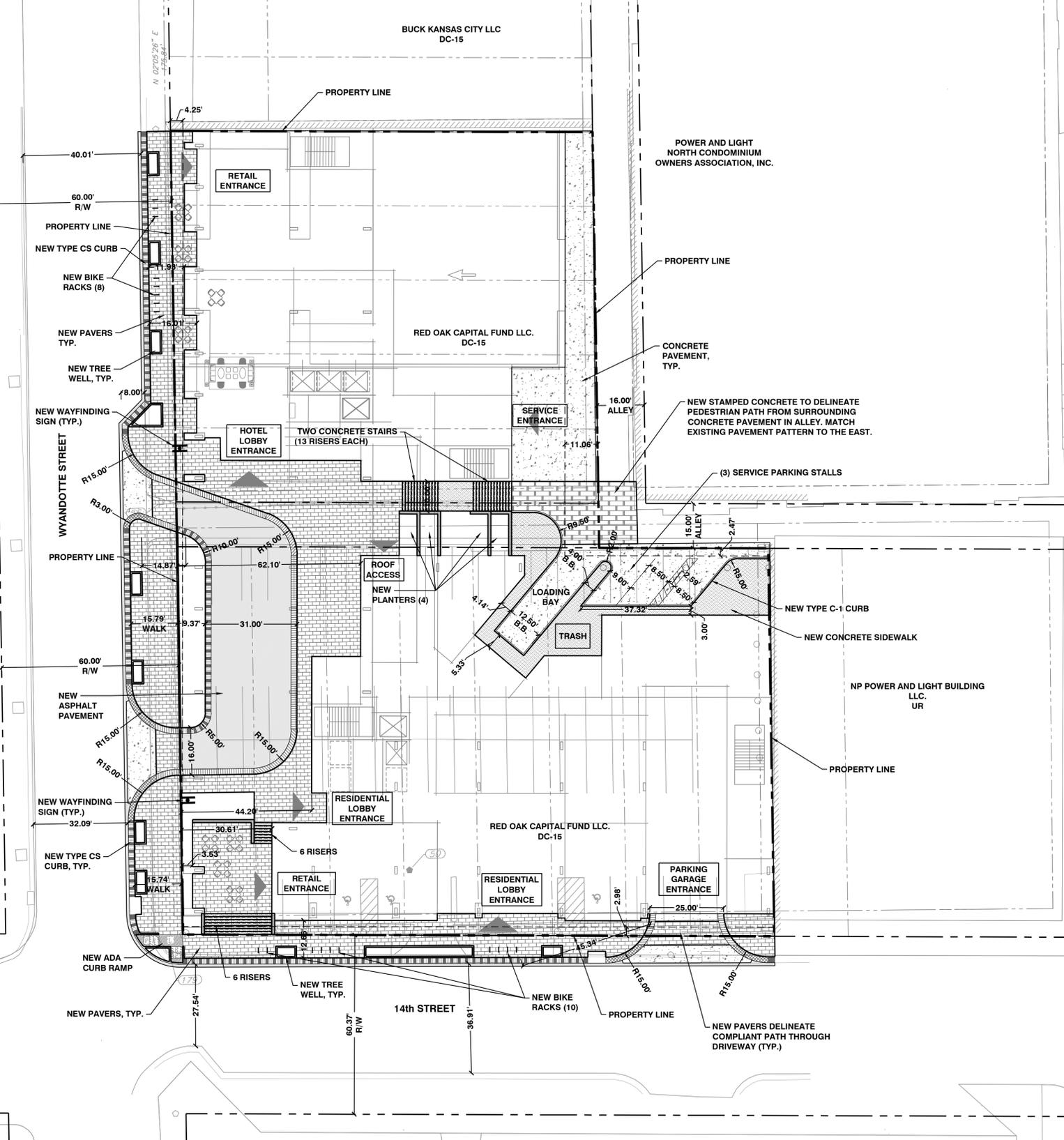
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**LEGEND:**

- NEW ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW STAMPED CONCRETE PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW PAVERS
- NEW TYPE C-1 CURB
- NEW TYPE CS CURB
- NEW FLUSH CURB
- CURB HEIGHT TRANSITION 6" HIGH TO 0" HIGH
- NEW PLANTERS

**NOT FOR CONSTRUCTION**

4600 College Boulevard  
Suite 100  
Overland Park, Kansas 66211  
Tel: 913-451-7599  
Fax: 913-451-7599



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13-23105-00

DIMENSION PLAN

**C2.00**

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12th STREET

13th STREET

14th STREET

WYANDOTTE STREET

BALTIMORE AVENUE

MAIN STREET

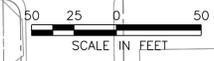
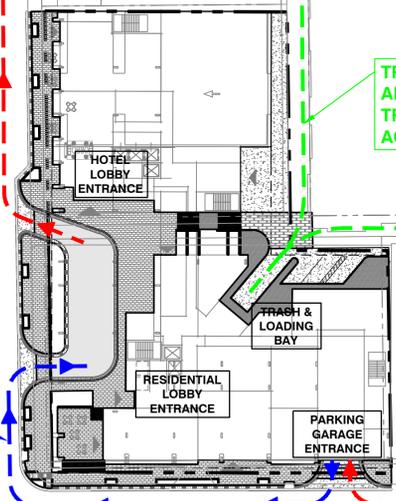
VALET ROUTE - HOTEL DROPOFF TO GARAGE

VALET ROUTE - GARAGE TO HOTEL PICKUP

TRASH TRUCK AND BOX TRUCK SITE ACCESS

**LEGEND:**

-  VALET ROUTE - HOTEL DROFF TO GARAGE
-  VALET ROUTE - GARAGE TO HOTEL PICKUP
-  TRASH TRUCK AND BOX TRUCK SITE ACCESS



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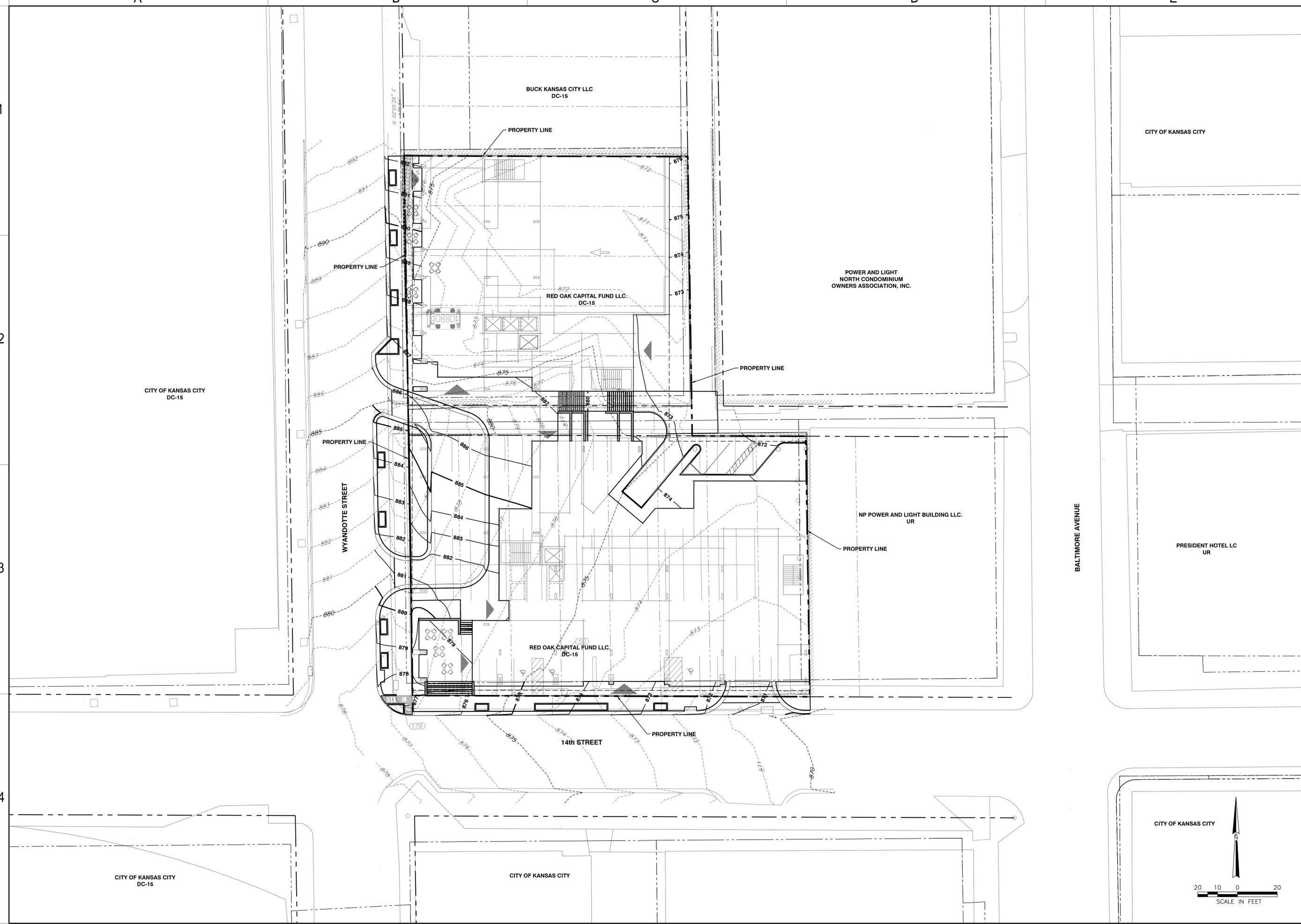
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Fax: 913-451-7599



**14th + Wyandotte  
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DLR PROJECT NO.  
13-23105-00  
SITE GRADING PLAN

**C3.00**

CITY OF KANSAS CITY

CITY OF KANSAS CITY DC-15

POWER AND LIGHT NORTH CONDOMINIUM OWNERS ASSOCIATION, INC.

BUCK KANSAS CITY LLC DC-15

RED OAK CAPITAL FUND LLC DC-15

NP POWER AND LIGHT BUILDING LLC. UR

PRESIDENT HOTEL LC UR

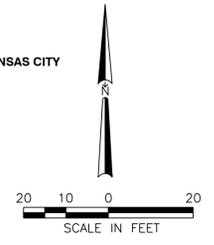
RED OAK CAPITAL FUND LLC DC-15

14th STREET

CITY OF KANSAS CITY DC-15

CITY OF KANSAS CITY

CITY OF KANSAS CITY



SCALE IN FEET

A

B

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BUCK KANSAS CITY LLC  
DC-15

RED OAK CAPITAL FUND LLC.  
DC-15

RED OAK CAPITAL FUND LLC.  
DC-15

POWER AND LIGHT  
NORTH CONDOMINIUM  
OWNERS ASSOCIATION, INC.

NP POWER AND LIGHT BUILDING LLC.  
UR

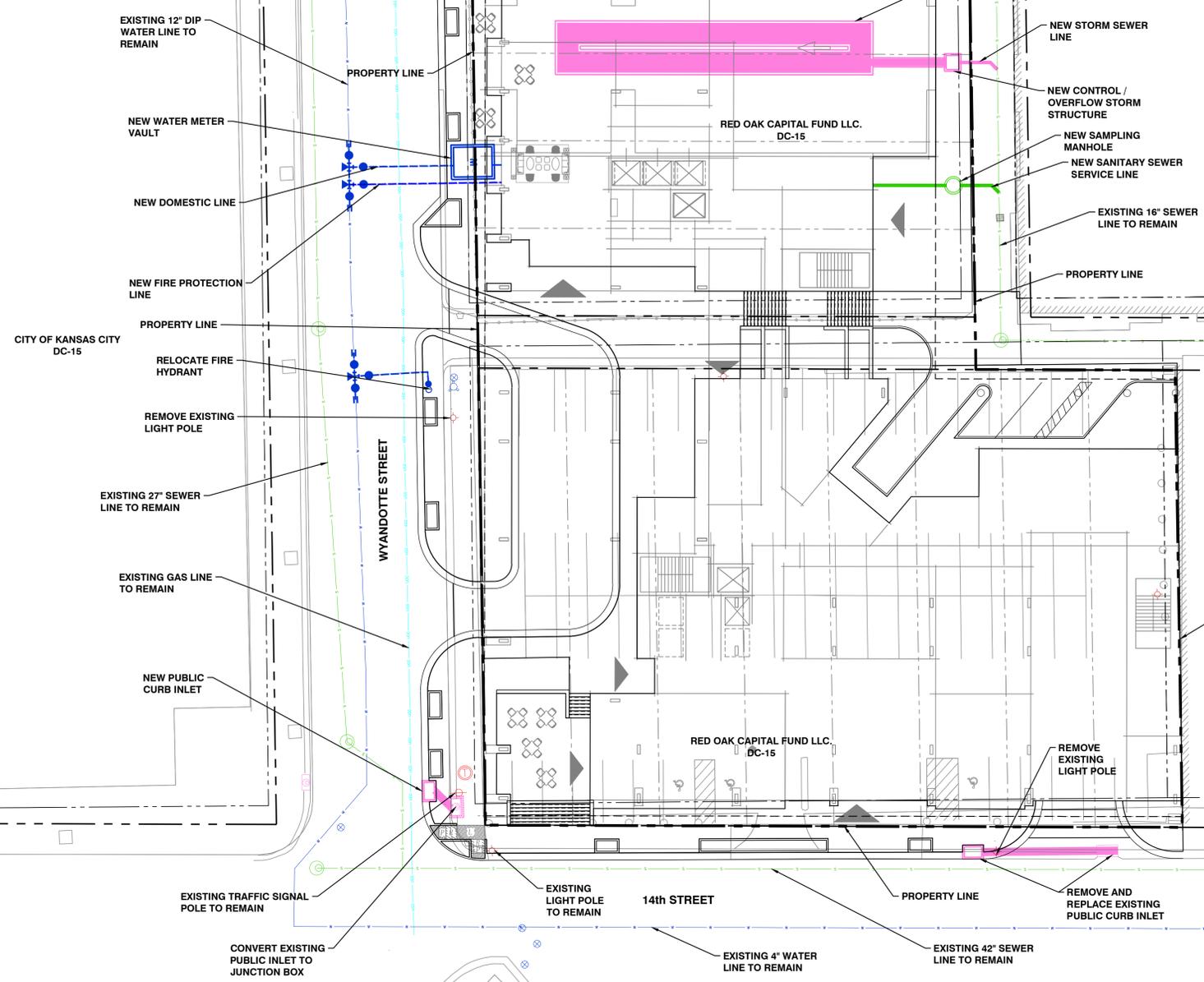
PRESIDENT HOTEL LC  
UR

CITY OF KANSAS CITY  
DC-15

CITY OF KANSAS CITY

CITY OF KANSAS CITY

**STORMWATER DETENTION**  
 DETENTION VOLUME REQUIRED (1.5" CSO  
 REQUIREMENT) = 4823 CF  
 DETENTION VOLUME PROVIDED = 5217 CF



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CONSTRUCTION -**

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 Suite 100  
 Overland Park, Kansas 66211  
 Fax: 913-451-7599

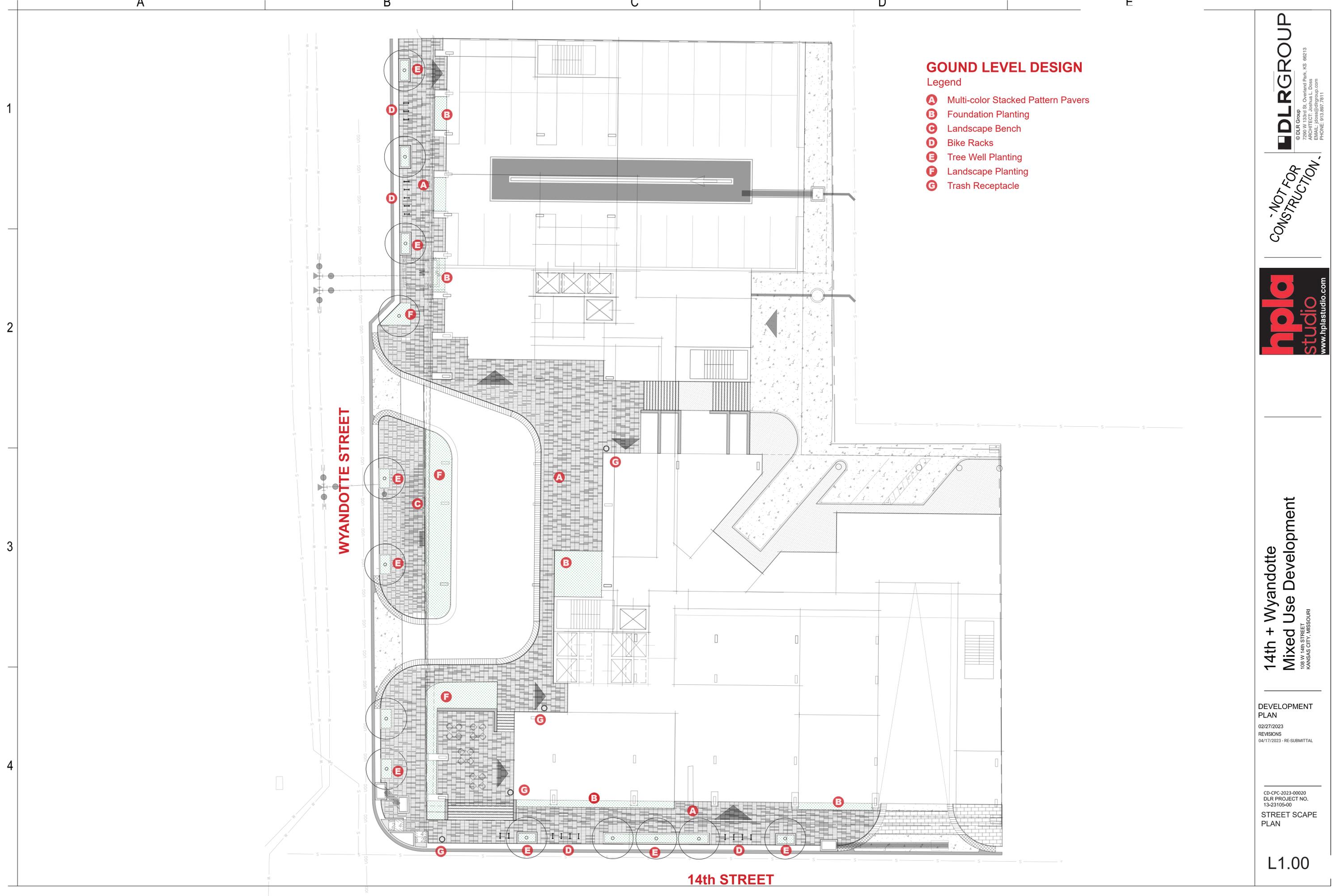


**14th + Wyandotte  
Mixed Use Development**  
 108 W 14th STREET  
 KANSAS CITY, MISSOURI

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 13-23105-00  
 SITE UTILITIES  
 PLAN

C4.00



**GROUND LEVEL DESIGN**

Legend

- A** Multi-color Stacked Pattern Pavers
- B** Foundation Planting
- C** Landscape Bench
- D** Bike Racks
- E** Tree Well Planting
- F** Landscape Planting
- G** Trash Receptacle



A

B

C

D

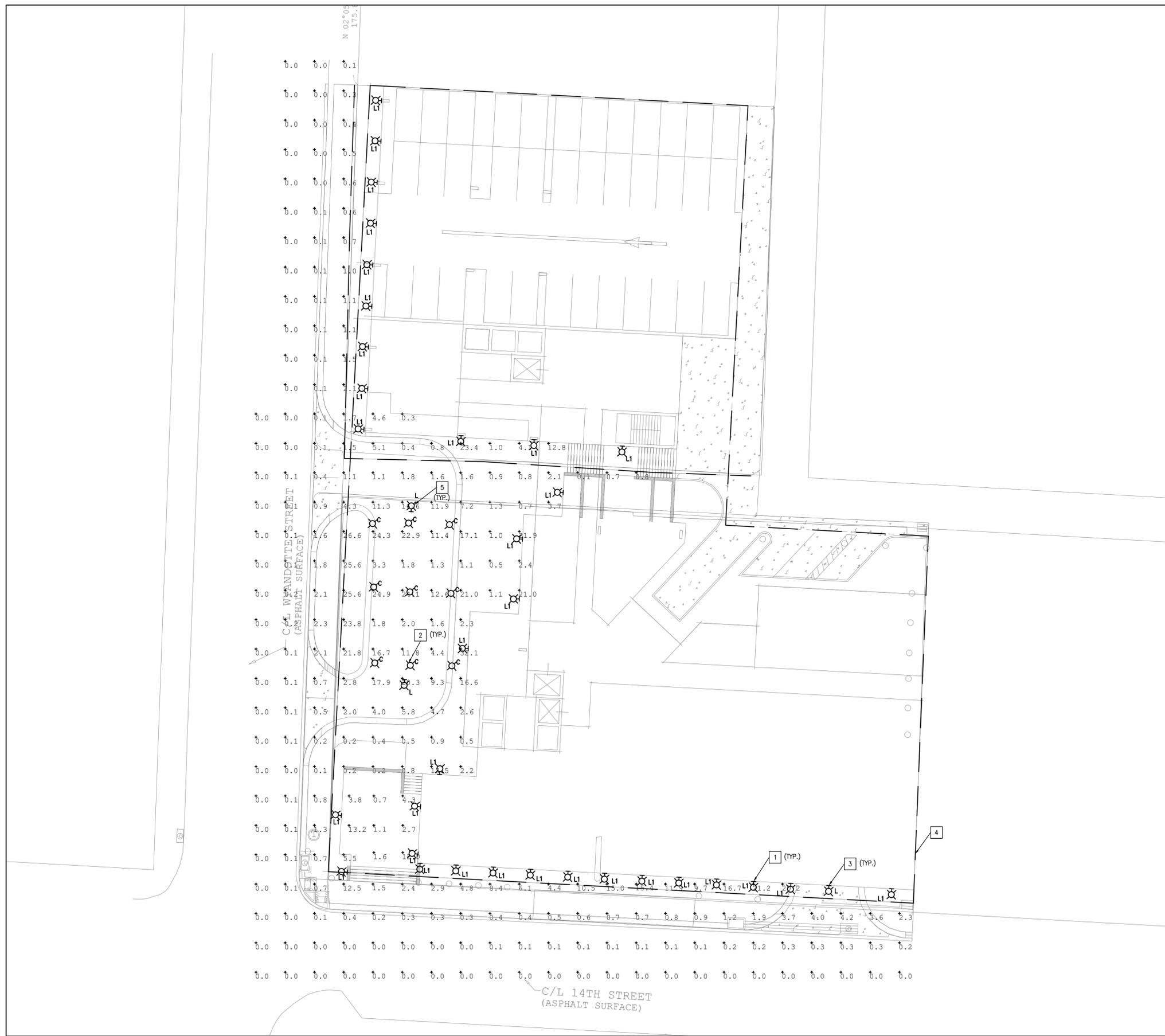
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### GENERAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC ONLY AND REPRESENT GENERAL SCOPE OF WORK.
2. LIGHTING LEVELS INDICATED ARE ON 10-FOOT CENTERS.

### PLAN NOTES

- 1 LED WALL MOUNTED UP/DOWN LIGHT FIXTURE TYPE "L1" 27W, 120V, MODEL# UNV-30051-2X27W-VW-W40-01-120/277(LIGMAN LIGHTING) ON BUILDING COLUMNS MOUNTED AT 10FT AFG.
- 2 LED DOWN LIGHT FIXTURE MOUNTED UNDER CANOPY TYPE "C" 25W, 120V, MODEL# 24821(BEGA LIGHTING).
- 3 LED WALL MOUNTED LIGHT FIXTURE TYPE "L" 37W, 120V, MODEL# UQU-31343-37W LED T2-W40-01-120/277(LIGMAN LIGHTING). MOUNTED AT 10FT AFG.
- 4 PROPERTY LINE AS PER SURVEY PLAN.
- 5 THIS LIGHT FIXTURE SHALL BE MOUNTED ON THE WALL OF THE CANOPY.

### LIGHTING LEGEND

- DOWN LIGHT FIXTURE.
- UP/DOWN LIGHT FIXTURE.
- WALL MOUNTED LIGHT FIXTURE.

### LIGHTING CALCULATION SUMMARY

**PARKING ENTRANCE**  
 ILLUMINANCE (FC)  
 AVERAGE = 3.95  
 MAXIMUM = 4.2  
 MINIMUM = 3.6

**SOUTH SIDE OF THE BUILDING**  
 ILLUMINANCE (FC)  
 AVERAGE = 5.30  
 MAXIMUM = 21.2  
 MINIMUM = 0.3

**WEST SIDE OF THE BUILDING**  
 ILLUMINANCE (FC)  
 AVERAGE = 1.22  
 MAXIMUM = 5.1  
 MINIMUM = 0.1

**BUILDING ENTRANCE**  
 ILLUMINANCE (FC)  
 AVERAGE = 7.27  
 MAXIMUM = 32.1  
 MINIMUM = 0.1



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DEVELOPMENT PLAN  
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 13-23105-00  
 SITE LIGHTING CALCULATION

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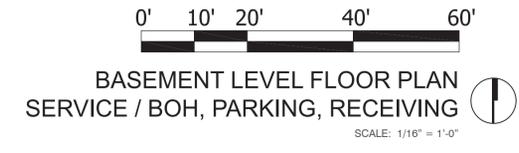


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**14th + Wyandotte**  
 Mixed Use Development  
 100 W. 14th STREET  
 KANSAS CITY, MISSOURI

DEVELOPMENT  
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 13-23105-00  
 FLOOR PLANS



A B C D E

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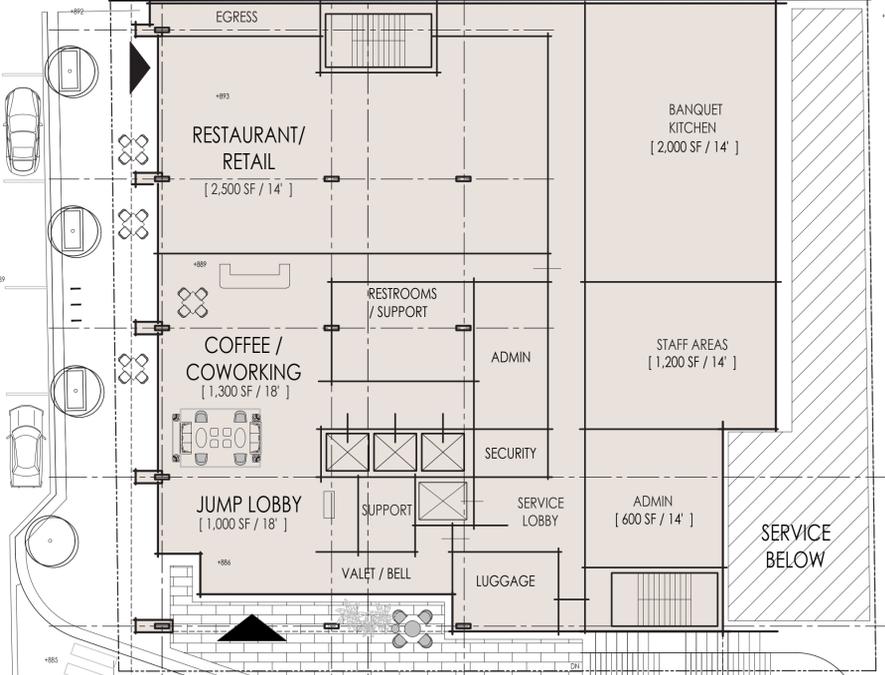
WYANDOTTE STREET

14TH STREET

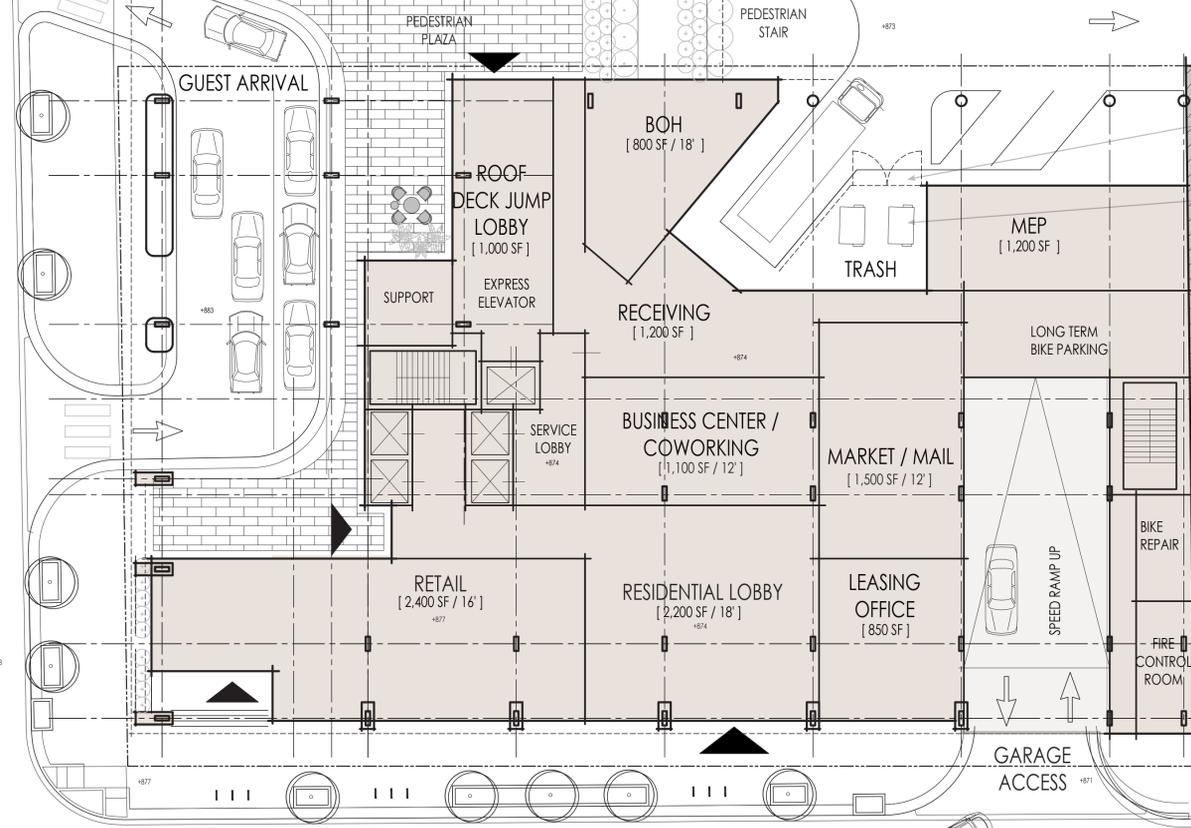
EXISTING HOTEL  
CROWN PLAZA

EXISTING  
MULTIFAMILY BLDG

EXISTING  
POWER & LIGHT BLDG



SERVICE ALLEY



NOT FOR  
CONSTRUCTION.

**14th + Wyandotte  
Mixed Use Development**  
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 KANSAS CITY, MISSOURI

DEVELOPMENT  
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 FLOOR PLANS



GROUND LEVEL FLOOR PLAN  
 HOTEL LOBBY, RESI LOBBY,  
 SCALE: 1/16" = 1'-0"

A B C D E

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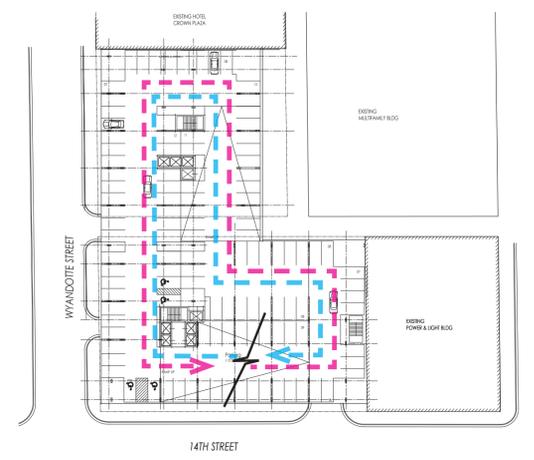
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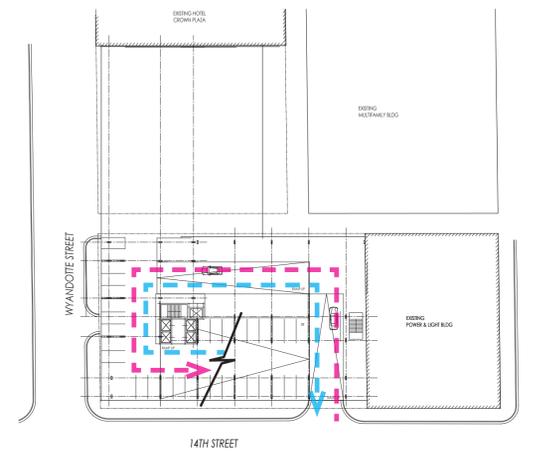
WYANDOTTE STREET



14TH STREET



TYPICAL PARKING LEVEL



PARKING LEVEL 2 ( RAMP UP FROM STREET)



- (4) ADA PARKING SPACES ON EACH OF THE TWO LOWEST LEVELS.
- (8) TOTAL ADA SPACES PROVIDED



LEVEL 3 -5 FLOOR PLAN  
TYPICAL PARKING GARAGE

SCALE: 1/16" = 1'-0"

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 FLOOR PLANS



WYANDOTTE STREET

14TH STREET



LEVEL 6 FLOOR PLAN  
MEETING ROOM & OTHER AMENITIES  
SCALE: 1/16" = 1'-0"

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DLR PROJECT NO.  
13-23105-00  
FLOOR PLANS

A B C D E

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FLOOR PLAN  
 TYPICAL GUESTROOM LEVEL  
 SCALE: 1/16" = 1'-0"

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 7200 W. 133rd St., Overland Park, KS 66213  
 ARCHITECT: Joshua L. Doss  
 PROJECT MANAGER: jldoss@dlr.com  
 PHONE: 913.897.7611

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**14th + Wyandotte  
 Mixed Use Development**  
 100 W. 14th STREET  
 KANSAS CITY, MISSOURI

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 FLOOR PLANS

**A1.5**

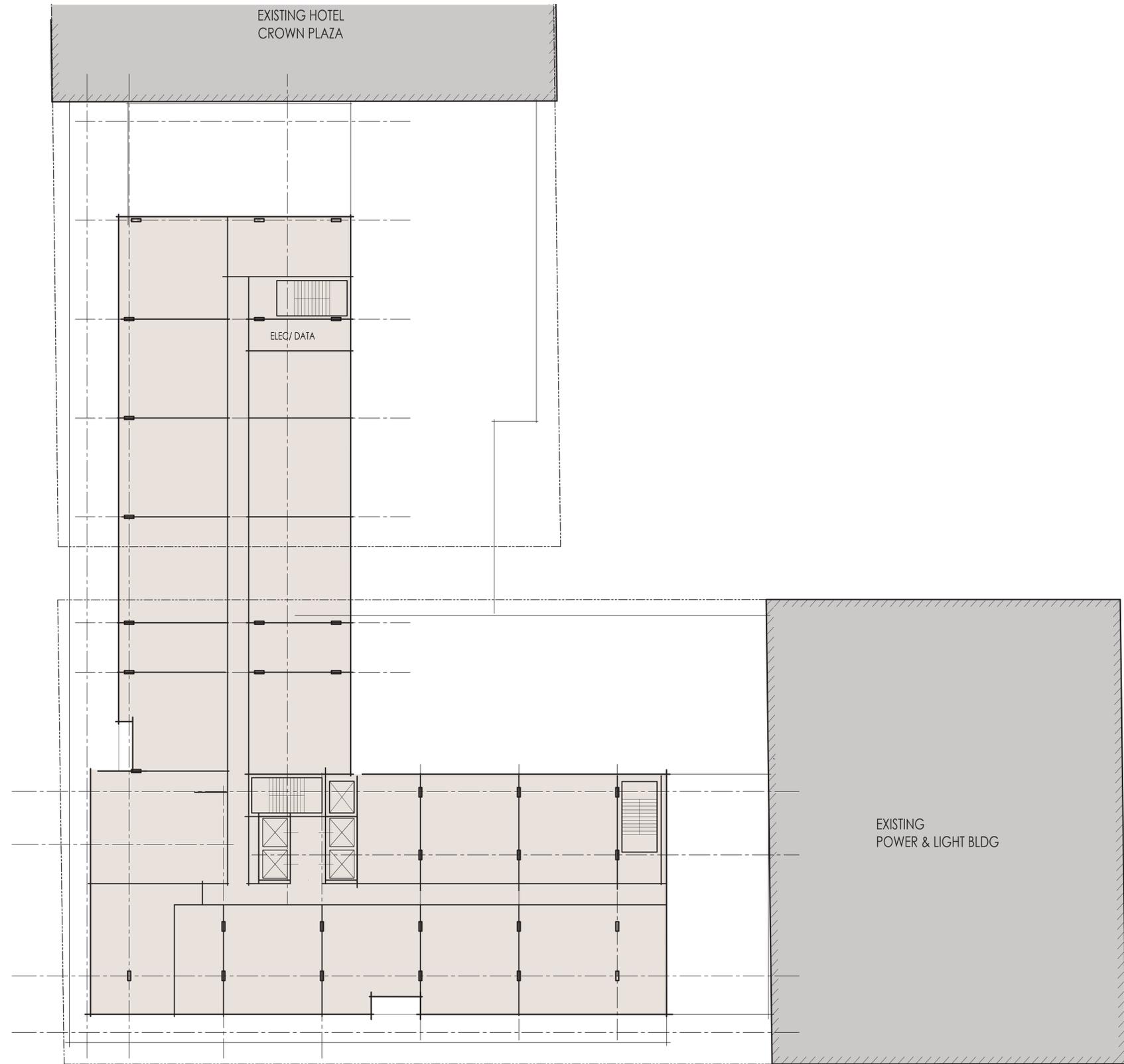
A B C D E

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LEVEL 14-25 FLOOR PLAN  
 TYPICAL RESIDENTIAL  
 SCALE: 1/16" = 1'-0"

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 ARCHITECT: Joshua L. Doss  
 PROJECT: 13-23105-00  
 PHONE: 913.897.7611

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 FLOOR PLANS

A1.6

A

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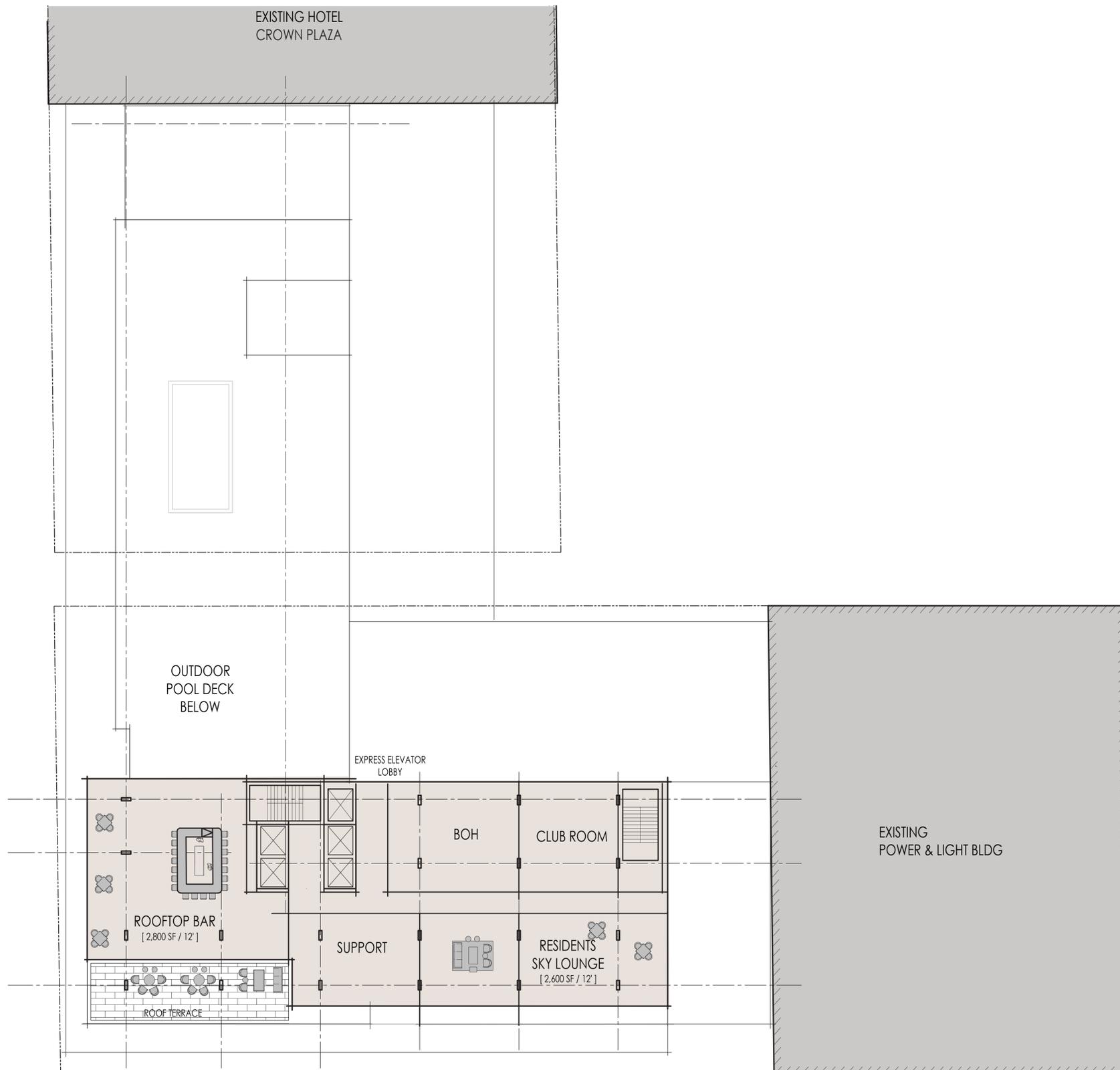
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LEVEL 27 FLOOR PLAN  
 PENTHOUSE LOUNGE  
 SCALE: 1/16" = 1'-0"

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 PROJECT MANAGER: jldoss@dlr.com  
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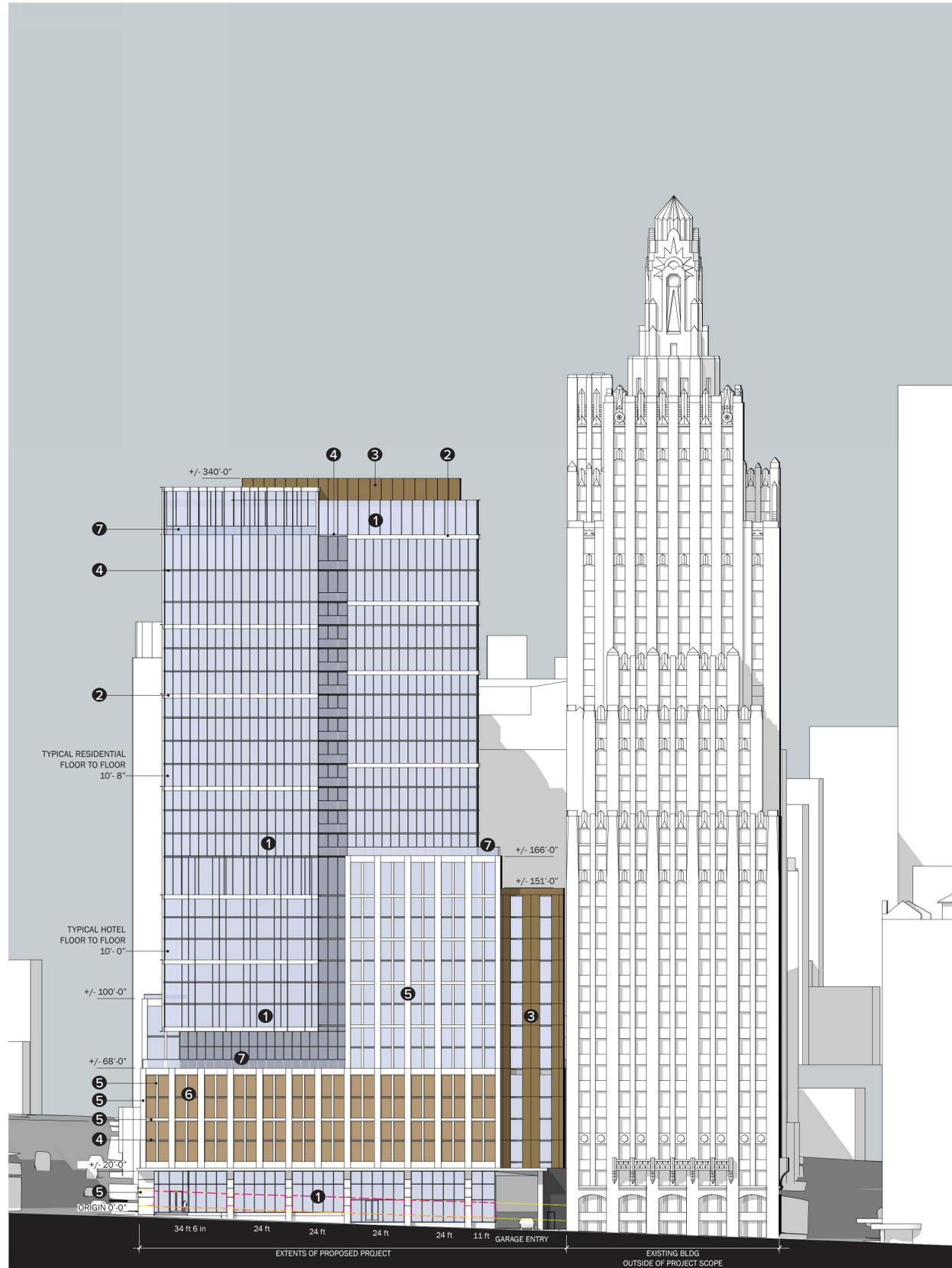
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 KANSAS CITY, MISSOURI

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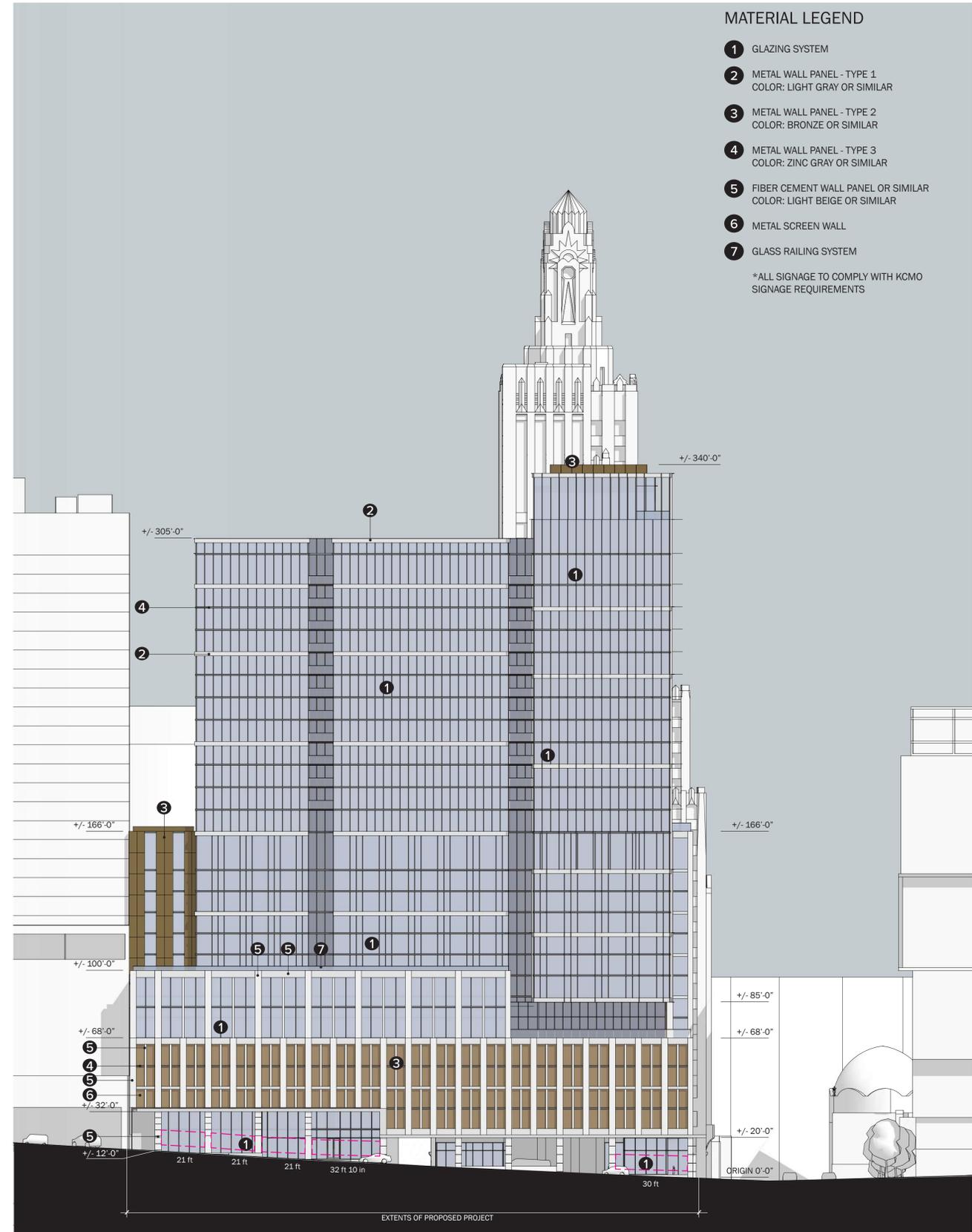
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 DLR PROJECT NO.  
 13-23105-00  
 FLOOR PLANS

**A1.7**



SOUTH ELEVATION

Transparency Requirement  
 Facade length : 198 ft 4 in  
 Required 60% min = 714 sf of glass (1190 x 6)  
 Provided 73% = 873 sf of glass



WEST ELEVATION

Transparency Requirement  
 Facade length : 267 ft 6 in  
 Required 40% min = 642 sf of glass (1605 x 4)  
 Provided 47% = 754 sf of glass

MATERIAL LEGEND

- 1 GLAZING SYSTEM
  - 2 METAL WALL PANEL - TYPE 1  
COLOR: LIGHT GRAY OR SIMILAR
  - 3 METAL WALL PANEL - TYPE 2  
COLOR: BRONZE OR SIMILAR
  - 4 METAL WALL PANEL - TYPE 3  
COLOR: ZINC GRAY OR SIMILAR
  - 5 FIBER CEMENT WALL PANEL OR SIMILAR  
COLOR: LIGHT BEIGE OR SIMILAR
  - 6 METAL SCREEN WALL
  - 7 GLASS RAILING SYSTEM
- \*ALL SIGNAGE TO COMPLY WITH KCMO SIGNAGE REQUIREMENTS

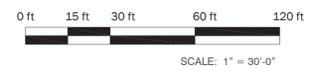
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 ARCHITECT: Joshua L. Doss  
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 PHONE: 913.897.7611

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 DLR PROJECT NO.  
 13-23105-00  
 ELEVATIONS



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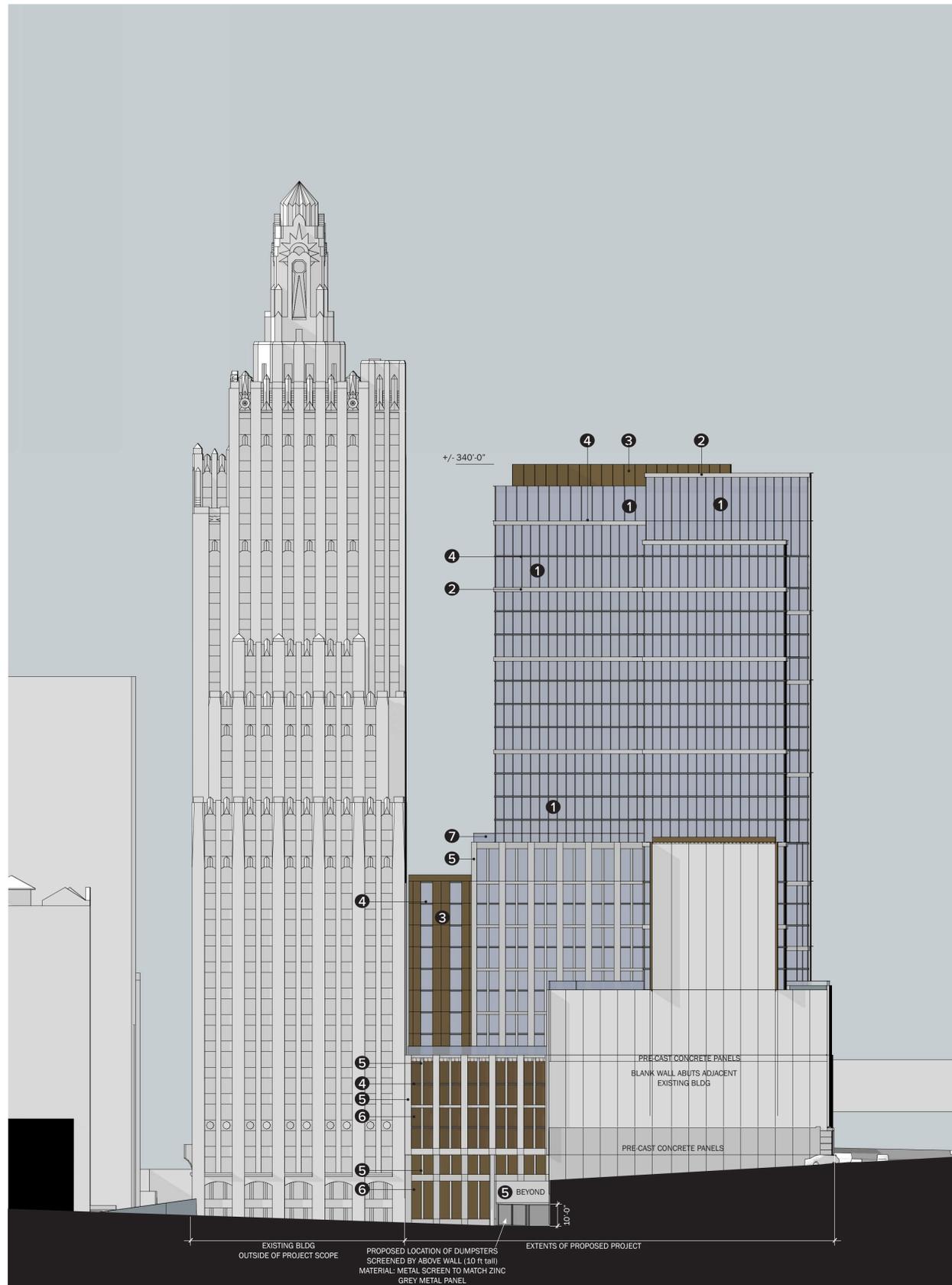
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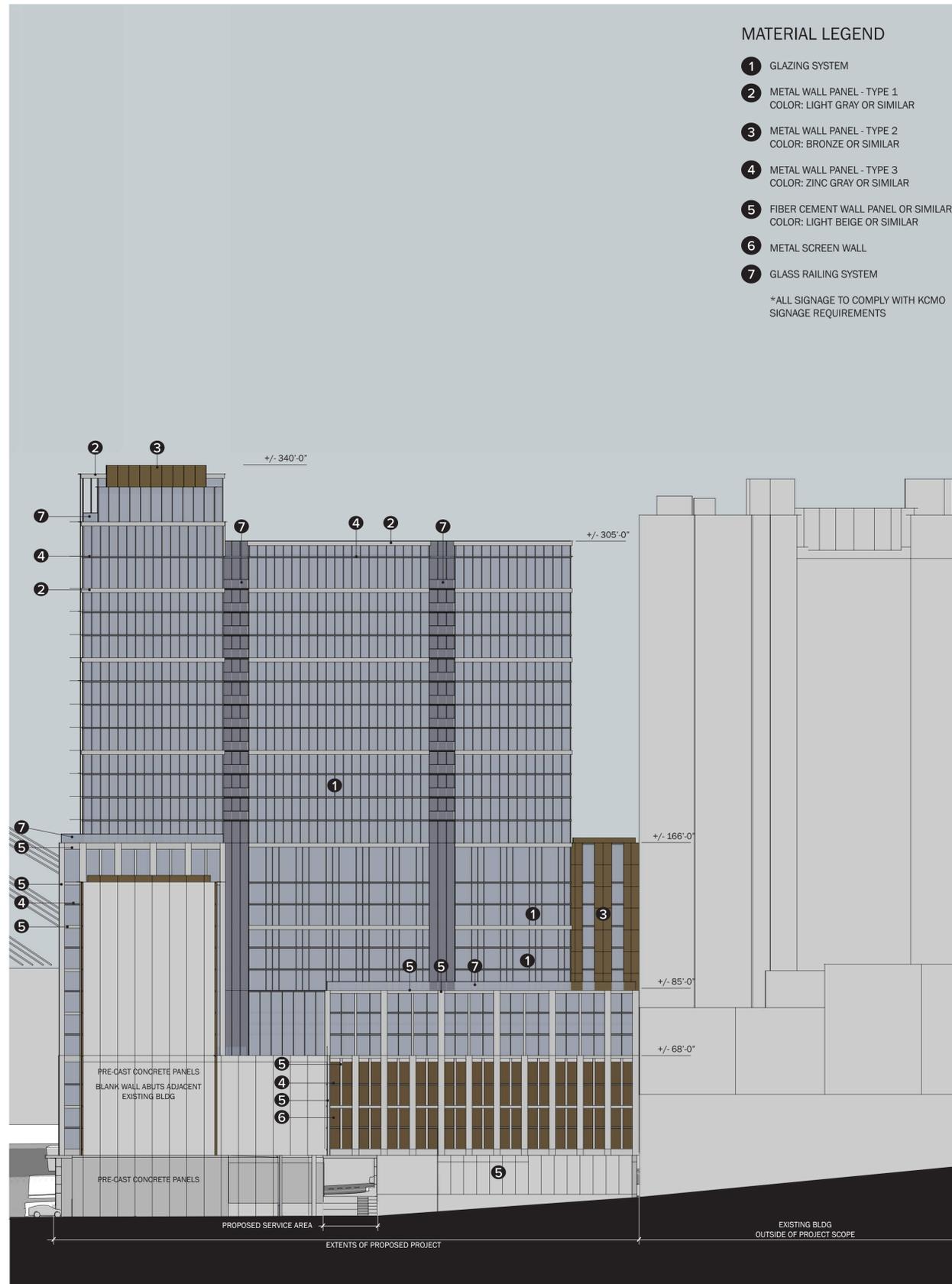
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NORTH ELEVATION



EAST ELEVATION

MATERIAL LEGEND

- 1 GLAZING SYSTEM
  - 2 METAL WALL PANEL - TYPE 1  
COLOR: LIGHT GRAY OR SIMILAR
  - 3 METAL WALL PANEL - TYPE 2  
COLOR: BRONZE OR SIMILAR
  - 4 METAL WALL PANEL - TYPE 3  
COLOR: ZINC GRAY OR SIMILAR
  - 5 FIBER CEMENT WALL PANEL OR SIMILAR  
COLOR: LIGHT BEIGE OR SIMILAR
  - 6 METAL SCREEN WALL
  - 7 GLASS RAILING SYSTEM
- \*ALL SIGNAGE TO COMPLY WITH KCMO SIGNAGE REQUIREMENTS

NOT FOR CONSTRUCTION

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 13-23105-00  
 BUILDING ELEVATIONS

A

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PERSPECTIVE VIEW OF HOTEL DROP OFF  
 APPROX CEILING HEIGHT 14 FEET MIN  
 OTHER AREAS 16 - 18ft

PERSPECTIVE VIEW ALONG WYANDOTTE



SECTION VIEW THROUGH PEDESTRIAN  
 CONNECTION FROM ALLEY TO WYANDOTTE

NOT FOR  
 CONSTRUCTION

**14th + Wyandotte  
 Mixed Use Development**  
 100 W. 14th STREET  
 KANSAS CITY, MISSOURI

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 BUILDING  
 VIEWS

A

B

C

D

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 ARCHITECT: Joshua L. Doss  
 jldoss@dlrgroup.com  
 PHONE: 913.897.7611

NOT FOR  
 CONSTRUCTION

**14th + Wyandotte  
 Mixed Use Development**

100 W. 14th STREET  
 KANSAS CITY, MISSOURI

DEVELOPMENT  
 PLAN  
 02/27/2023  
 REVISIONS  
 04/17/2023 - RE-SUBMITTAL

CD-CPC-2023-00020  
 DLR PROJECT NO.  
 13-23105-00  
 BUILDING  
 VIEWS

A

B

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D

E

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**DLR GROUP**  
 © DLR Group  
 7200 W 133rd St, Overland Park, KS 66213  
 ARCHITECT: Joshua L. Doss  
 PROJECT MANAGER: jldoss@dlr.com  
 PHONE: 913.897.7611

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 100 W. 14th STREET  
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A4.5



CITY OF  
KANSAS CITY,  
MISSOURI

## CITY PLANNING & DEVELOPMENT

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### Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

**J.Doss presented on behalf of the development team. The presentation started with an overview of the project and the surrounding context. Next, the updated plans were discussed along with the new massings and renderings. Attendees were generally supportive of the changes that had been made since the initial proposal and first round of public feedback.**

**Questions were asked about the ground floor activation, curb cuts, and the covered hotel drop-off.**

# Meeting Sign-In Sheet

## Project Name and Address

14Wyandotte Mixed Use Development - 1319 Wyandotte, Kansas City, MO 64105

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April 6th, 2023 - 6pm via Zoom

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Name	Address	Phone	Email
Josh Doss			<jdoss@DLRGROUP.com>
Vic Alston			Vic@LuxLiving.Co
joey beim			joey beim @gmail.com
Justin Short			
Liam Dai			
Derek Hoetmer# MCLV			
Rob Reiman			
Barbara Ganote			
Niall (Chris Stritzel)			
Michael Montague Jr			
Paul's iPhone			



# Public Comments

**Date:** Apr 24, 2023

**Re:** Case: CD-CPC-2023-00020

**Property Address:** 1319 Wyandotte

**Project:** LuxLiving's Proposed Development at 14th & Wyandotte

To Whom It May Concern -

As a downtown Kansas City resident, I am writing to express my full support of LuxLiving's proposed hotel/apartment project on the northeast corner of 14th & Wyandotte.

I have lived in downtown Kansas City for 16 years and this corner has been a dead zone that has gradually gotten worse during that time. Today, it has become a blighted pit in the heart of our entertainment and convention district.

I am thrilled that a developer has stepped up with an amazing plan to turn these decaying parcels into a vibrant mixed-use development that will provide great economic opportunities for our neighborhood and city. Activating these vacant lots will greatly enhance the visitor experience in Kansas City as well as continue the progress of transforming downtown into a thriving neighborhood.

The addition of 200 hotel rooms and 300 apartments will also generate significant traffic for downtown businesses as well as businesses in Midtown and the Plaza due to the property's proximity to the streetcar line. The economic impact will also be great for the City, the County, the school district, and other taxing jurisdictions as it will generate over \$67 million in estimated taxes over 20 years.

Finally, LuxLiving has demonstrated an impressive ability to listen to and collaborate with downtown residents and historic architectural groups to design a building that respects the adjacent Power & Light Building and compliments the area. I personally attended one of their neighborhood meetings and I was impressed with their willingness to listen to resident concerns and address those in their updated design.

I would strongly encourage your full support of LuxLiving's plan for this new mixed-use development in the heart of our downtown.

Thank you,

Tommy Wilson

905 Washington, Unit 202, Kansas City, MO 64105

April 24, 2023



RE: Case CD-CPC-2023-00020

Project Address: 1319 Wyandotte

**Officers**

Michael J. Klamm, Chair  
CBRE

Dr. Kimberly Beatty, Vice  
Chair  
Metropolitan Community  
Colleges

Gib Kerr, Vice Chair  
Cushman Wakefield

Charles Miller, Secretary  
Lewis Rice

Christopher Briggs,  
Treasurer  
PricewaterhouseCoopers

To Whom it May Concern:

The Downtown Council of Kansas City, Missouri (DTC)'s Business Attraction and Retention Committee recently was given a presentation on the proposed development at 1319 Wyandotte, LuxLiving Proposed development. Our Committee was very impressed with the proposed development and no objections were present by any of our members.

Downtown Kansas City is undergoing a renaissance. No other time in history has our Downtown experienced such significant redevelopment. With impressive new neighborhood amenities – from Power & Light District and the Creative Crossroads Arts District to the City Market and our riverfront – Downtown has positioned itself as a thriving neighborhood for those choosing the urban lifestyle.

The development of this key location in the Central Business District will do more than just add additional residential, hotel and commercial space to our community; it will drive new demand for Kansas City as a wonderful residential and hospitality destination. The creation of construction and permanent jobs downtown is vital to our city's ongoing development and will economically bolster the transit corridor along our streetcar line.

The project as designed, will bring to our Downtown a wonderful mix of residential, hotel units and a unique commercial retail space. It remains imperative if we are serious about growing business Downtown that we continue to develop parcels such as this surface parking lot and blighted hole into value creating, much needed mixed use development. We believe the development at 14th and Wyandotte will be well received in the Downtown market and a tremendous success.

Thank you for your consideration and we hope you will appreciate the economic impact this project represents. If you have any questions, please feel free to contact me.

Best regards,

Sean O'Byrne  
Vice President

Downtown Council of Kansas City

**Downtown Council**

1000 Walnut Street, Suite 200, Kansas City, MO 64106

Phone: 816.421.1539 website: [www.downtownkc.org](http://www.downtownkc.org)



**Planning & Development Committee**  
**Letter of Support - April 24, 2023**

**PROJECT** 14th & Wyandotte  
**DATE** April, 6th 2023, 6:00 - 7:00 pm  
**LOCATION** Online - Zoom

**RE: 14TH & WYANDOTTE DEVELOPMENT PROJECT PROPOSAL**

To Whom It May Concern,

On behalf of the board of the Downtown Neighborhood Association (DNA) and the downtown residents we represent, we support the Lux Living development proposal for 14th & Wyandotte. The proposed development meets most of the requirements outlined in the *DNA's Project Evaluation Rubric* and provides a quality infill project that benefits the community.

The DNA represents residents in the CBD and River Market areas in Kansas City. We have a history of supporting dense, walkable infill development and appreciated the opportunity to engage with Lux Living. The meeting included an informal presentation from the development team followed by an open forum where residents could ask questions and comments.

Below is a summary of those comments:

- **Curb Bumpouts:** The DNA requested the integration of curb bump-outs at the north east corner of 14th St. and Wyandotte St. We request to permanently integrate this area into the public right-of-way and improve pedestrian circulation and traffic calming with a new curb bump out.
- **Curb Cut Pedestrian Circulation:** We've asked the design team to consider the pedestrian connection north along Wyandotte St. and remove the valet curbcut to not disrupt the pedestrian experience and to ensure pedestrian safety.
- **Ground Floor Setback Reduction:** We've asked the design team to reduce the ground floor setback along Wyandotte St. and extend the development to the property line to better define the street edge.
- **Transparent Street-level Facade:** We highly recommend the development utilize transparent materials for the street-level facade to activate the ground floor and provide an enjoyable pedestrian experience regardless of the type of retail in that space.
- **Street Trees:** We request the integration of street tree pits in lieu of a few on street parking spaces to maximize sidewalk space and the pedestrian experience. Also, this should provide the best planting conditions to ensure the success of those trees.

We encourage the City of KCMO to consider the public feedback within this letter for the project and greatly appreciate this opportunity to engage with you.

Respectfully,

Joey Beim  
Planning and Development Committee Chair  
Downtown Neighborhood Association

April 24, 2023

RE: Case: CD-CPC-2023-00020

Property Address: 1319 Wyandotte

(LuxLiving Proposed Development at 14<sup>th</sup> & Wyandotte)

TO WHOM IT MAY CONCERN:

I am writing in support of LuxLiving's proposed hotel/apartment development project on the northeast corner of 14<sup>th</sup> & Wyandotte.

I have worked in the commercial real estate business in downtown Kansas City for over thirty years, and this corner has been a dead zone for my entire career. Blighted lots like these in the middle of our convention and entertainment district are a huge negative for Kansas City.

This project would generate an estimated 500 jobs during construction, and 200 jobs upon completion. In a period of economic uncertainty, we need to support projects like this that will provide economic opportunities for our community, particularly when they are transit-accessible such as this one.

Activating this long-vacant lot will go a long way toward enhancing the visitor impression for tourists in our convention and entertainment district. The streetscape plan will provide an excellent pedestrian walking experience.

The addition of 200 hotel rooms and 300 apartments will also generate significant traffic for downtown businesses as well as businesses in Midtown and the Plaza due to the property's proximity to the streetcar line. The economic impact will also be great for the City, the County, the school district and other taxing jurisdictions as it will generate over \$67 million in estimated taxes over 20 years.

Finally, LuxLiving has demonstrated an impressive ability to listen to and collaborate with their downtown neighbors and historic architectural groups to design a building that respects the adjacent Power & Light Building and compliments the area.

Kansas City needs to support LuxLiving's plan for this new development.

Thank you.



--Gib Kerr

800 W. 68<sup>th</sup> Terrace, Kansas City, MO 64113

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**Chris Stritzel**

(314) 221-0669

chrisstritzel752@gmail.com

18th April 2023

**Kansas City Planning Commission**

414 East 12th Street

Kansas City, MO 64106

Dear Planning Commission Members,

**I am writing in support** of the proposed tower (Case: CD-CPC-2023-0002) at the northeast corner of 14th and Wyandotte. The project has been submitted by LuxLiving and its architect, DLR Group.

As a new resident of the City of Kansas City, a project like this makes me excited for the future. Cities are defined as much by their culture and quality of life as they are by their skyline. With the direction Kansas City has been going, and continues to trend in, a new skyline changing building will be a net-positive for Kansas City. Not to mention the fact that getting rid of a hazardous hole and obnoxious parking lot in the heart of downtown is a huge plus for vibrancy and tax revenue. 300 apartments, 200 hotel rooms, and retail space will do wonders for this part of downtown.

Watching this project go from the initial design (submitted to the city back in February) to the revised design (which you're now reviewing) submitted in the middle of April has been interesting. The development team very clearly took public comments and opinions to heart when revising their design. This sort of move is not common in the world of development, although it should be. This proved to me that they're serious about creating a building that the public can like and residents/visitors can enjoy.

We must build a stronger downtown that boosts the region as a whole. We must continue to keep allowing the skyline to evolve and showcase our present to the Kansas Citians of the future.

Once again, **I am in favor of this project proposal and I hope to see it built.**

Sincerely,

**Chris Stritzel**