

CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

September 5, 2023

Project Name SouthPointe

Docket #10

Request

CD-CPC-2023-00107 – Rezoning with Plan.

Applicant

Matt Eblen McClure Engineering

Owners

City of Kansas City/ Urban America/ TIF Commission

Location Generally located at

the NWC of E. 63rd St.

Prospect Avenue

Area About 32 acres

Zoning UR
Council District 5th
County Jackson
School District KCMO 110

Surrounding Land Uses

North: zoned B3-2/ R-2.5/ R-6, single family residences and commercial.

South: zoned B3-2/ R-0.5, commercial.

East: zoned R-2.5, Bruce R. Watkins Dr.

West: zoned R-1.5/ R-5, single family residences.

Major Street Plan

East 63rd Street is classified as a 4-lane Through street and a local link typology by the City's Major Street Plan at this location. Bruce R. Watkins Drive is classified as a freeway.

Land Use Plan

The Swope Area Plan recommends Mixed Use Neighborhood and Open Space/ Buffer land uses on this parcel. The proposed zoning is consistent with the future land recommendation.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on June 22, 2023. Scheduling deviations from 2023 Cycle O occurred as a result of holding the required public engagement prior to CPC hearing.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The subject property lies within Blue Hills Neighborhood and Town Fork Creek Neighborhood Associations. Notice of the public hearing was sent to the neighborhood association and surrounding properties within 300 feet.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. Applicant hosted a meeting on August 15, 2023. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The 32-acre project site is portion of a 60-acre Southtown Urban Life Redevelopment Plan back in 2008. The area was cleared as part of that development. The UR site is generally located on the north side of E. 63rd Street on both sides of Prospect Avenue. Bordered by E. 62nd Street on the north, Bruce R. Watkins Drive on the east and Park Avenue on the west. As a result, the project site has multiple frontages on several public streets.

There is an existing gas station at the northeast corner of E. 63rd Street and Prospect Avenue that is planned to remain. The rest of the block is proposed to be redeveloped. Surrounding land use are conservation open space around the creek and existing single-family residences to the north and west. CVS Store and Research Medical Center is located south of E. 63rd Street.

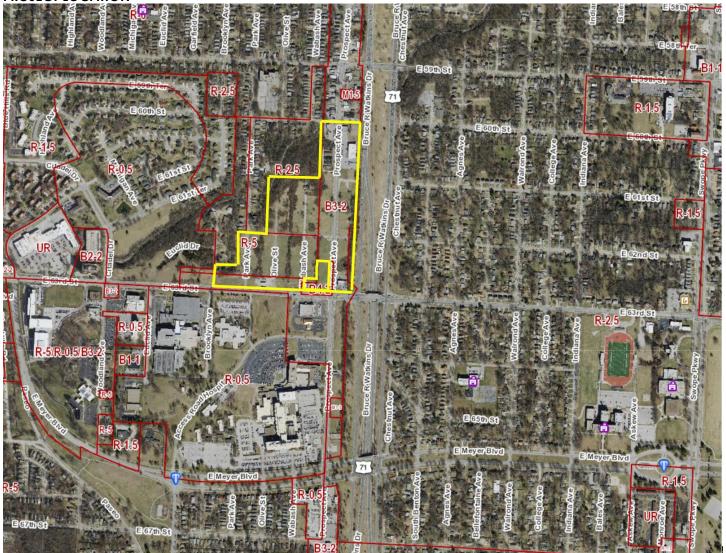
SUMMARY OF REQUEST + KEY POINTS

Approval of a rezoning from District UR to District UR for the purpose of amending the current plan/ preliminary plat to allow for mixed use development that includes multifamily residential, office and retail/ commercial in four phases.

PROFESSIONAL STAFF RECOMMENDATION

Docket #10 Recommendation: Approval with conditions.

PROJECT LOCATION



Background

Case No. 13869-URD-1 – A request for approval of a rezoning from Districts R-2a (two-family dwellings, low density), R-2b (two-family dwellings), C-2 (local retail business), C-3a1-p (intermediate business, low buildings district, limited), and M-1 (light industrial) to URD (urban redevelopment district) and the approval of a development plan for retail, office, residential and open spaces uses on about 61 acres, generally located between 59th, 60th, and 61st Streets on the north, Highway 71 on the east, 63rd St on the south, and Wabash Ave, Olive St, and just west of Brooklyn Ave on the west. (City Plan Commission recommended approval on December 2, 2008. No further action to date.) This is the Southtown Urban Life UR Redevelopment Plan.

CONTROLLING CASES

Case No. CD-CPC-2021-00211 – Ordinance No. 220327 passed by City Council on May 19, 2022, rezoned about 32 acres from Districts B4-2 (Heavy Business/ Commercial), B3-2 (Community Business), R-2.5 (Residential 2.5) and R-5 (Residential 5) to District UR (Urban Redevelopment), which also serves as a preliminary to allow for mixed use development that includes multifamily residential, office and retail/ commercial, in four phases.

PLAN REVIEW

The request is to consider amending the current approved UR plan to allow for site layout and modifications. The plan also serves as a preliminary plat to allow for a mixed use development that includes multifamily residential, office and retail/ commercial, market, restaurant, hotel, storage and an Anchor retailer. The proposed UR plan expressly prohibits businesses that sell alcohol for off premise consumption and off track betting/ gaming.

The plan proposes about 810,000 square feet of mixed use residential, retail/ commercial, office, hotel, market, storage, with 1,308 parking spaces, on 13 lots, in four (4) phases and allows for the following:

- 1. The plan proposed to vacate portions of Olive Street, Wabash Avenue and E. 62nd Streets.
- 2. Create a new hierarchy of public and private streets through the development (primary and secondary).
- 3. Provide development pods that will allow for flexibility when potential clients are identified.
- 4. Include a design guidelines to help expedite final UR plan approval. There are preliminary architectural elevations for each proposed building.
- 5. The proposed UR development plan also serves as a preliminary plat showing the POS tract with amenities that will count towards parkland dedication. This tract will be outside the proposed UR zoning boundary.
- 6. The plan shows a KCATA transit facility on Prospect Avenue.

The plan shows a main street northwards through the site from E. 63rd Street. This connects to E. 62nd Street (eastwest drive) to Prospect Avenue. The second connector is E. 62nd Terrace which connects westwards to Park Avenue. The developer worked extensively with staff to revise the overall site layout several times to arrive at the current plan. Staff has requested some revisions to the design guidelines and will continue to work with the developer prior to City Council action and final UR plan approval. The submitted plan did not include a signage plan, but shows tracts designated for entry/ gateway signage. Staff recommends that the applicant submit a signage plan that meets the requirement of Chapter 88-445 or submit Council Approved Signage Plan. A preliminary lighting plan has been submitted. Final lighting plan will be reviewed as part of the final plan approval to ensure compliance with 88-430.

The plan proposes two apartment buildings (buildings L & N). This constitutes the bulk of the proposed change to the plan by introducing a townhome concept fronts on Prospect Avenue. The multi-unit building will be setback further in the site forming a courtyard. Below is a table of the proposed changes.

	Current Approved Plan (2022) (Building L)	Proposed 2023 Plan (Buildings L & N)
Number of Floors	4	4 & 3
Height Above Grade	63'-7"	64'-6" & 35'-0"
Number of Units	250 UNITS	221/ 19 UNITS
Vehicle Parking (Min. Stalls Required)	250	223 & 19 (242)
Vehicle Parking (Stalls Provided)	264	263 & 15 (278)

Tax Incentive Plan

Ordinance No. 230550 passed by City Council on July 13, 2023, accepted the recommendations of the Tax Increment Financing Commission of Kansas City, Missouri as to the First Amendment to the Southpointe Tax Increment Financing Plan; and approving the First Amendment to the Southpoint Tax Increment Financing Plan.

CS Ordinance No. 220403 passed by City Council on May 19, 2022, accepted the recommendations of the Tax Increment Financing Commission as to the Southpointe Tax Increment Financing Plan; and approving the Southpointe Tax Increment Financing Plan as modified; and approving additional tax increment financing within the Redevelopment Project and authorizing the Director of Finance to enter into one or more agreements in furtherance of such purpose; and directing the Clerk to send a copy of this ordinance to Jackson County.

WAIVERS AND DEVIATIONS

The applicant is seeking any waiver or deviation.

PLAN ANALYSIS

*indicates adjustment/deviation requested

Standards	Applies	Meets	More Information
Boulevard and Parkway Standards (88-323)*	NO	N/A	
Parking and Loading Standards (88-420)*	YES	YES	
Landscape and Screening Standards (88-425)	Yes		WILL REVIEW AT FINAL PLAN
Outdoor Lighting Standards (88-430)	YES	NO	WILL REVIEW AT FINAL PLAN
Sign Standards (88-445)	YES	NO	Signs must be permitted separately
Pedestrian Standards (88-450)	Yes	YES	

The developer is required to submit a final plan to the City Plan Commission for approval if a design guideline is not submitted. This includes building elevations showing material for construction, plans for landscaping, grading, screening, berming, fencing for each building or private open space tract containing a detention area, pedestrian pathways, pool/ clubhouse, fencing, playground equipment, etc.; and building elevation and materials for the pool/ clubhouse. Phase 1 final UR plan will be approved by the Director of City Planning and Development prior to issuance of building permit.

Parkland Dedication (88-408)

Residential uses are proposed therefore parkland dedication or payment in-lieu of dedication is required. A total of 250 residential dwelling units are proposed. Pursuant to this section a total of 3 acres must be dedicated for parkland purposes per calculation below.

The development is providing a need for the following:

242 multi-family units x 2 x 0.006 = 3 acres 3 acres x \$64,220.18 = \$186,495.40

That the developer can either dedicate 3 acres of parkland or contribute \$186,495.40 in lieu of parkland dedication for the 242 multifamily units in satisfaction of Chapter 88-408 of the Zoning and Development Code.

SPECIFIC REVIEW CRITERIA

UR Plan Review Criteria

In order to be approved, the plan must comply with all of the following criteria:

88-516-05-A. The plan must comply with all standards of this zoning and development code and all other applicable city ordinances and policies.

The plan complies with the zoning and development code and the Swope Area Plan recommendations.

88-516-05-B. The proposed use must be allowed in the district in which it is located.

The proposed uses are permitted in the existing zoning districts and the proposed UR district.

- **88-516-05-C.** Vehicular ingress and egress to and from the site, and circulation within the site, must provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways. The plan provides for adequate vehicular connection.
- **88-516-05-D.** The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.

The plan provided for private and public sidewalks. Staff recommends a sidewalk network with additional delineation within the parking area and around the buildings to connect to public streets.

88-516-05-E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

There are adequate utilities subject to Water Services Department review and approval.

- **88-516-05-F.** The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties. The plan will meet the Swope Area Plan design guidelines. The 4-story apartments are proposed to be primarily stone, bricks, EIFS, horizontal and vertical lapsiding.
- **88-516-05-G.** Landscaping, berms, fences and/or walls must be provided to buffer the site from undesirable views, noises, lighting or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The plan is compliant based on the preliminary landscaping submitted and staff recommended corrections.

88-516-05-H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The plan is compliant.

88-516-05-I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are no significant trees on the development site.

88-515-08. Rezoning Review Criteria

In reviewing and making decisions on proposed zoning map amendments, the city planning and development director, city plan commission, and city council must consider at least the following factors:

88-515-08-A. Conformance with adopted plans and planning policies;

The Swope Area Plan recommends Mixed Use Neighborhood and Open Space/ Buffer land uses on this parcel. The proposed zoning is consistent with the future land recommendation.

88-515-08-B. Zoning and use of nearby property;

The surrounding parcels are zoned commercial and residential.

88-515-08-C. Physical character of the area in which the subject property is located;

The physical character of the area is predominantly commercial along E. 63rd Street and Prospect Avenue with residential west of the project site.

88-515-08-D. Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;

The subject property is adequately served by public facilities. The developer will have to vacate and extend private streets, sewer and water to serve this development.

88-515-08-E. Suitability of the subject property for the uses to which it has been restricted under the existing zoning regulations;

The UR zoning is necessary because the developer is seeking incentives from the EDC and will allow for a mixed-use development.

88-515-08-F. Length of time the subject property has remained vacant as zoned; The property has been vacant since around 2008.

88-515-08-G. The extent to which approving the rezoning will detrimentally affect nearby properties; and The proposed UR zoning will allow for much needed housing in this area, and provide access to the Blue River trail and parkland.

88-515-08-H. The gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application. Denial of the request would not result in any gain to the public health, safety or welfare.

ATTACHMENTS

- 1. Conditions Report
- 2. Applicants Submittal
- 3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

Docket Items #10 - Staff recommends Approval Subject to the Conditions as reflected in the attached Plan Conditions Report.

Respectfully Submitted,

Olofu Agbaji Planner

Plan Conditions



Report Date: August 31, 2023

Case Number: CD-CPC-2023-00107

Project: Southpointe

Condition(s) by City Planning and Development Department. Contact Justin Smith at (816)513-8823 / Justin.Smith@kcmo.org with questions.

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.

2. That the developer submit a design guideline for the proposed development per staff approval prior to ordinance request. The design guidelines shall incorporate the Heart of the City design guidelines wherever the opportunity presents itself. The guidelines shall call out all preferred and prohibited building materials. Staff recommends that the guidelines call for four sided architecture for buildings E, I, J & K. See sample uploaded in Compass.

If there is no design guidelines, the developer shall submit a Project Plan in lieu of a final UR Plan to the City Plan Commission for approval, including detailed information on landscaping, signage (including elevations), lighting (including a photometric study showing zero footcandles at the property line and no direct illumination beyond the property line) and building elevations prior to issuance of building permit.

- 3. That the developer apply for a Street Naming Plan prior to issuance of any building permit if streets are to be vacated. Separate application.
- 4. The developer shall secure approval of a street tree planting plan from the City Forester and plant according to said plan prior to recording the final plat.

Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at (816) 513-8815 / Olofu.Agbaji@kcmo.org with questions.

- 5. That the developer apply for street right of way vacation and obtain approval prior to issuance of building permit or Mylar approval of the first plat. This is a separate application.
- 6. That the plan be revised to show the following corrections and revised plans uploaded to compass prior to City Council acting on this amendment:
 - a) The location of a parking area gate at the SE corner of Building L (the multi-family apartment building) should be relocated not to be in conflict with traffic flow.
 - b) The materials on the west façade at the east elevation of Building L should be revised per staff approval.
 - c) The amount of floor elevation / building height offset for Building N (the newly proposed row houses the at immediately adjacent to the west side of Prospect) should be revised per staff approval.
 - d) Show plan revision dates on face of plan.
 - e) Change Project Development Summary "a" to reflect UR zoning. Rezoning from UR to UR for the purpose of amending the plan.
 - f) Change Project Development Summary "e" to refer to General Notes and elaborate on the uses per staff recommendation. NO USE SHALL BE ALLOWED THAT IS NOT PERMITTED IN THE B3 ZONING DISTRICT AS DESCRIBED IN SECTION 88-120-1 (TABLE 120-1) OF THE KCMO ZONING AND DEVELOPMENT CODE. ALL USESIDENTIFIED AS A "SPECIAL USE PERMIT" WILL BE REQUIRD TO APPLY FOR A SPECIAL USE PERMIT THROUGH THE BZA.
 - g) A note on the face of the plan that specifically calls out all the proposed uses per staff approval. This should include: ADULT MEDIA STORE, ADULT MOTION PRICTURE THEATRE, SEX SHOP, CHECK CASHING STORE, PAWN SHOP, RECREATIONAL VEHICLE PARK, BLOOD/ PLASMA CENTER, TATTOO SHOP, AND LIGHT EQUIPMENT SALES/ RENTAL OUTDOOR. This UR plan also expressly prohibits businesses that sell alcohol for off premise consumption and off track betting/ gaming.
- 7. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
- 8. All signage shall conform to 88-445 and shall require a sign permit prior to installation.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

- 9. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
- 10. The developer must design and construct all interior public streets to City Standards, as required by Chapter 88 and the Land Development Division, including curb and gutter, storm sewers, street lights, and sidewalks.
- 11. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system and manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat.
- 12. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat.
- 13. The developer must request the Land Development Division to initiate an ordinance to establish or re-establish the grade on existing streets that are being improved where existing grades change by more than 6 inches and the grades have been previously established.
- 14. The developer shall integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
- 15. The developer shall provide acceptable easement and secure permits to relocated sanitary sewers out from under proposed buildings and structures while continuing to ensure individual service is provided to all proposed lots as required by Land Development Division prior to recording the plat or issuance of a building permit, whichever occurs first.
- 16. The developer shall grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.
- 17. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, provide a copy of the SWPP submitted to the Missouri DNR and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
- 18. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
- 19. Proposed on-street parking shall be approved by the Public Works Department prior to the issuance of a permit from the Land Development Division for construction. Requests for on-street parking require review by Public Works staff during the plan review process.
- 20. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
- 21. The developer must petition for the vacation of street ROW as shown on the development plan and relocate sewers as required by the Departments of Water Services, the Land Development Division, and Development Services prior to recording of the final plat.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

- 22. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
- 23. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
 - Fire hydrant distribution shall follow IFC-2018 Table C102.1

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

- 24. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
- 25. A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
 - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
 - Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
 - Shall provide fire lane signage on fire access drives.
- 26. The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
- 27. Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

28. The developer shall continue to work with Parks and City Planning staff to identify solutions to satisfying the parkland dedication requirements of 88-408.

Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard Sanchez@kcmo.org with questions.

- 29. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2023 acquisition rate of \$64,220.18 per acre. This requirement shall be satisfied prior to certificate of occupancy.
- 30. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

- 31. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O. https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf
- 32. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development. South of River contact Sean Allen 816-513-0318

 North of River contact Pedro Colato 816-513-4892

Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.

33. Public Water Main Extension/Abandonment Plans

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

- 34. The developer must obtain a floodplain development permit from Development Services prior to beginning any construction activities within the floodplain.
- 35. The developer must grant on City approved forms, a STREAM BUFFER Easement to the City, as required by Chapter 88 and Land Development Division, prior to issuance of any stream buffer permits.
- 36. The developer must show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by KC Water and Land Development Division.
- 37. The developer shall submit a Preliminary Stream Buffer plan prior to approval of the plan in accordance with the Section 88-415 requirements.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

- 38. The developer must provide acceptable easements and secure permits to relocate sanitary sewers out from under proposed buildings and structures, etc. Any existing public lines located under proposed structures must be abandoned in place or removed and easement vacated; as required by KC Water and Land Development Division prior to recording the plat or issuance of a building permit, whichever occurs first.
- 39. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems per KC Water Rules and Regulations, prior to recording the plat or issuance of a building permit whichever occurs first.
- 40. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat.
- 41. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
- 42. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or storm water detention area tracts, prior to recording the plat.

ACRES, MORE OR LESS.

BEGINNING AT THE SOUTHERLY MOST SOUTHEAST CORNER OF SAID LOT 1, SUMMERS WHARF.

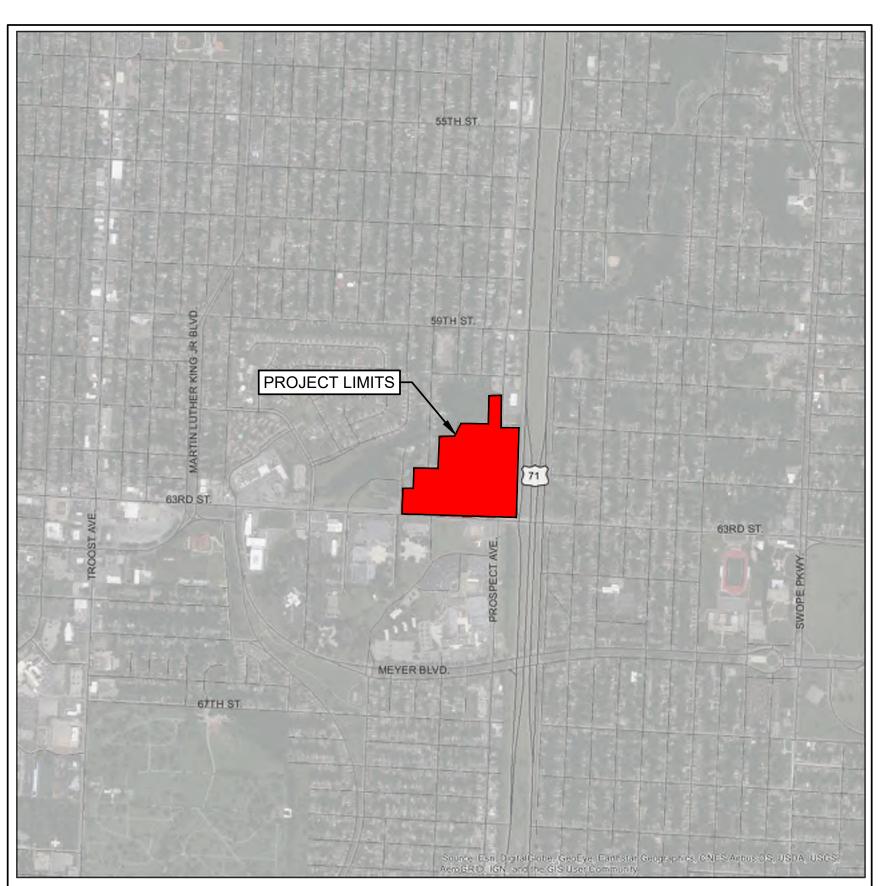
SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF E. 63RD STREET, 50 FEET NORTH OF THE CENTERLINE THEREOF; THENCE N86°58'41"W (PLAT: N86°49'02"W), ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET AND ITS WESTERLY PROLONGATION, 50 FEET NORTH OF AND PARALLEL WITH THE CENTERLINE THEREOF, 295.91 FEET TO THE WEST RIGHT-OF-WAY LINE OF WABASH AVENUE, SAID POINT BEING ON THE EAST LINE OF LOT 40 IN SAID BEACHWOOD; THENCE S02°15'37"W, ALONG THE EAST LINE OF SAID LOT 40, 10.00 FEET TO OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE N86°58'41"W, ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET AND ITS WESTERLY PROLONGATION THEREOF NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER TO THE SOUTHEAST CORNER OF A TRACT OF LAND FOR NEW RIGHT-OF-WAY DESCRIBED BY DOCUMENT NO. 1990-K-0930339, BEING THE WEST 5 FEET OF THE SOUTH 5 FEET OF LOT 99 IN SAID BEACHWOOD; THENCE N02°15'37"E, PARALLEL WITH THE WEST LINE OF SAID LOT 99, 5.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT OF LAND; THENCE N86°58'41"W, WITH THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET, 5.00 FEET TO THE WEST LINE OF SAID LOT 99. SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF BROOKLYN AVENUE; THENCE N02°15'37"E, ALONG SAID EAST RIGHT-OF-WAY LINE, 280.05 FEET TO THE NORTHWEST CORNER OF LOT 105 IN SAID BEACHWOOD; THENCE S86°58'41"E, ALONG THE NORTH LINE OF SAID LOT. 137.64 FEET TO THE NORTHEAST CORNER THEREOF. SAID POINT BEING THE SOUTHWEST CORNER OF LOT 91 IN SAID BEACHWOOD; THENCE N02°15'37"E, ALONG NORTHWEST CORNER OF SAID LOT 85, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF E. 62ND STREET; THENCE S86°58'41"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ITS EASTERLY PROLONGATION THEREOF, 316.34 FEET (PLAT: 316.09 FEET) TO THE NORTHEAST CORNER OF LOT 84 IN SAID BEACHWOOD; THENCE N01°56'58"E, 50.01 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SAID E. 62ND STREET, SAID POINT BEING THE SOUTHWEST CORNER OF LOT 15 IN SAID EASTLAKE ADDITION: THENCE N02°15'30"E. ALONG THE WEST LINE OF LOTS 15 THRU 25, INCLUSIVE, IN SAID EASTLAKE ADDITION, 385.00 FEET, TO THE NORTHWEST CORNER OF SAID LOT 25; THENCE S86°58'41"E, ALONG THE NORTH LINE OF SAID LOT, 146.79 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF OLIVE STREET; THENCE S86°58'41"E, 51.15 FEET TO THE EAST RIGHT-OF-WAY LINE OF SAID OLIVE STREET, SAID POINT BEING THE SOUTHWEST CORNER OF LOT 3 IN SAID EASTLAKE ADDITION: THENCE IN A NORTHERLY DIRECTION, ALONG THE EAST RIGHT-OF-WAY LINE OF SAID OLIVE STREET, ALONG A CURVE TO THE RIGHT WITH AN INITIAL TANGENT BEARING OF N15°36'49"E HAVING A RADIUS OF 700.00 FEET THROUGH A CENTRAL ANGLE OF 014°13'02". AN ARC DISTANCE OF 173.70 FEET (PLAT: 172.64 FEET) TO THE NORTHWEST CORNER OF LOT 1 IN SAID EASTLAKE ADDITION; THENCE S87°28'08"E, ALONG THE NORTH LINE OF SAID LOT, 49.50 FEET OF LOT 22 IN SAID MILLERS ADDITION; THENCE N02°15'37"E, ALONG THE WEST LINE OF SAID LOT 16.45 FEET TO THE NORTHWEST CORNER THEREOF; THENCE S86°58'41"E, ALONG THE NORTH LINE OF SAID LOT, 128.97 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT BEING ON RIGHT-OF-WAY LINE OF WABASH AVENUE; THENCE CONTINUING S86°58'41E, 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SAID WABASH AVENUE. SAID POINT BEING THE THENCE N02°15'37"E, 169 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID NORTHEAST QUARTER, 380.84 FEET TO THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED BY DOCUMENT NO. 1993-K-1106908: THENCE S87°28'09"E. ALONG THE NORTH LINE OF SAID TRACT OF LAND, 129.00 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF PROSPECT AVENUE; THENCE S02°15'37"W, ALONG SAID WEST RIGHT-OF-WAY LINE, 331.87 FEET TO THE WESTERLY PROLONGATION OF THE NORTH RIGHT-OF-WAY LINE OF E. 61ST STREET; THENCE S86°43'02"E, ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID E. 61ST STREET, AND ITS WESTERLY PROLONGATION THEREOF 280.01 FEET TO THE SOUTHEAST CORNER OF LOT 74 IN SAID BEAUFORT, BEING THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED BY EXHIBIT E40350 IN DOCUMENT NO. 2006-E-0030540, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF MISSOURI ROUTE 71; THENCE ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI ROUTE 71, THE FOLLOWING COURSES AND DISTANCES: S02°15'37"W, 150.00 FEET TO THE SOUTHEAST CORNER OF LOT 73 IN SAID BEAUFORT, BEING THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED BY EXHIBIT E40351 IN SAID DOCUMENT NO. 2006-E-0030540, SAID POINT BEING 211.58 FEET RIGHT OF CENTERLINE STA. 355+55.67; THENCE S02°15'37"W, 150.00 FEET TO A POINT 212.42 FEET RIGHT OF CENTERLINE STA. 357+07.08; THENCE S07°09'08"W, 234.50 FEET TO A POINT 232.19 FEET RIGHT OF CENTERLINE STA. 359+41.67, SAID POINT BEING ON THE SOUTH LINE OF LOT 69 IN SAID BEAUFORT; THENCE N86°43'02"W, ALONG THE SOUTH LINE OF SAID LOT 69 AND CONTINUING ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI ROUTE 71, 50.00 FEET TO THE NORTHEAST CORNER OF THE WEST 10 FEET OF LOT 28 IN SAID JOST PLAZA; THENCE S02°15'37"W. 656.21 FEET TO THE NORTHEAST CORNER OF A TRACT OF LAND FOR SAID MISSOURI ROUTE 71 RIGHT-OF-WAY BY DOCUMENT NO. 1990-K-0914472; THENCE ALONG THE NORTH LINE OF SAID TRACT OF LAND, BEING THE WESTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI ROUTE 71, THE FOLLOWING COURSES AND DISTANCES: S74°14'22"W (DEED: N74°08'08"E), 45.75 FEET; THENCE S82°04'12"W (DEED: N81°57'58"E), 25.50 FEET; THENCE N86°37'12"W (DEED: S86°43'26"E), 61.39 FEET TO THE EAST RIGHT-OF-WAY LINE OF PROSPECT AVENUE; THENCE LEAVING THE WESTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI ROUTE 71, N83°50'28"W, 80.19 FEET TO THE NORTHERLY MOST SOUTHEAST CORNER OF SAID LOT 1 SUMMERS WHARF, SAID POINT BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID PROSPECT AVENUE WITH THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET; THENCE S43°01'57"W (PLAT: S43°51'23"W), ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID E 63RD STREET, 18.54 FEET (PLAT: 18.46 FEET) TO THE POINT OF BEGINNING, CONTAINING 31.897

SOUTHPOINTE **UR DISTRICT** REZONE & PRELIMINARY DEVELOPMENT PLAN

LOCATED IN

SECTION 3 & 4, TOWNSHIP 48N, RANGE 33W KANSAS CITY, JACKSON COUNTY, MISSOURI





LOCATION MAP

	INDEX OF SHEETS
NUMBER	TITLE
C001	COVER SHEET
C002	GENERAL LAYOUT
C003	PROJECT SUMMARY PLAN
C004	PRE-DEVELOPMENT CONDITIONS
C005	PRELIMINARY PLAT
C006	PHASING PLAN
C007	STREET LAYOUT PLAN
C100	OVERALL SITE PLAN
C101-C102	ENLARGED SITE PLANS
C200	OVERALL GRADING PLAN
C201-C202	ENLARGED GRADING PLANS
C300	OVERALL UTILITY PLAN
C301-C302	ENLARGED UTILITY PLANS
C303	VACATED UTILITIES PLAN
C400	STREAM BUFFER PLAN
L100	OVERALL LANDSCAPE PLAN
L200-L202	ENLARGED LANDSCAPE PLANS
L300-L303	STREETSCAPE SECTION PLANS
E100-E102	PHOTOMETRIC PLANS
A100-A216	ARCHITECTURAL PLANS

Cedar Rapids, IA | Fort Dodge, IA North Liberty | Sioux City Macon, MO | Columbia, MO North Kansas City, MO Lenexa, KS

Ankeny, IA | Carroll, IA | Clive, IA



8131 Metcalf Ave., Suite 300 Overland Park, Kansas 66204 P 913-262-9095

McClure Engineering Co. is not any alleged errors, omissions, inconsistences, ambiguities, or conflicts contained within the Plans and Specifications.

REVISIONS

PROJECT INFO 190438-000

ENGINEER DRAWN BY CHECKED BY

<u>N</u>

PLANNER & CIVIL ENGINEER MCCLURE MATT EBLEN, P.E.

412.969.2725

URBAN AMERICA

ROBERT C. FARMER, JR.

GRAPEVINE, TX 76051

1452 HUGHES RD, SUITE 200

RFARMER@URBANAMERICA.COM

MEBLEN@MCCLUREVISION.COM

1700 SWIFT ST STE 100 NORTH KANSAS CITY, MO 64116 816.756.0444

CONSULTANTS

MASTER DEVELOPER:

CONTACT NAME:

CONTACT NAME:

ADDRESS:

PHONE:

EMAIL:

COMPANY: **CONTACT NAME: EMAIL:**

MCCLURE LANDSCAPE ARCHITECT **ANTHONY DEPRIEST** ADEPRIEST@MCCLUREVISION.COM

BRR ARCHITECTURE, INC.

COMPANY: ROLE: CONTACT NAME:

JON GRIPKA **EMAIL:** JON.GRIPKA@BRRARCH.COM

ARCHITECT

COMPANY: ROLE: CONTACT NAME: **EMAIL:**

SURVEY RICK GARD RGARD@TB-ENGR.COM

TALIAFERRO & BROWNE, INC.

COMPANY: ROLE: CONTACT NAME: **EMAIL:**

PRIORITY ENGINEERS, INC. TRAFFIC ENGINEER KRISTIN SKINNER KRISTIN.SKINNER.PE@GMAIL.COM

DRAWING NO. **COVER SHEET**





1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116 P 816-756-0444 F 816-756-1763

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024

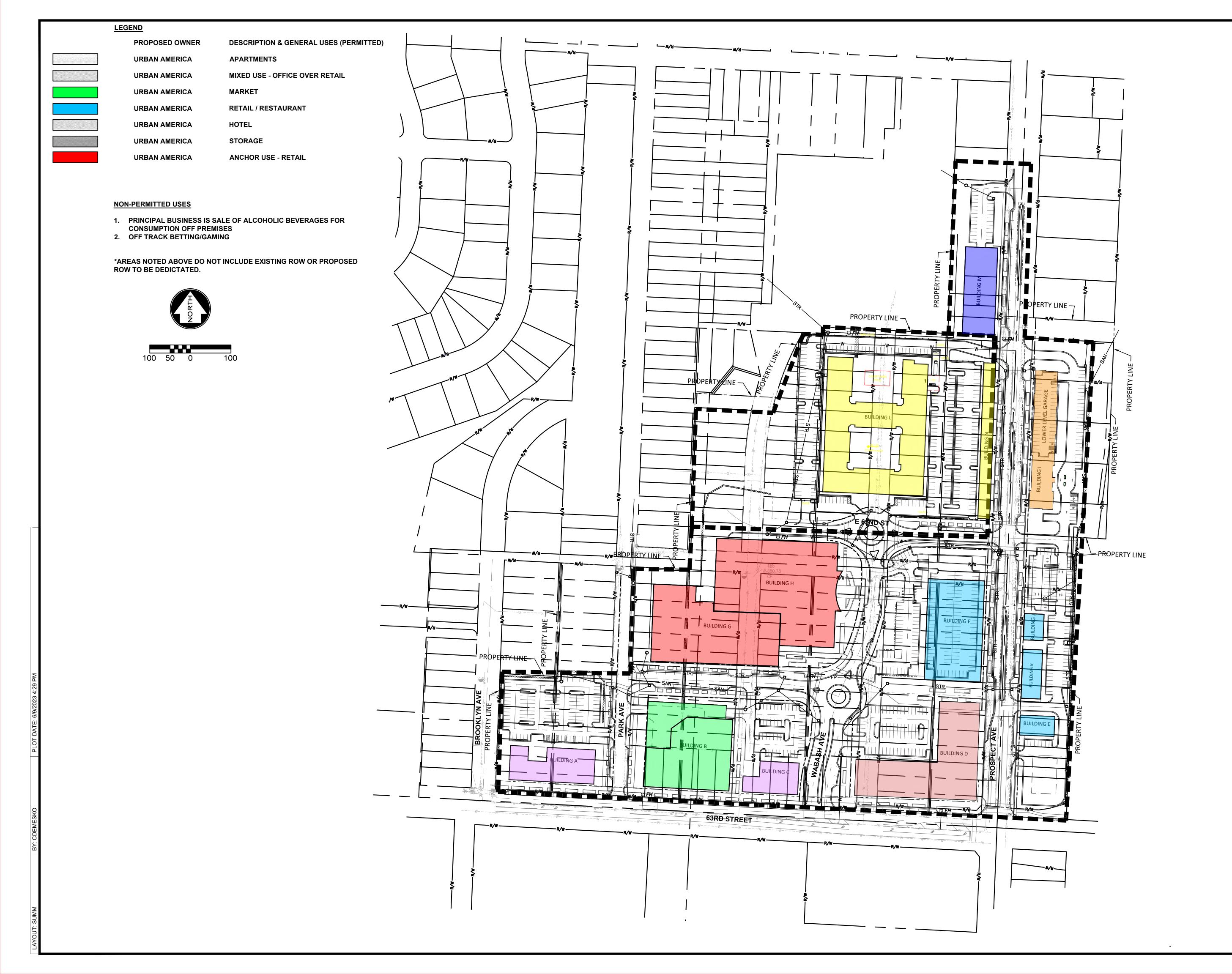
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PROJECT INFO

190438-000

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DRAWING NO. GENERAL LAYOUT C002





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REVISIONS

PROJECT INFO 190438-000

ENGINEER DRAWN BY CHECKED BY

AB BK

AB BK

ACKSON COUNTY, MISSOURI

REZONE & PRELIMINI

DRAWING NO.
PROJECT SUMMARY PLAN



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REVISIONS

PROJECT INFO 190438-000

ENGINEER DRAWN BY CHECKED BY

COUNTY, JACKSON

DRAWING NO.
PRE-DEVELOPMENT CONDITIONS C004

PRELIMINARY PLAT OF SOUTHPOINTE

CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI SW 1/4 SEC. 3 & NÉ 1/4 SEC. 4, TWP 48, RG 33

PROJECT BOUNDARY LEGAL DESCRIPTION

ALL THAT PART OF THE NORTHWEST QUARTER OF SECTION 3 AND NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 48, RANGE 33, INCLUDING ALL THAT PART OF LOT 1, SUMMERS WHARF, LOTS 1 THRU 6. INCLUSIVE, AND LOTS 18 THRU 105, INCLUSIVE, BEACHWOOD, LOTS 1 THRU 25, INCLUSIVE, EASTLAKE ADDITION, LOTS 1 THRU 22, INCLUSIVE, MILLERS ADDITION, LOTS 69 THRU 73, INCLUSIVE, BEAUFORT AND LOTS 1 THRU 15, INCLUSIVE, JOST PLAZA, ALL IN KANSAS CITY, JACKSON COUNTY, MISSOURI, TOGETHER WITH THE RIGHTS-OF-WAYS OF PROSPECT AVENUE, WABASH AVENUE, OLIVE STREET, PARK AVENUE. E. 61ST STREET AND E. 62ND STREET. ALL DESCRIBED AS FOLLOWS:

POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF E. 63RD STREET, CENTERLINE THEREOF; THENCE N86°58'41"W (PLAT: N86°49'02"W), ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET AND ITS WESTERLY PROLONGATION, 50 FEET NORTH OF AND PARALLEL EAST LINE OF SAID LOT 40, 10.00 FEET TO THE NORTH RIGHT-OF-WAY LINE SAID E. 63RD STREET, 30.00 FEET NORTH OF THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 4: THENCE N86°58'41"W, ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET AND ITS WESTERLY LOT 99, 5.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT OF LAND; THENCE N86°58'41"W PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET, 5.00 FEET TO THE WEST LINE SOUTH RIGHT-OF-WAY LINE OF E. 62ND STREET; THENCE S86°58'41"E, ALONG SAID SOUTH 51.15 FEET TO THE EAST RIGHT-OF-WAY LINE OF SAID OLIVE STREET, SAID POINT BEING THE SOUTHWEST CORNER OF LOT 3 IN SAID EASTLAKE ADDITION; THENCE IN A NORTHERLY DIRECTION, ALONG THE EAST RIGHT-OF-WAY LINE OF SAID OLIVE STREET, ALONG A CURVE TO THE RIGHT WITH AN INITIAL TANGENT BEARING OF N15°36'49"E, HAVING A RADIUS OF 700.00 FEET THROUGH A CENTRAL ANGLE OF 014°13'02", AN ARC DISTANCE OF 173.70 FEET (PLAT: 172.64 FEET) TO THE NORTHWEST CORNER OF LOT 1 IN SAID EASTLAKE ADDITION: THENCE S87°28'08"E. ALONG THE NORTH LINE OF SAID LOT, 49.50 FEET (PLAT: 50 FEET) TO THE NORTHEAST CORNER THEREOF, SAID POINT BEING ON THE LOT, 16.45 FEET TO THE NORTHWEST CORNER THEREOF; THENCE S86°58'41"E, ALONG THE NORTH LINE OF SAID LOT, 128.97 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF WABASH AVENUE; THENCE CONTINUING S86°58'41E, 50.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF SAID WABASH AVENUE, SAID POINT BEING THE NORTHWEST CORNER OF LOT 1 IN SAID MILLERS ADDITION: THENCE S86°58'41"E, ALONG THE NORTH LINE OF SAID LOT, 128.97 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT BEING 169 FEET WEST OF THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE N02°15'37"E, 169 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID NORTHEAST QUARTER, 380.84 FEET TO THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED BY DOCUMENT NO. 1993-K-1106908; THENCE S87°28'09"E, ALONG THE NORTH LINE OF SAID TRACT OF LAND, 129.00 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF PROSPECT AVENUE; THENCE S02°15'37"W, ALONG SAID WEST RIGHT-OF-WAY LINE, 331.87 FEET TO THE WESTERLY PROLONGATION OF THE NORTH RIGHT-OF-WAY LINE OF E. 61ST STREET: THENCE S86°43'02"E. ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID E. 61ST STREET, AND ITS WESTERLY PROLONGATION THEREOF, 280.01 FEET TO THE SOUTHEAST CORNER OF LOT 74 IN SAID BEAUFORT, BEING THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED BY EXHIBIT E40350 IN DOCUMENT NO. 2006-E-0030540, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF MISSOURI ROUTE 71; THENCE ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI ROUTE 71. THE FOLLOWING COURSES AND DISTANCES: S02°15'37"W. 150.00 FEET TO THE SOUTHEAST CORNER OF LOT 73 IN SAID BEAUFORT, BEING THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED BY EXHIBIT E40351 IN SAID DOCUMENT NO. 2006-E-0030540, SAID POINT BEING 211.58 FEET RIGHT OF CENTERLINE STA. 355+55.67; THENCE S02°15'37"W, 150.00 FEET TO A POINT 212.42 FEET RIGHT OF CENTERLINE STA. 357+07.08; THENCE S07°09'08"W, 234.50 FEET TO A POINT 232.19 FEET RIGHT OF CENTERLINE STA. 359+41.67, SAID POINT BEING ON THE SOUTH LINE OF LOT 69 IN SAID BEAUFORT; THENCE N86°43'02"W, ALONG THE SOUTH LINE OF SAID LOT 69 AND CONTINUING ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI ROUTE 71, 50.00 FEET TO THE NORTHEAST CORNER OF THE WEST 10 FEET OF LOT 28 IN SAID JOST PLAZA; THENCE S02°15'37"W, 656.21 FEET TO THE NORTHEAST CORNER OF A TRACT OF LAND FOR SAID MISSOURI ROUTE 71 RIGHT-OF-WAY BY DOCUMENT NO. 1990-K-0914472; THENCE ALONG THE NORTH LINE OF SAID TRACT OF LAND, BEING THE WESTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI ROUTE 71, THE FOLLOWING COURSES AND DISTANCES: S74°14'22"W (DEED: N74°08'08"E), 45.75 FEET; THENCE S82°04'12"W (DEED: N81°57'58"E), 25.50 FEET: THENCE N86°37'12"W (DEED: S86°43'26"E), 61.39 FEET TO THE EAST RIGHT-OF-WAY LINE OF PROSPECT AVENUE; THENCE LEAVING THE WESTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI ROUTE 71, N83°50'28"W, 80.19 FEET TO THE NORTHERLY MOST SOUTHEAST CORNER OF SAID LOT 1, SUMMERS WHARF, SAID POINT BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID PROSPECT AVENUE WITH THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET; THENCE S43°01'57"W (PLAT: S43°51'23"W), ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID E. 63RD STREET, 18.54 FEET (PLAT: 18.46 FEET) TO THE POINT OF BEGINNING, CONTAINING 31.897 ACRES, MORE OR LESS.

PRIVATE OPEN SPACE:

TOTAL

PROPOSED PARKLANDS A-F CONTAIN 6 PRIVATE OPEN SPACE ACRES WHICH ARE HEREBY RESERVED AT THE ELECTION OF THE DEVELOPER IN LIEU OF THE REQUIRED PARKLAND DEDICATION FOR 250 MULTI-FAMILY UNITS PURSUANT TO SECTION 88-408-E OF THE ZONING AND DEVELOPMENT CODE. A TOTAL OF 3.00 ACRES ARE REQUIRED TO SATISFY THE PARKLAND REQUEST FOR THIS PRELIMINARY PLAT (250 UNITS X 2.0 PEOPLE /UNIT X 0.006 ACRES/PERSON = 3.00 ACRES).

THE AREA NORTH OF THE PROJECT

PARKLAND AREA WAS AGREED UPON

BY SEPARATE LICENSE AGREEMENT

BETWEEN URBAN AMERICA AND THE

TIF COMMISSION OF KANSAS CITY.

BOUNDARY BEING UTILIZED AS

PARKLAND AREA PLAY AREA 42,813 S.F. / 0.98 ACRES

49.017 S.F. / 1.13 ACRES 10,735 S.F. / 0.25 ACRES PLAY AREA **SWIMMING POOL** 9,167 S.F. / 0.21 ACRES PLAY AREA 38,539 S.F. / 0.88 ACRES

150,271 S.F. / 3.45 ACRES



P 816-756-0444 F 816-756-1763

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any alleged errors, omissions, inconsistences, ambiguities, or conflicts contained within

the Plans and Specifications.

MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024

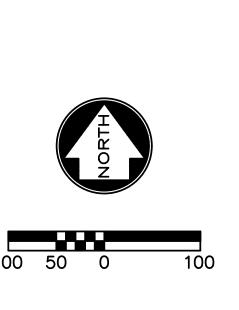
REVISIONS

PROJECT INFO 190438-000

DRAWN BY CHECKED B

OIN.

DRAWING NO. PRELIMINARY PLAT



129.00'

14' R/W

DEDICATION

· 194.45'· · · ·

14' R/W

DEDICATION -

281.37DETENTION TRACT

DEDICATION

OF BEGINNING

S43°01'57"W

| 295.91

BMP DETENTION TRACT

10.00'

R=62.00'

586°43'02"E 194.00'

N86°45'43"W

S2°15'38"W

BMP DETENTION TRACT

b LOT 13

123.98

. 123.98'

LOT 11

DEDICATION

45.75'

N86°37¹12"W

61.39'

N83°50'28"W

S82°04'12"W

PARKLAND A

42,813 SQ.FT.

0.98 ACRES

\$86°58f41"E 307.95' S86°58'41"

PARKLANDD

2,255 SQ.F1

0.05 ACRES

62ND STREET

R=43.00' 🔀

197.94'

N1°56'58"E

ัต*ғн N86°58'41''W*

885.65'

S86°58'41"E

PARKLAND E

38,539 SQ.FT.

0.88 ACRES

RMP DETENTION TRACT

_ _ _ _ _ _

N86°58'41"W

137.64

____16.81'-

10,735 SQ.FT.

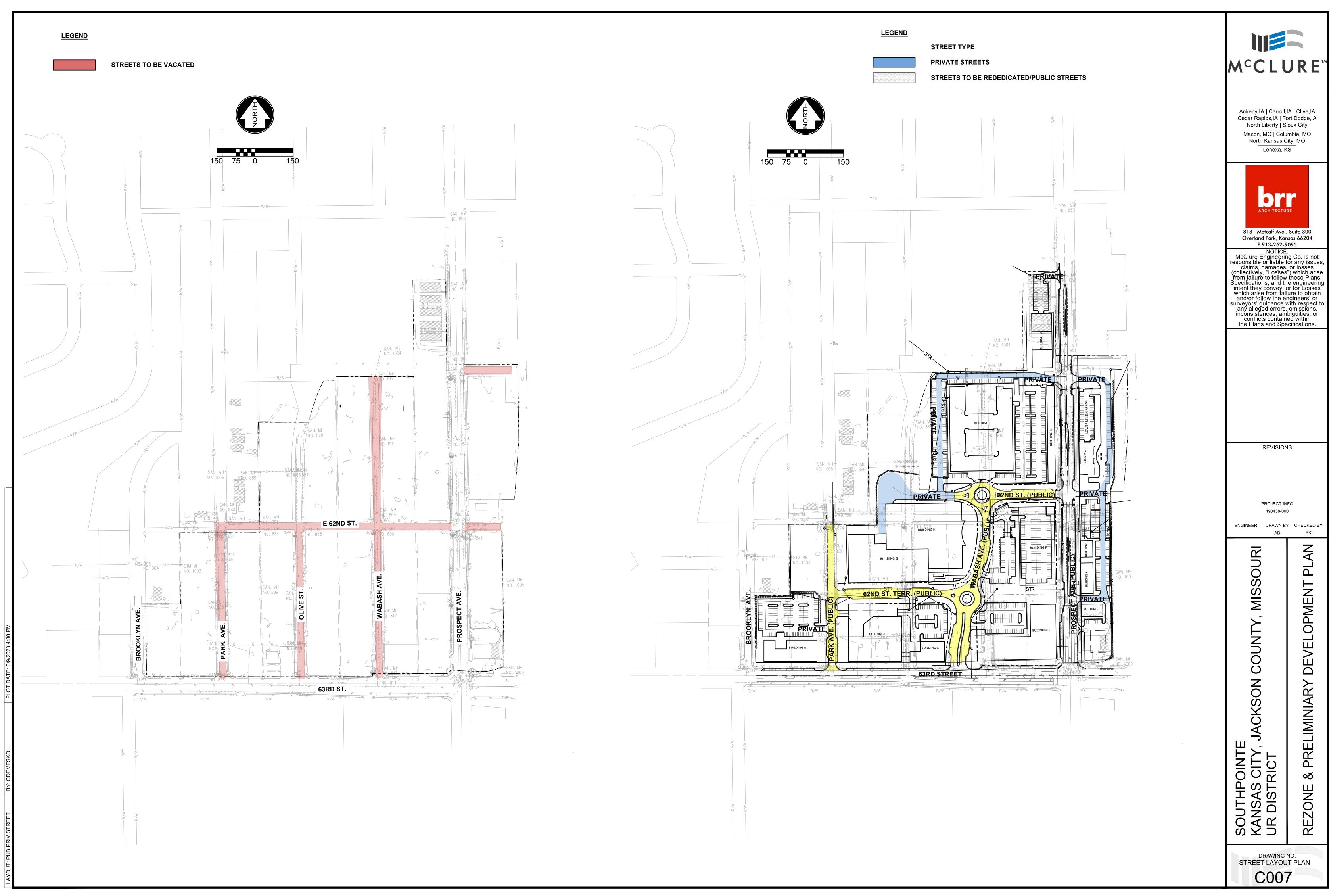
LOT 8

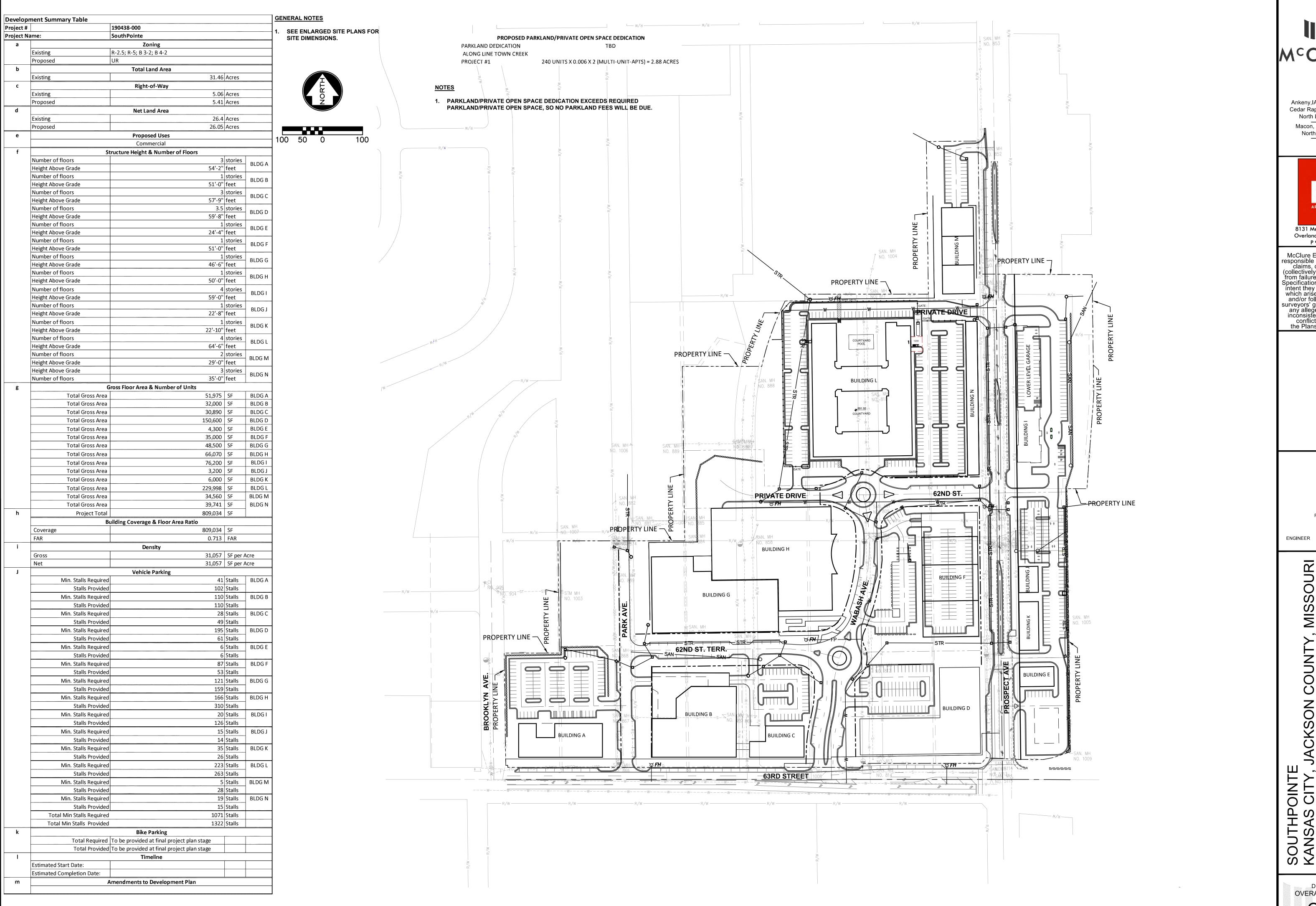
BMP DETENTION TRACT

S. L. NE 1/4 SEC. 4-48-33

A 916.56

0.25 ACRES







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PROJECT INFO 190438-000

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DRAWING NO. OVERALL SITE PLAN C100



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NOTICE:

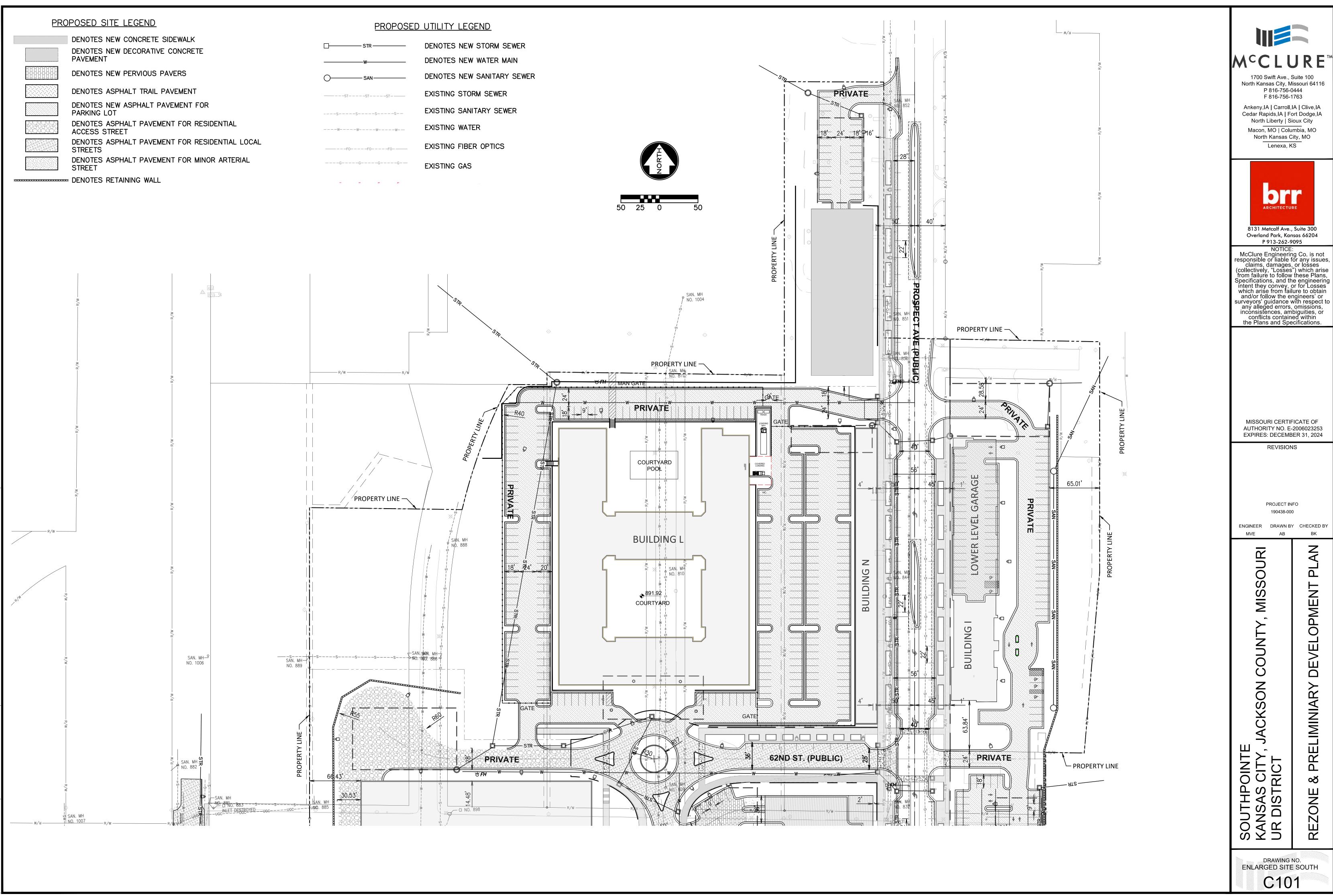
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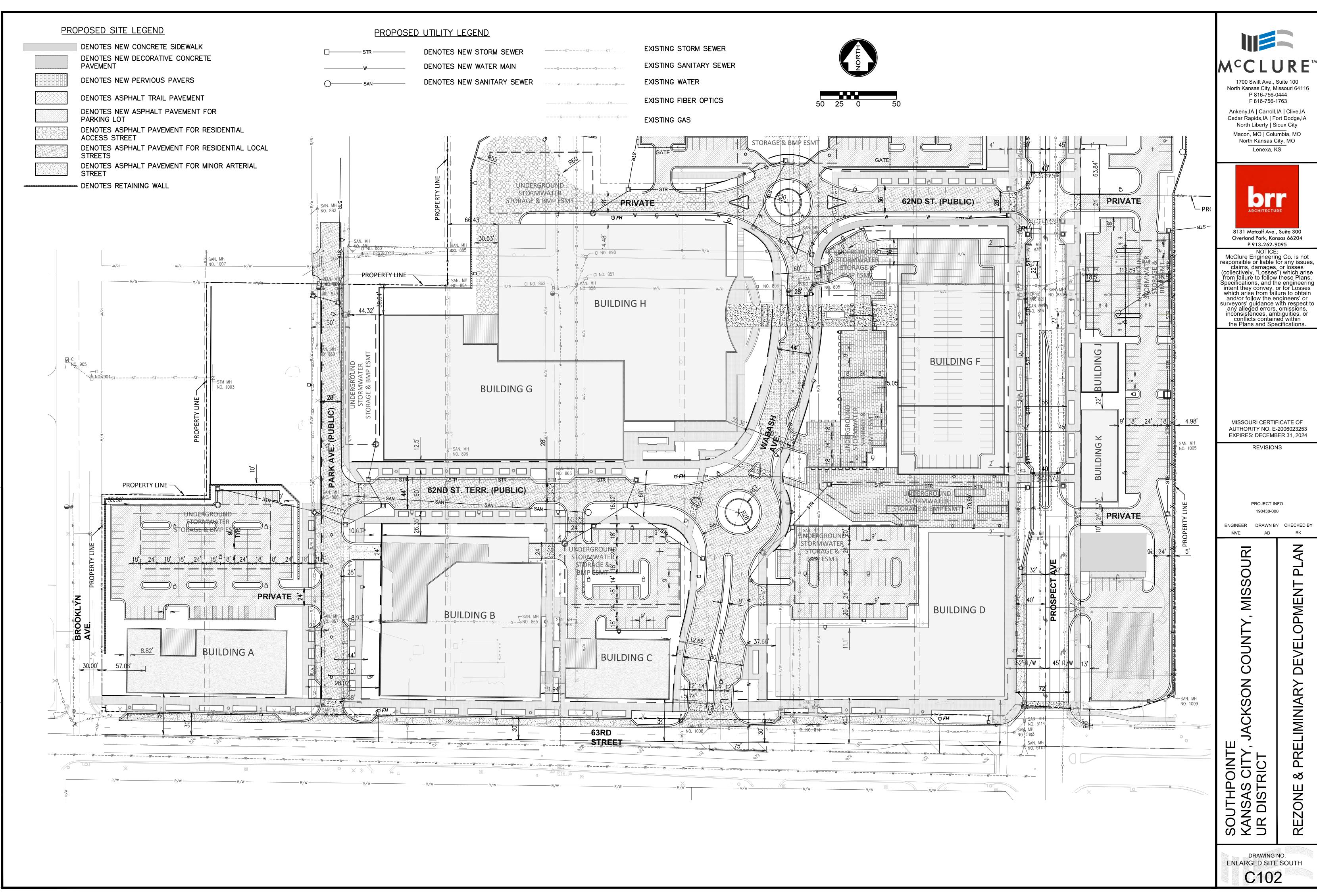
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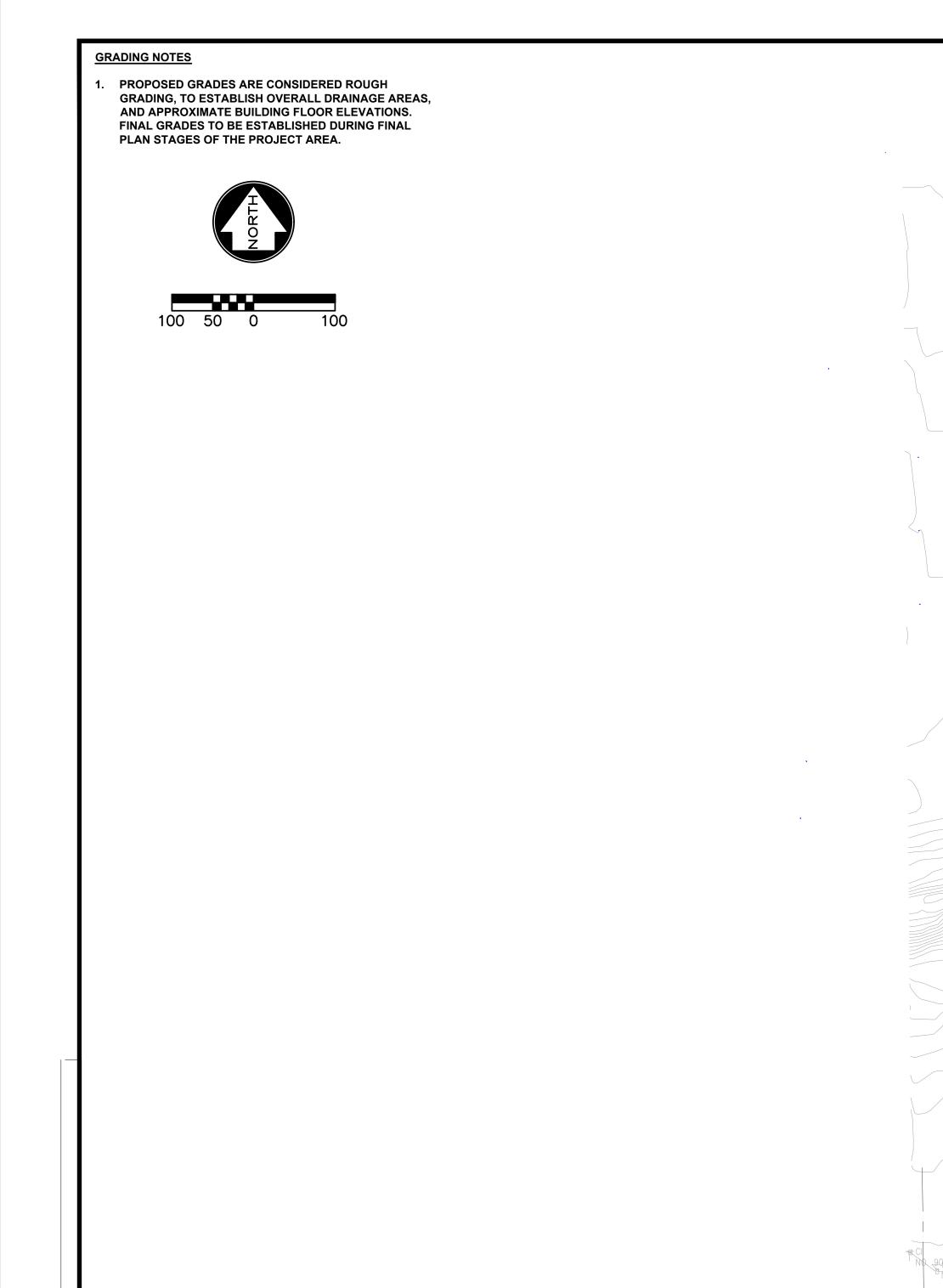
PROJECT INFO 190438-000

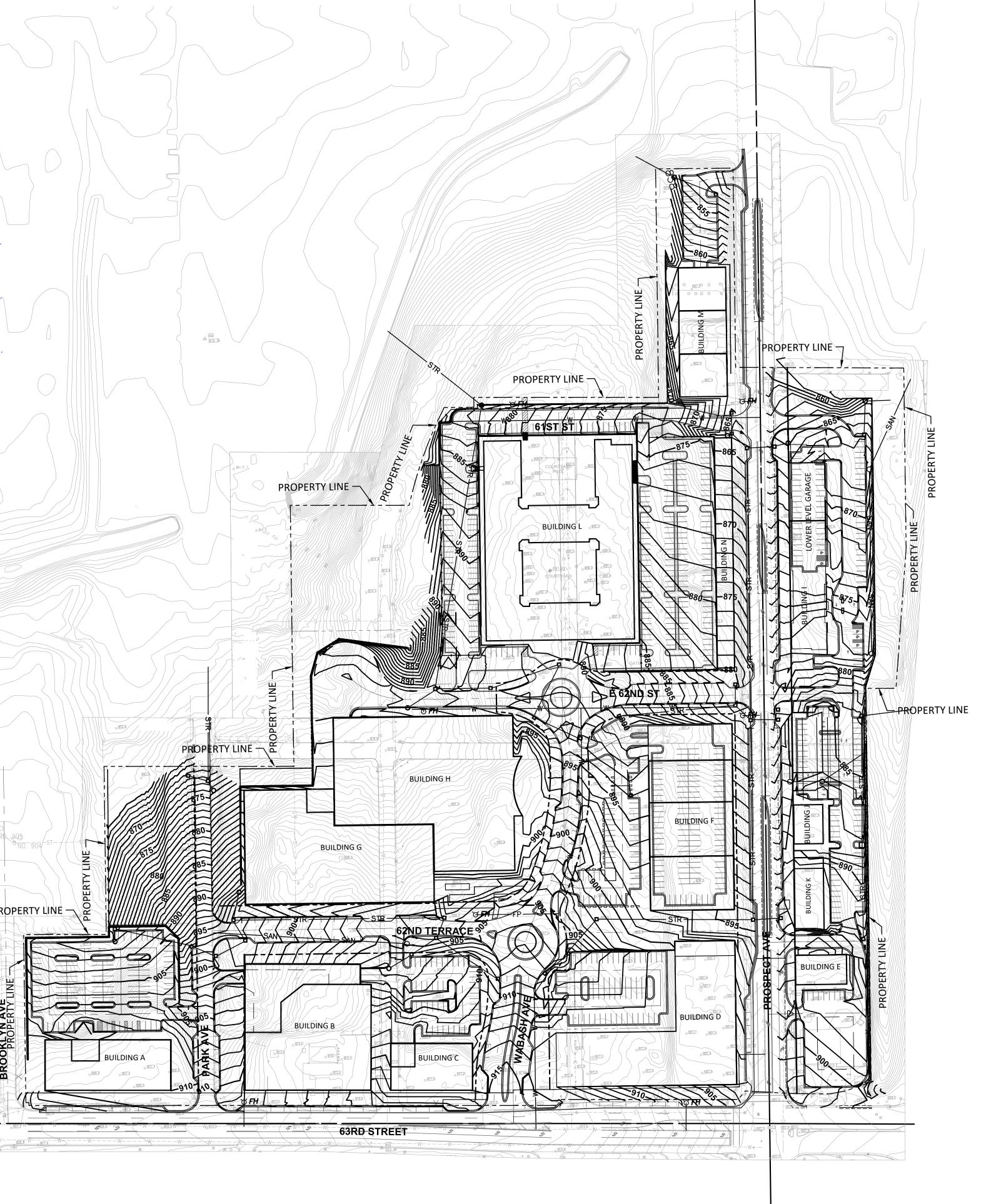
ENGINEER DRAWN BY CHECKED BY

DRAWING NO. PHASING PLAN C006











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NOTICE:

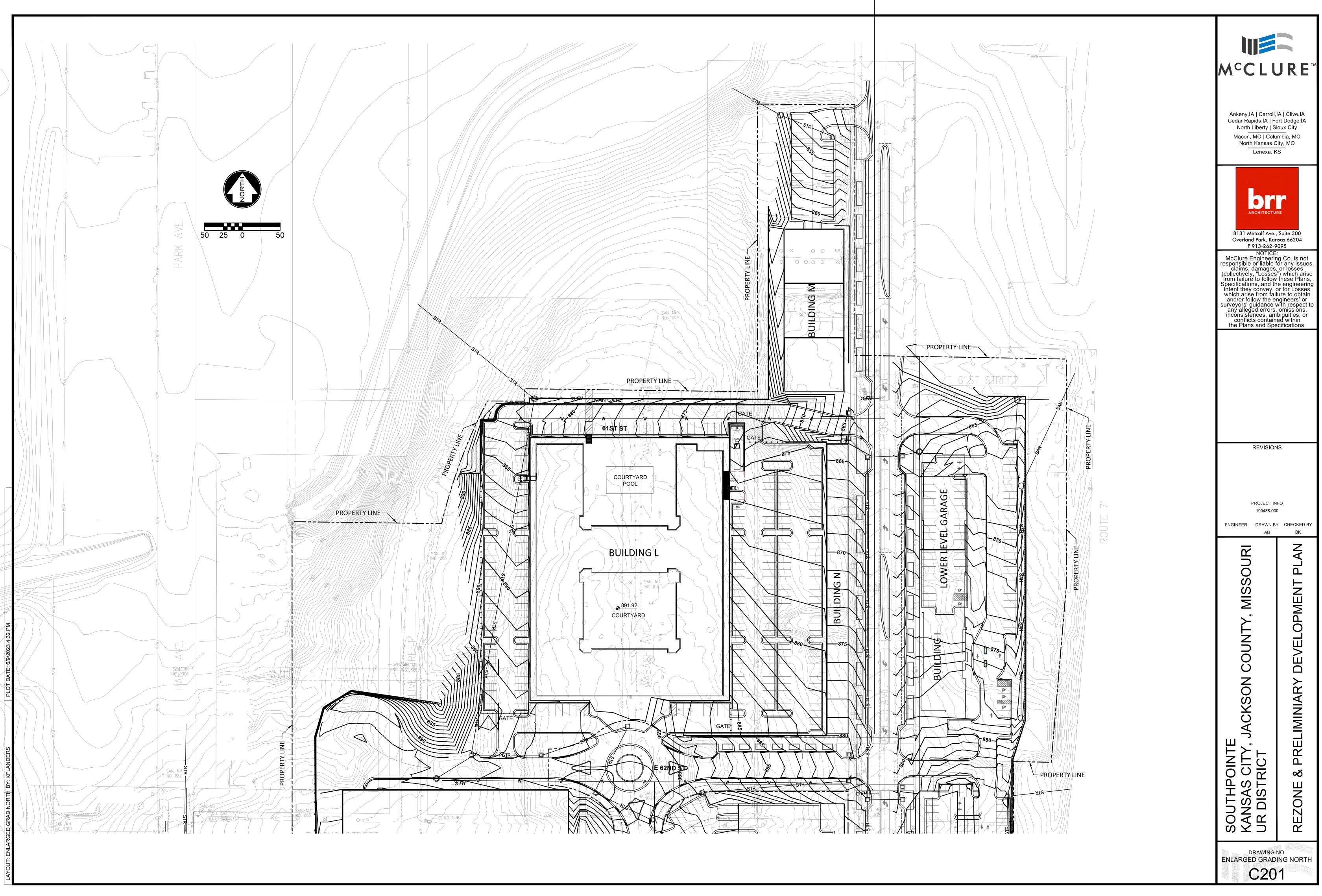
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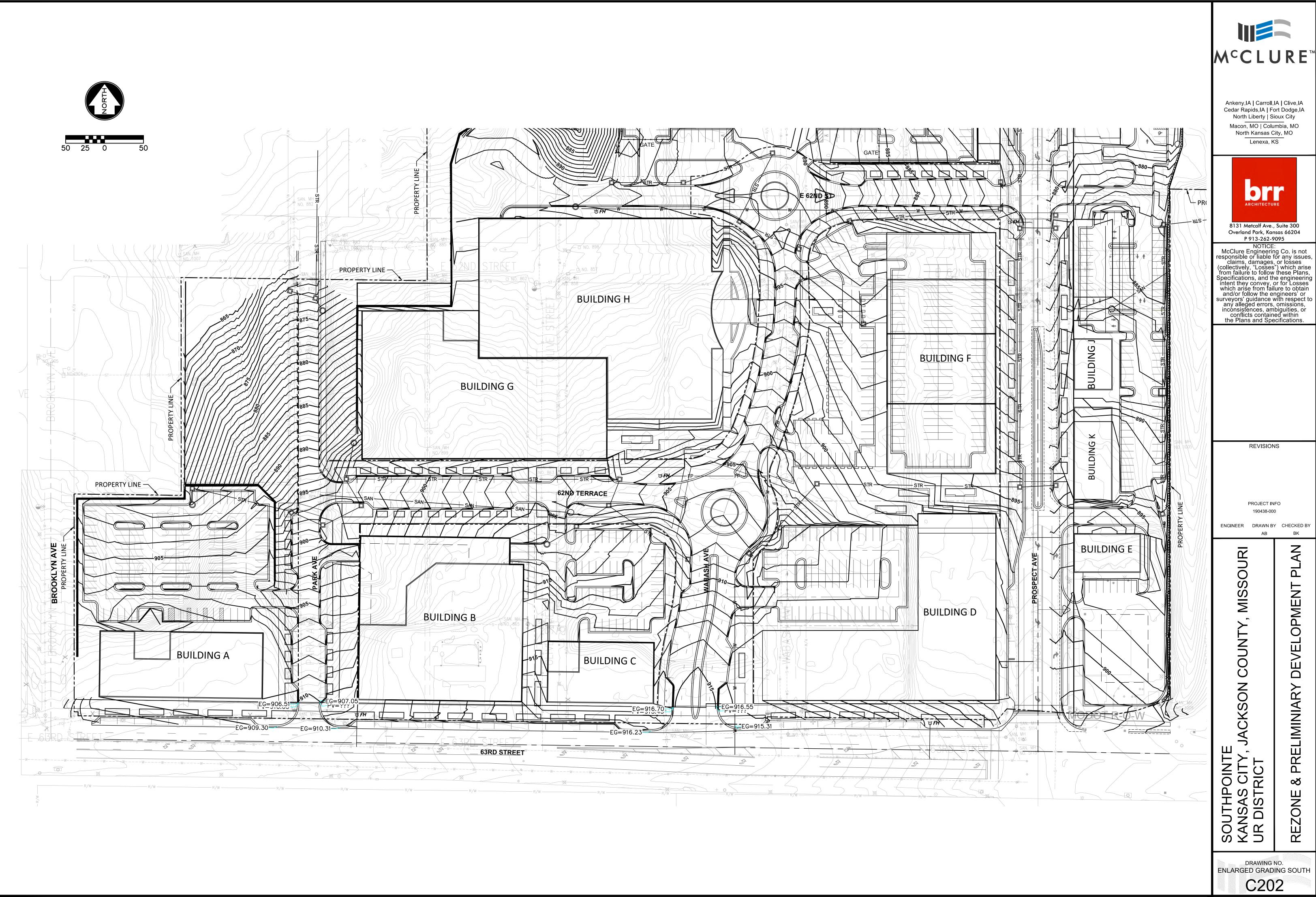
REVISIONS

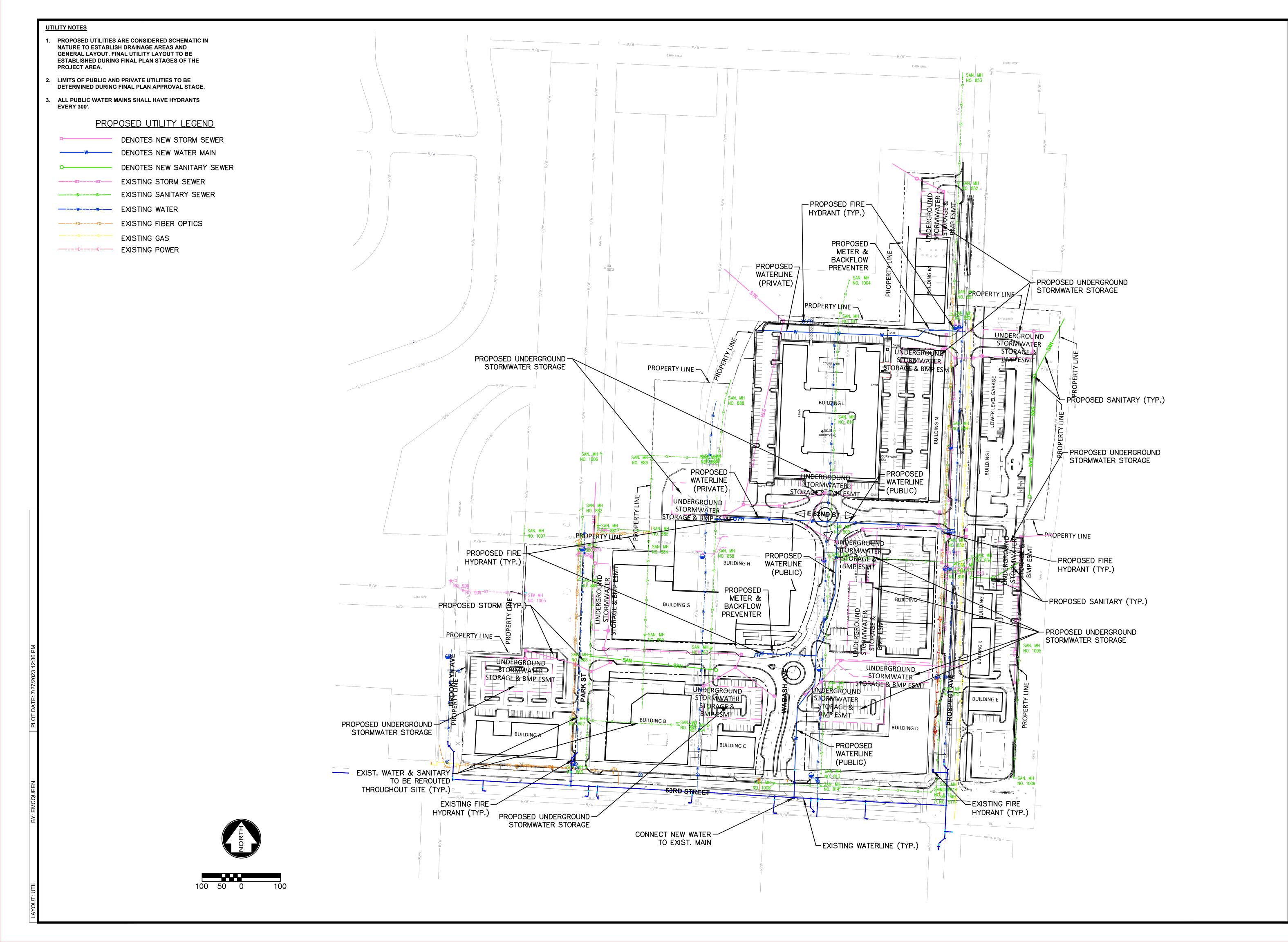
ENGINEER DRAWN BY CHECKED B

DRAWING NO.
OVERALL GRADING PLAN

C200









1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116 P 816-756-0444 F 816-756-1763

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8131 Metcalf Ave., Suite 300 Overland Park, Kansas 66204 P 913-262-9095

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024

REVISIONS

PROJECT INFO 190438-000

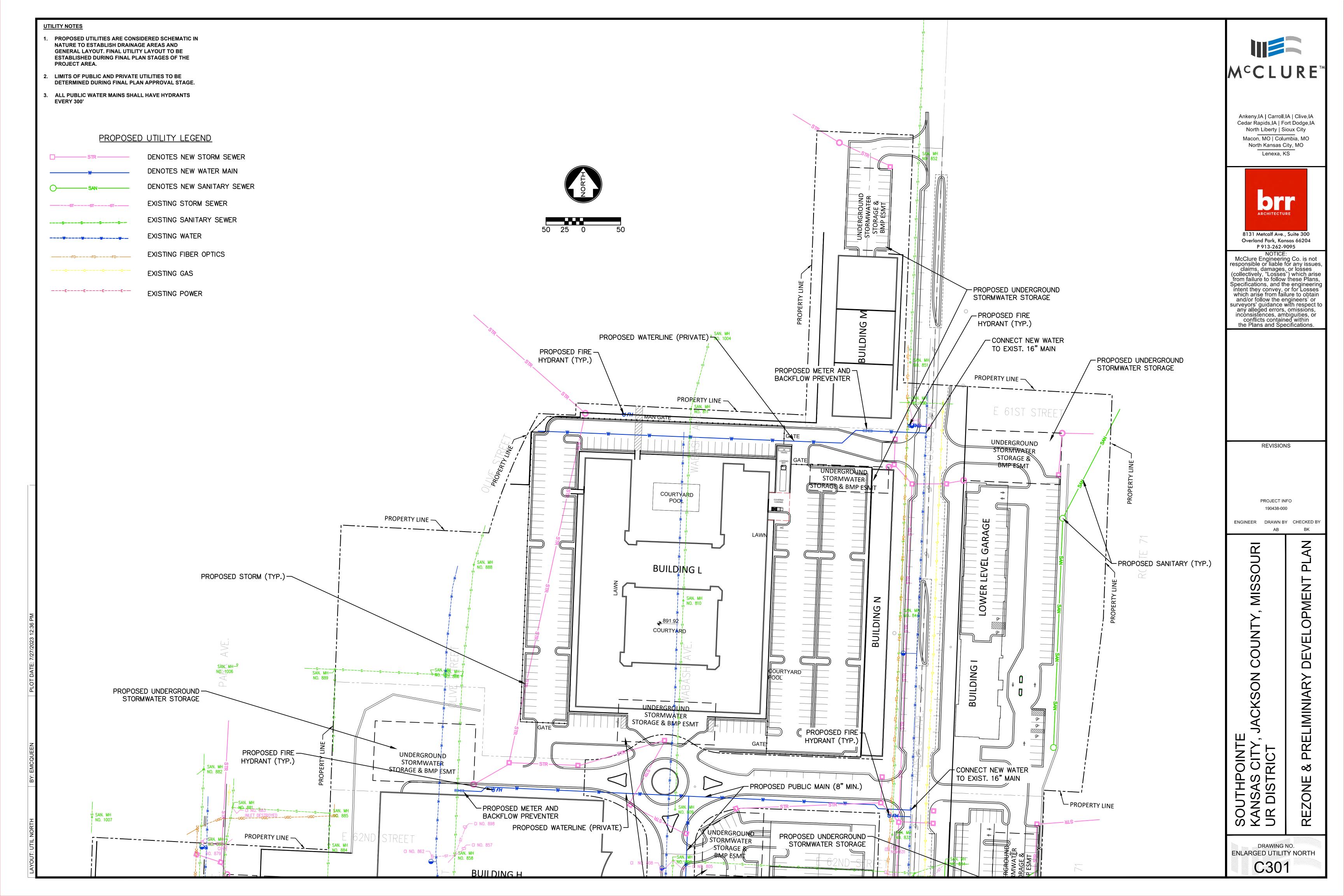
ENGINEER DRAWN BY CHECKED BY

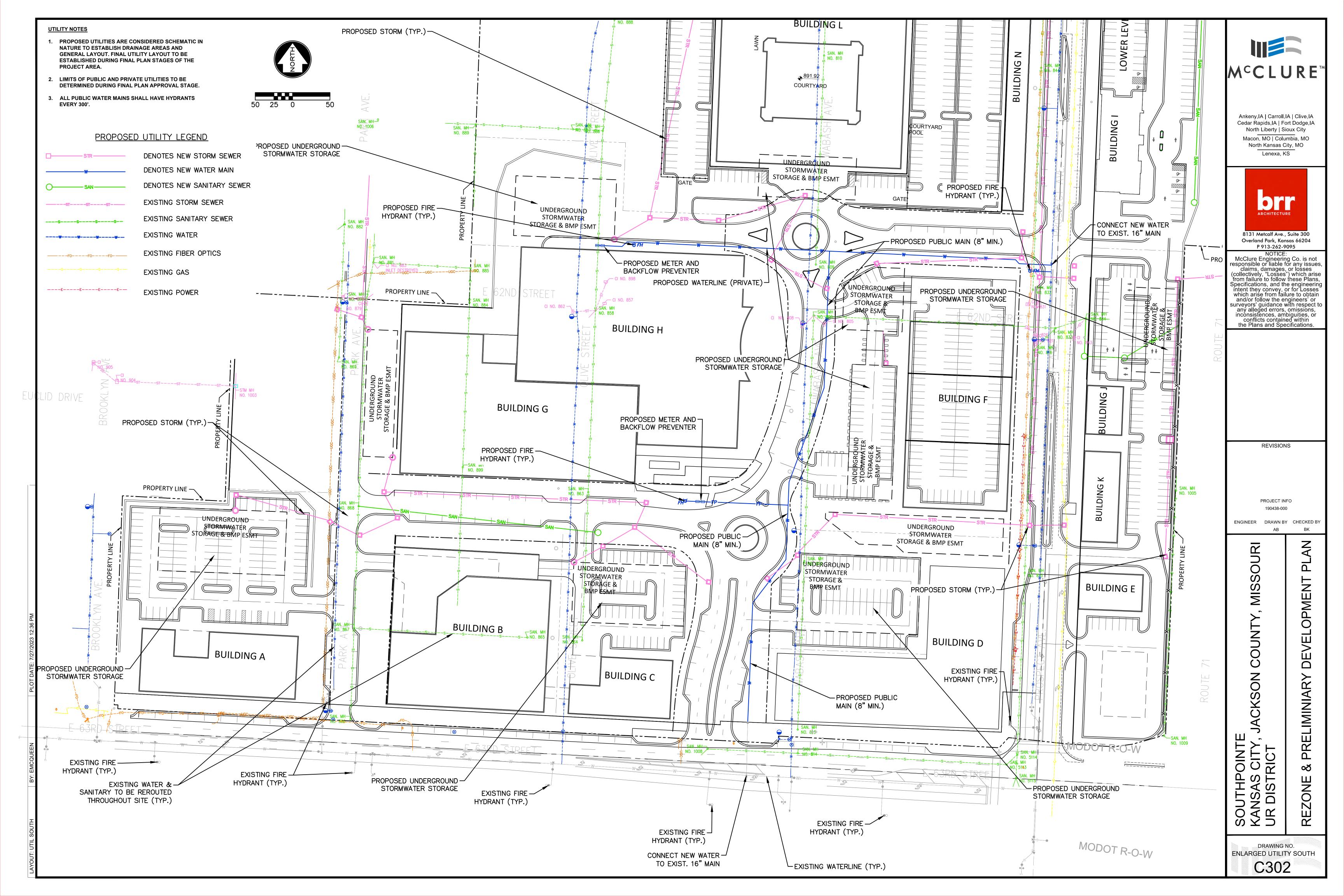
UR

SOUTHPOINTE KANSAS CITY, J UR DISTRICT

DRAWING NO. OVERALL UTILITY PLAN

C300









1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116 P 816-756-0444 F 816-756-1763

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024

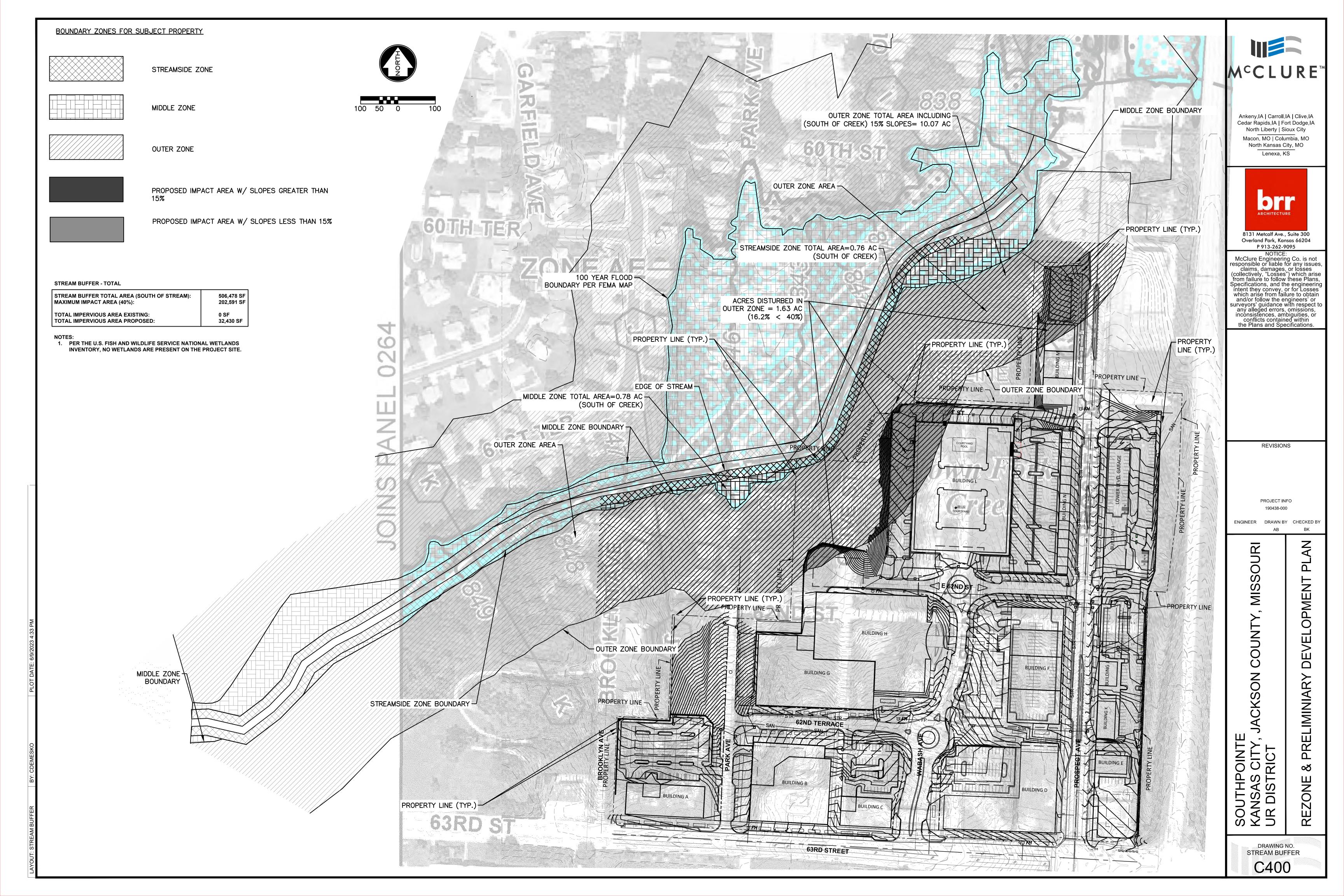
REVISIONS

PROJECT INFO 190438-000

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OPMEN-**PRELIMINIAR**

DRAWING NO. VACATED UTILITY PLAN C303



LANDSCAPE REQUIREME			
PER CHAPTER 88-425 OF THE KANSAS	CITY, MO ZONING AND I	DEVELOPMENT CODE:	
STREET TREE REQUIREMENT (88-425-03	3) -		
PUBLIC STREET FRONTAGE	LENGTH	REQUIREMENT	PROVIDED
63RD STREET (NORTH SIDE)	1186 LF	ONE TREE PER 30 LF FRONTAGE (40 TREES)	40 NEW TREES
PROSPECT AVENUE (WEST SIDE)	1481 LF	ONE TREE PER 30 LF FRONTAGE (49 TREES)	49 NEW TREES
PROSPECT AVENUE (EAST SIDE)	1160 LF	ONE TREE PER 30 LF FRONTAGE (39 TREES)	39 NEW TREES
BROOKLYN AVENUE (EAST SIDE)	280 LF	ONE TREE PER 30 LF FRONTAGE (9 TREES)	9 NEW TREES
PARK AVENUE (WEST SIDE)	564 LF	ONE TREE PER 30 LF FRONTAGE (19 TREES)	19 NEW TREES
PARK AVENUE (EAST SIDE)	513 LF	ONE TREE PER 30 LF FRONTAGE (17 TREES)	17 NEW TREES
62ND TERRACE (NORTH SIDE)	457 LF	ONE TREE PER 30 LF FRONTAGE (15 TREES)	15 NEW TREES
62ND TERRACE (SOUTH SIDE)	382 LF	ONE TREE PER 30 LF FRONTAGE (13 TREES)	13 NEW TREES
WABASH AVE (WEST SIDE)	468 LF	ONE TREE PER 30 LF FRONTAGE (16 TREES)	16 NEW TREES
WABASH AVE (EAST SIDE)	592 LF	ONE TREE PER 30 LF FRONTAGE (20 TREES)	20 NEW TREES
62ND STREET (NORTH SIDE)	412 LF	ONE TREE PER 30 LF FRONTAGE (14 TREES)	14 NEW TREES
62ND STREET (SOUTH SIDE)	226 LF	ONE TREE PER 30 LF FRONTAGE (8 TREES)	8 NEW TREES
General Landscaping requiremen	ITS (88-425-04-D) -		
PROJECT AREA	SQUARE FOOTAGE	REQUIREMENT	PROVIDED
TOTAL DEVELOPMENT	418,567 SF	ONE TREE PER 5000 SF (84 TREES)	141 NEW TREES
MINIMUM INTERIOR LANDSCAPING AR	EA (88-425-05) -		
PARKING LOT LOCATION	LENGTH	REQUIREMENT	PROVIDED
PARKING EAST OF BUILDING "I"	467 LF	CONTINUOUS EVERGREEN SHRUBS, 3' HT. OR FENCE	132 NEW SHRUBS
Parking east of bldgs "E", "K", & "J"	614 LF	CONTINUOUS EVERGREEN SHRUBS, 3' HT. OR FENCE	FENCE
PARKING EAST OF BUILDING "L"	964 LF	CONTINUOUS EVERGREEN SHRUBS, 3' HT. OR FENCE	FENCE
MINIMUM INTERIOR LANDSCAPING AR	EA (88-425-06) -		
PARKING LOT LOCATION	STALL COUNT	REQUIREMENT	PROVIDED
BUILDING "A"	102 STALLS	ONE TREE PER 5 STALLS (21 TREES)	21 NEW TREES
BUILDING "C"	45 STALLS	ONE TREE PER 5 STALLS (9 TREES)	9 NEW TREES
BUILDING "D"	60 STALLS	ONE TREE PER 5 STALLS (12 TREES)	12 NEW TREES
BUILDING "F"	42 STALLS	ONE TREE PER 5 STALLS (8 TREES)	13 NEW TREES
BUILDING "I"	53 SURFACE STALLS	ONE TREE PER 5 STALLS (11 TREES)	16 NEW TREES
BUILDING "J"	14 STALLS	ONE TREE PER 5 STALLS (3 TREES)	3 NEW TREES
BUILDING "K"	26 STALLS	ONE TREE PER 5 STALLS (5 TREES)	5 NEW TREES
BUILDING "L"	263 STALLS	ONE TREE PER 5 STALLS (53 TREES)	53 NEW TREES
BUILDING "M"	28 STALLS	ONE TREE PER 5 STALLS (6 TREES)	6 NEW TREES
BUILDING "N"	15 STALLS	ONE TREE PER 5 STALLS (3 TREES)	3 NEW TREES

LANDSCAPE REQUIREMENTS

CONCEPT PLANT SCHEDULE

2" Caliper Acer miyabei `State Street` / Miyabei Maple Ginkgo biloba / Maidenhair Tree Ginkgo biloba `Princeton Sentry` / Princeton Sentry Ginkgo Quercus bicolor / Swamp White Oak Quercus imbricaria / Shingle Oak Tilia cordata 'Chancellor' / Chancellor Linden Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden

> ORNAMENTAL TREE 2" Caliper, 6` Height Acer griseum / Paperbark Maple Amelanchier x grandiflora `Autumn Brilliance` / `Autumn Brilliance` Serviceberry Malus x 'Royal Raindrops' / Royal Raindrops Crabapple

> EVERGREEN TREE 5`-6` Height Juniperus chinensis 'Keteleeri' / Keteleeri Chinese Juniper

Picea abies / Norway Spruce
Pinus flexilis `Vanderwolf`s Pyramid` / Vanderwolf`s Pyramid Pine Thuja plicata 'Green Giant' / Green Giant Arborvitae

COLUMNAR TREES Ginkgo biloba `Princeton Sentry` / Princeton Sentry Ginkgo Quercus robur x alba `Crimson Spire` / Crimson Spire Oak Zelkova serrata `Musashino` / Sawleaf Zelkova

132 **EVERGREEN SHRUBS** Buxus x 'Green Velvet' / Green Velvet Boxwood

Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper

PLANTING BEDS (1 TO 3 GALLON MATERIALS) 65,488 sf Perennial Materials spaced 18"-36" O.C. (typ.) Asclepias incarnata / Swamp Milkweed Buxus microphylla `Sprinter` / Sprinter Boxwood

170,296 sf

Cornus sericea `Artic Fire` / Artic Fire Dogwood Heuchera x 'Plum Pudding' / Coral Bells Ilex glabra `Shamrock` / Inkberry Juniperus horizontalis `Plumosa Compacta` / Creeping Juniper Liriope muscari 'Big Blue' / Big Blue Lilyturf Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac Rhus typhina `Tiger Eyes` / Tiger Eyes Sumac Rudbeckia fulgida `Goldstrum` / Coneflower Schizachyrium scoparium `Blaze` / Blaze Little Bluestem Sporobolus heterolepis / Prairie Dropseed

BIORETENTION AREA (1 GALLON MATERIALS) 35,032 sf

1" =100'

OVERALL LANDSCAPE PLAN



Ankeny, IA | Carroll, IA | Clive, IA Cedar Rapids, IA | Fort Dodge, IA North Liberty | Sioux City Macon, MO | Columbia, MO North Kansas City, MO Lenexa, KS



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PROJECT INFO 190438-000

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DRAWING NO. OVERALL LANDSCAPE PLAN

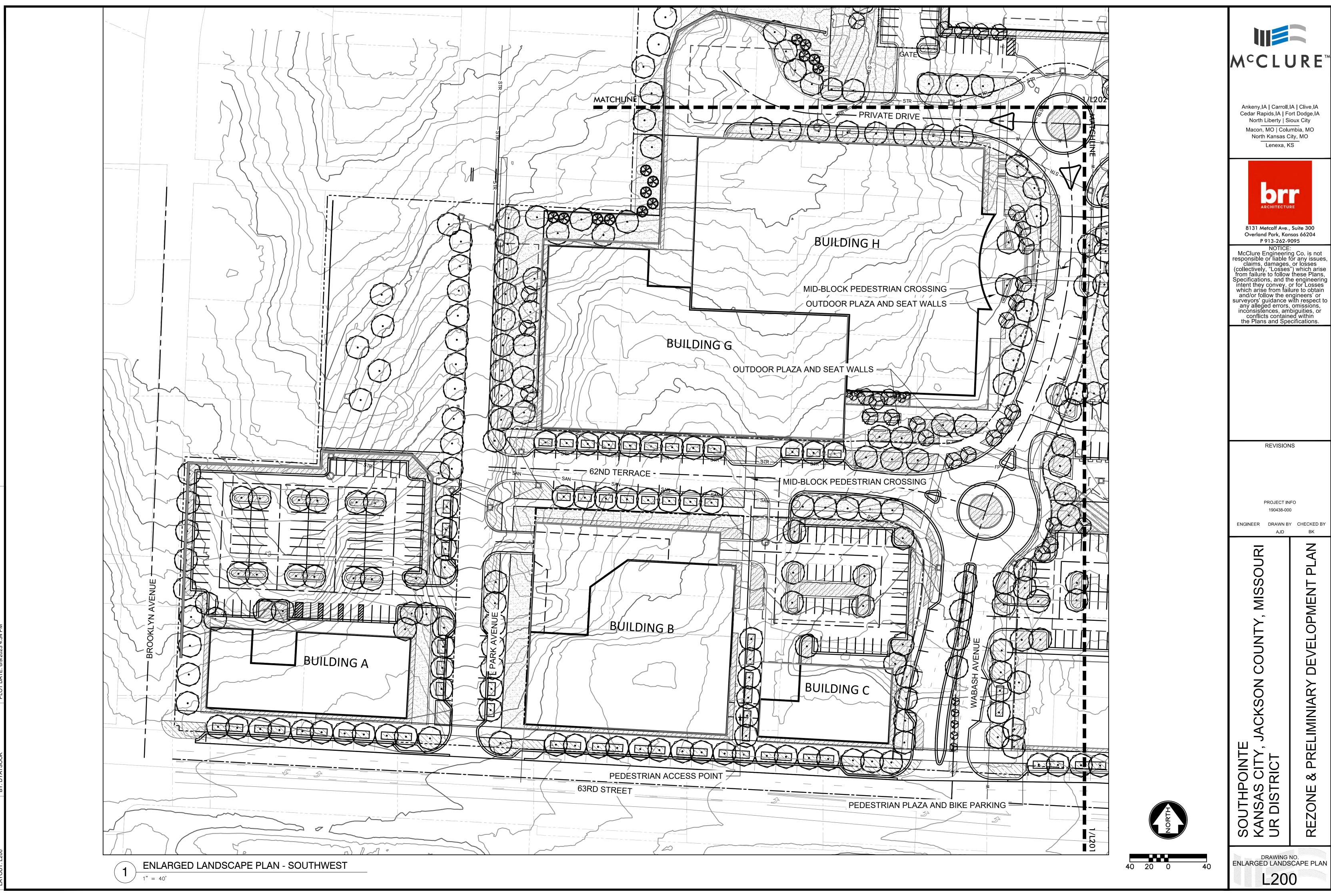
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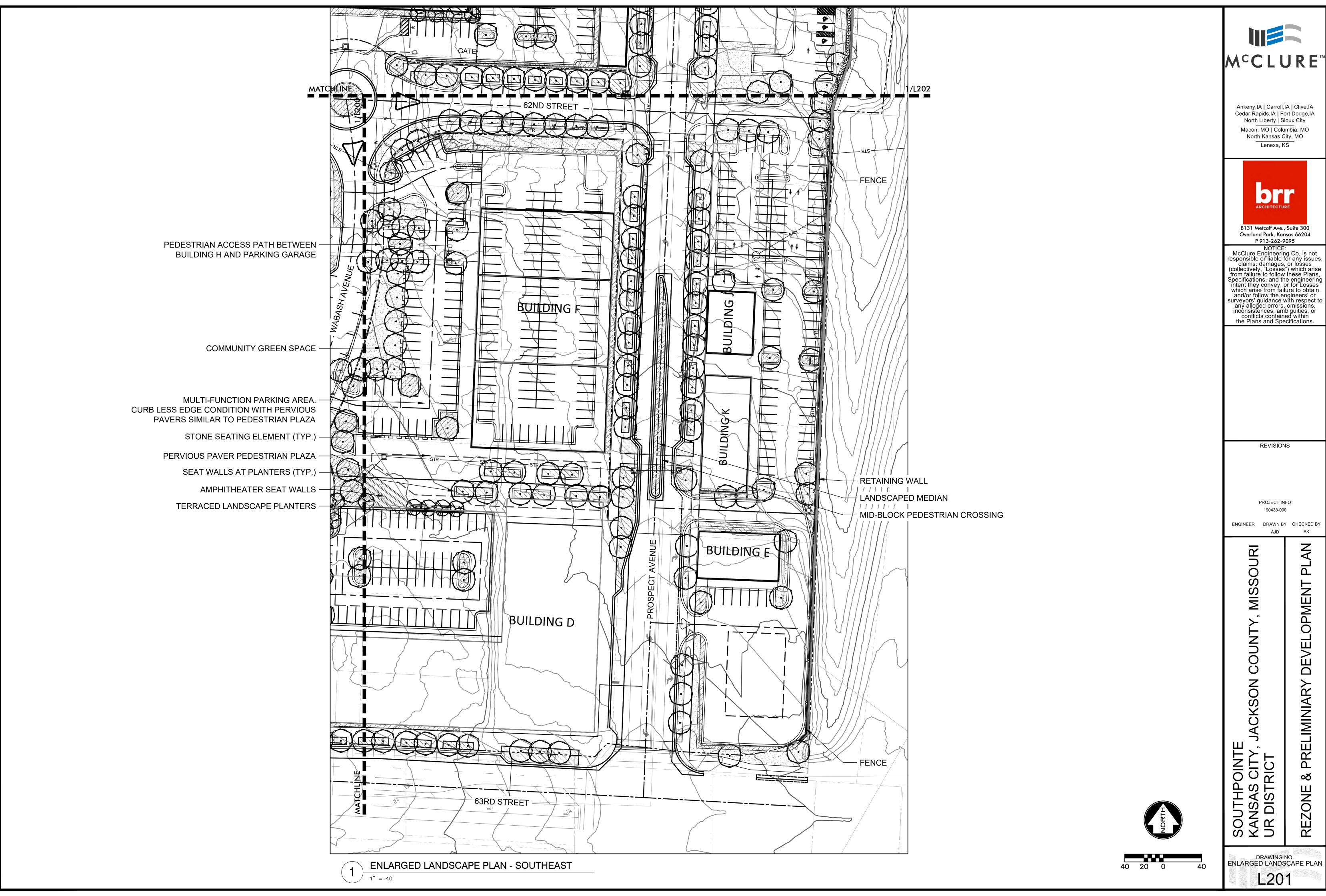


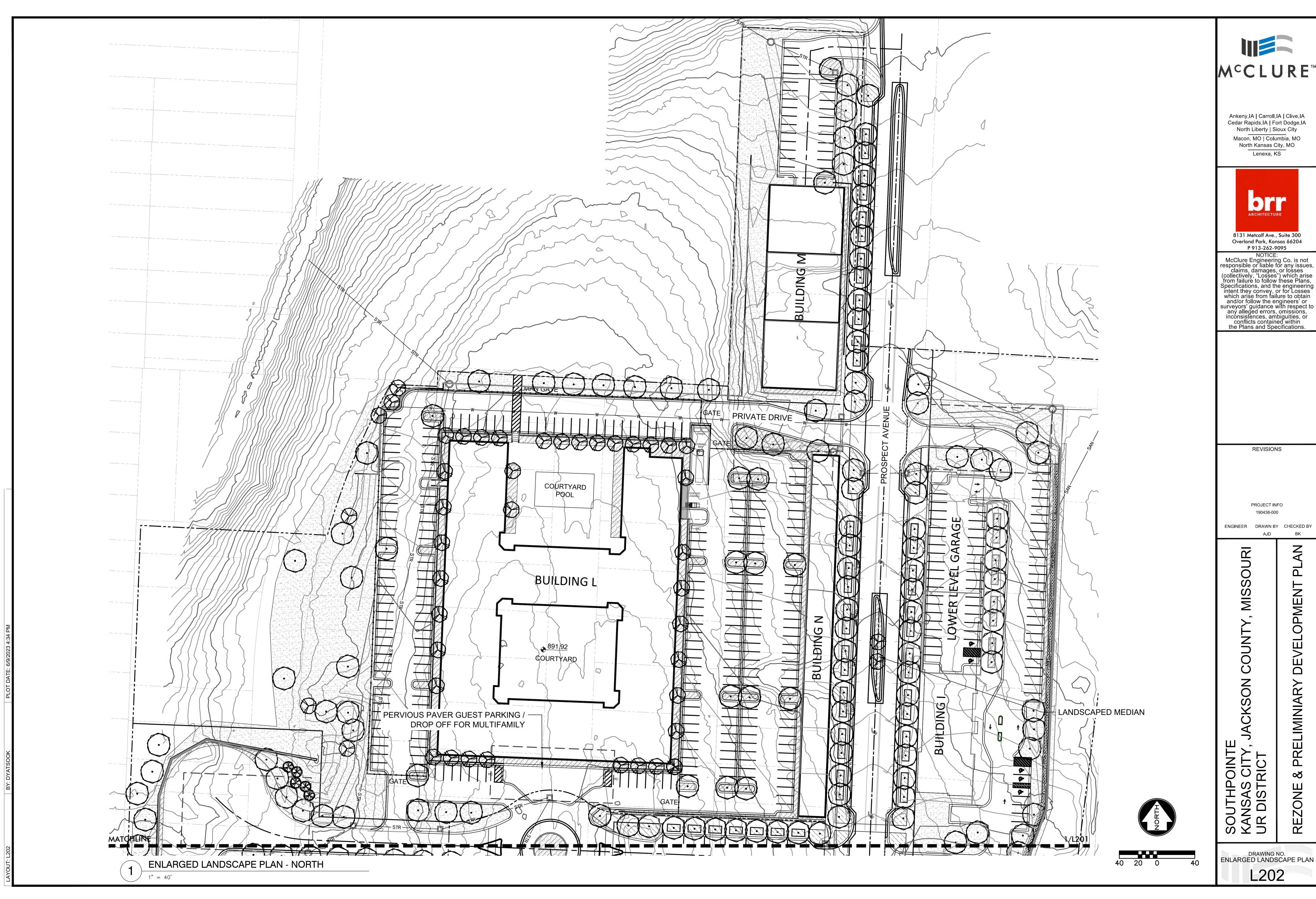
LANDSCAPE CONCEPT SCHEDULE

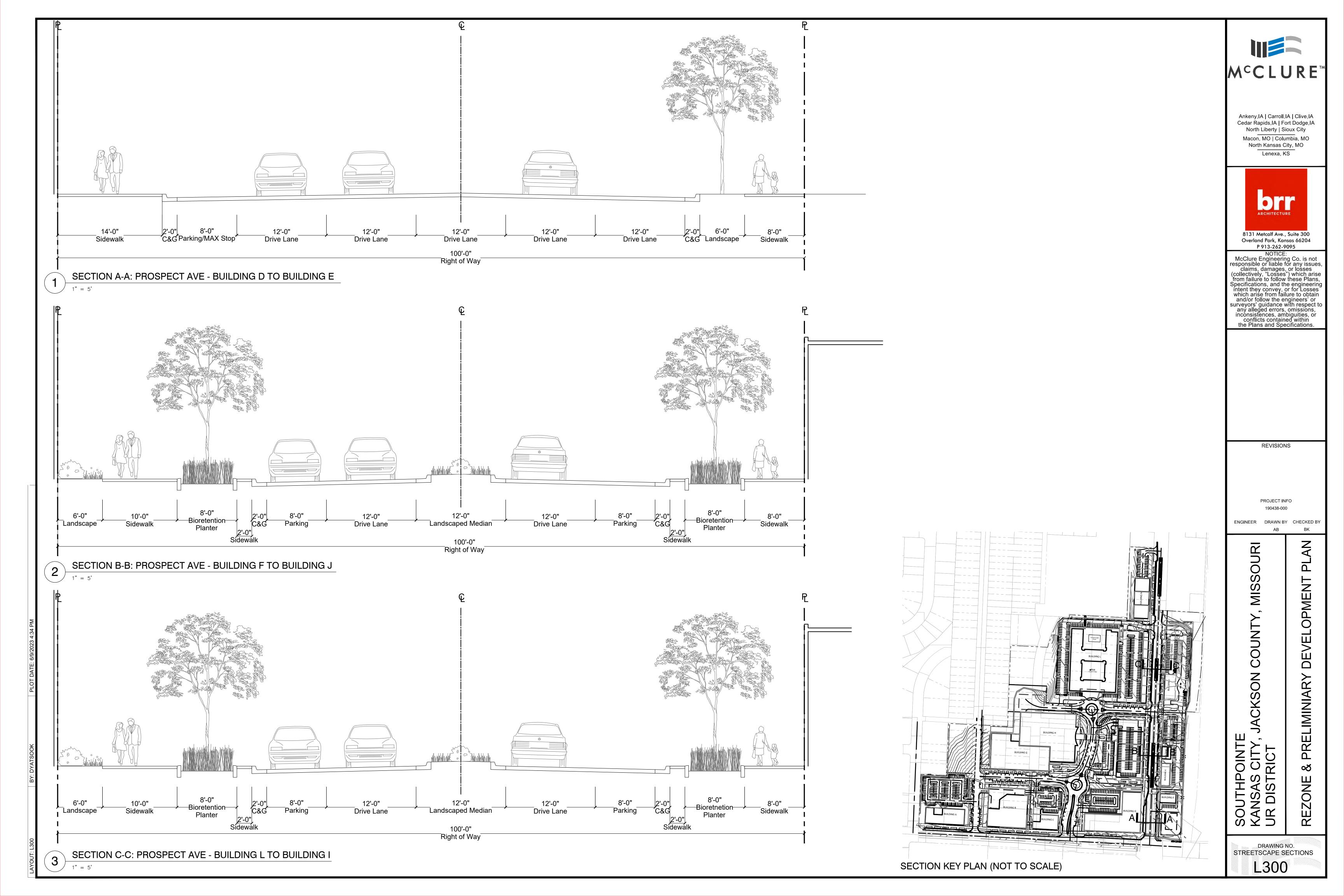
FESCUE SOD

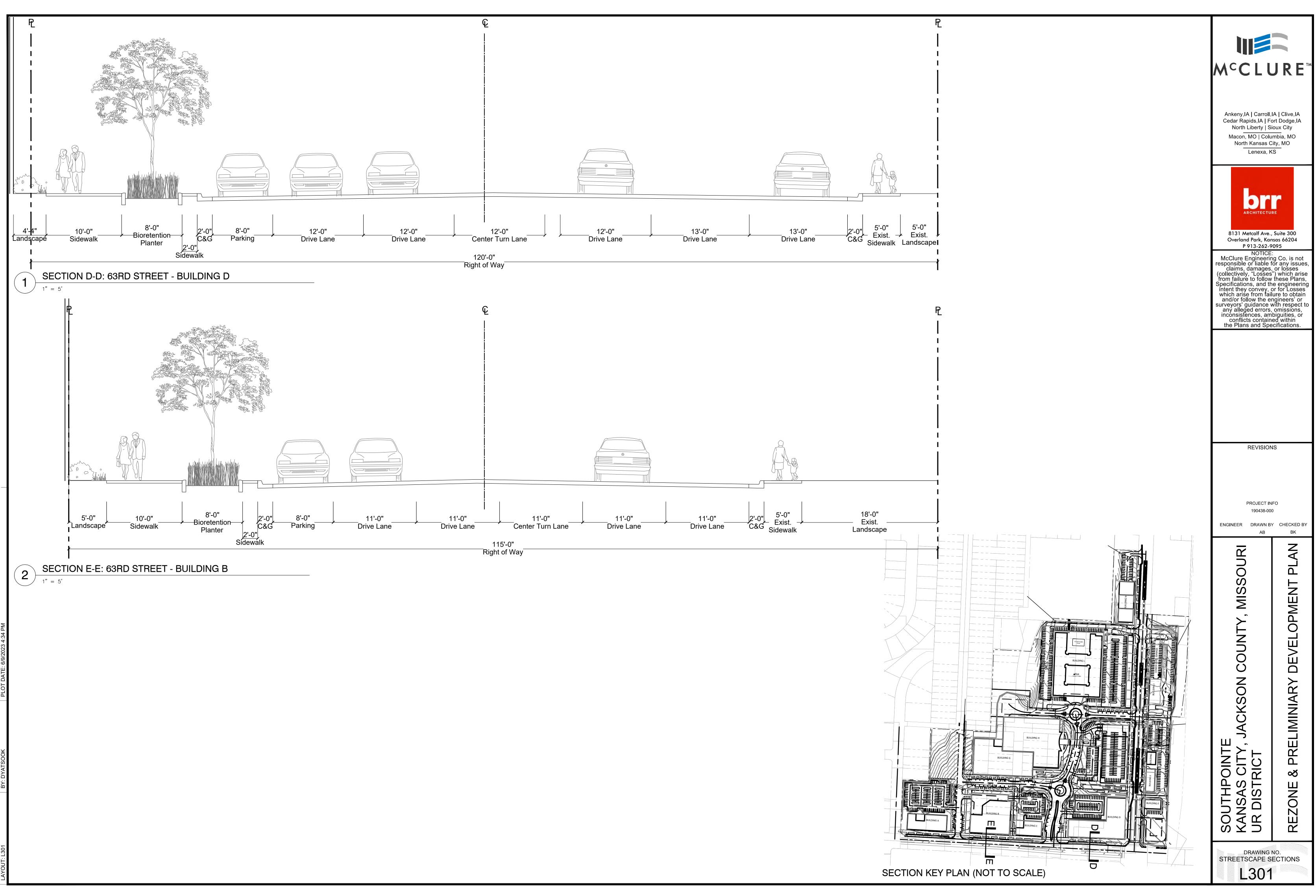
Drought-tolerant fescue blend

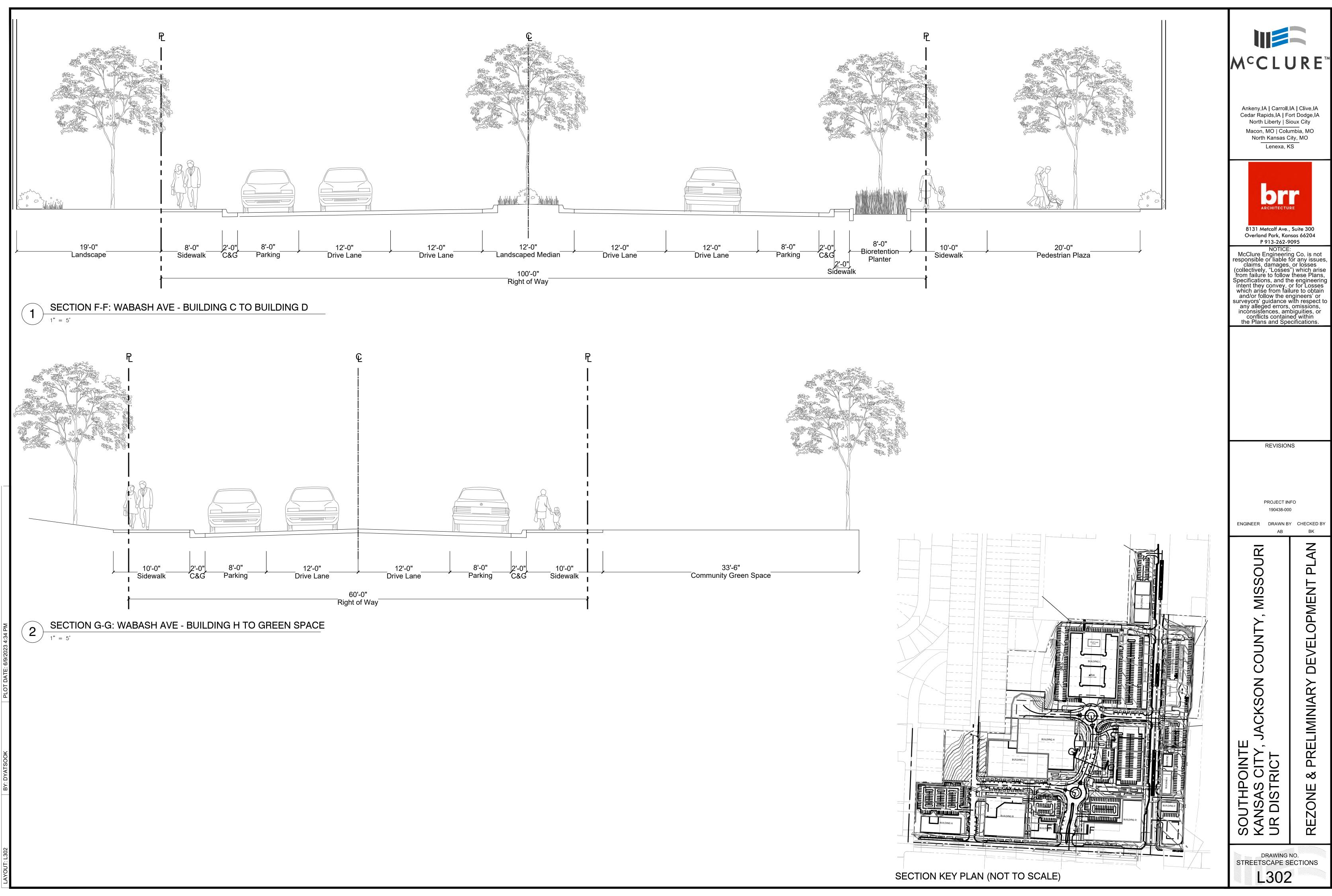










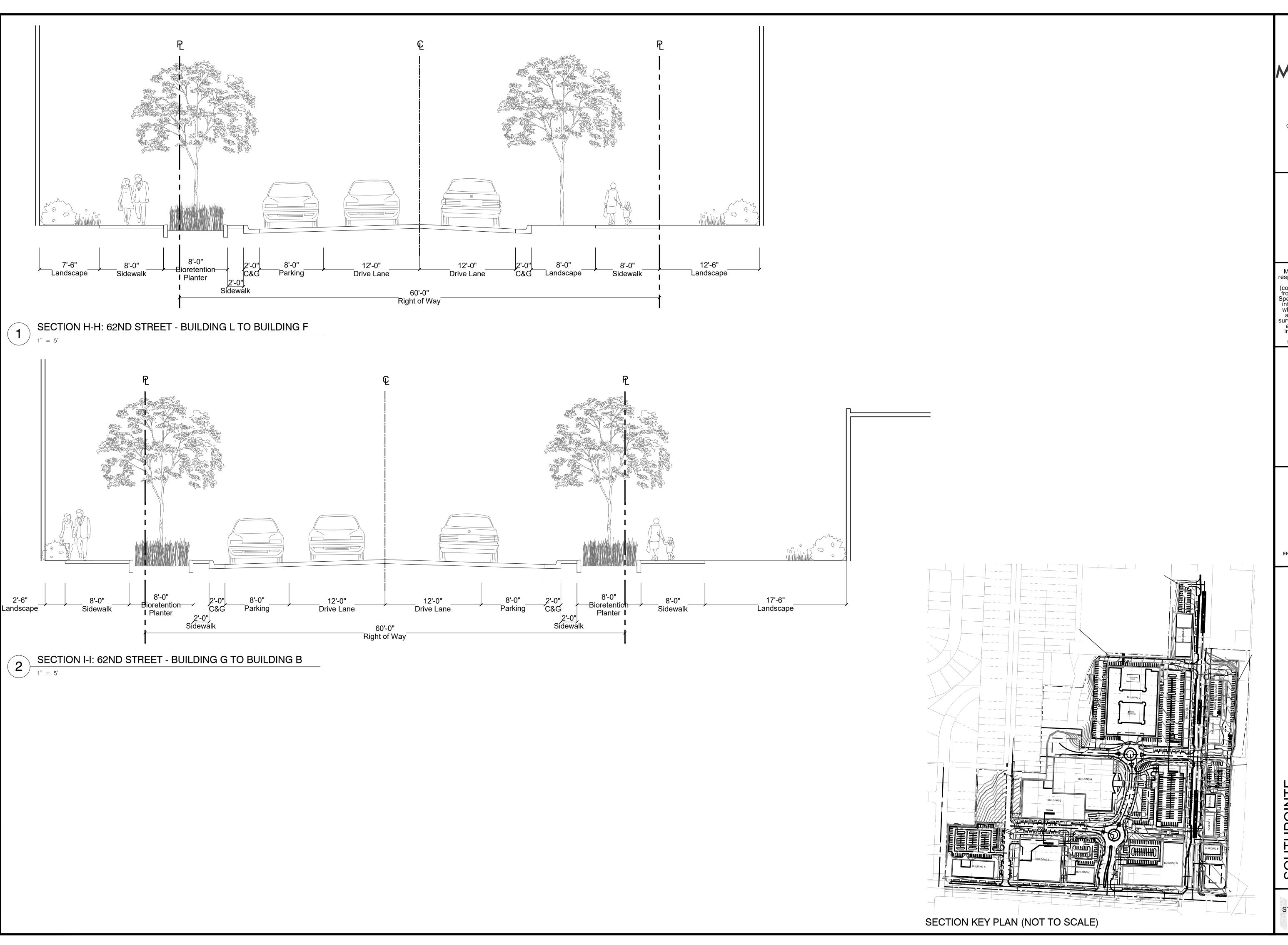


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DRAWING NO.
STREETSCAPE SECTIONS



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NOTICE:

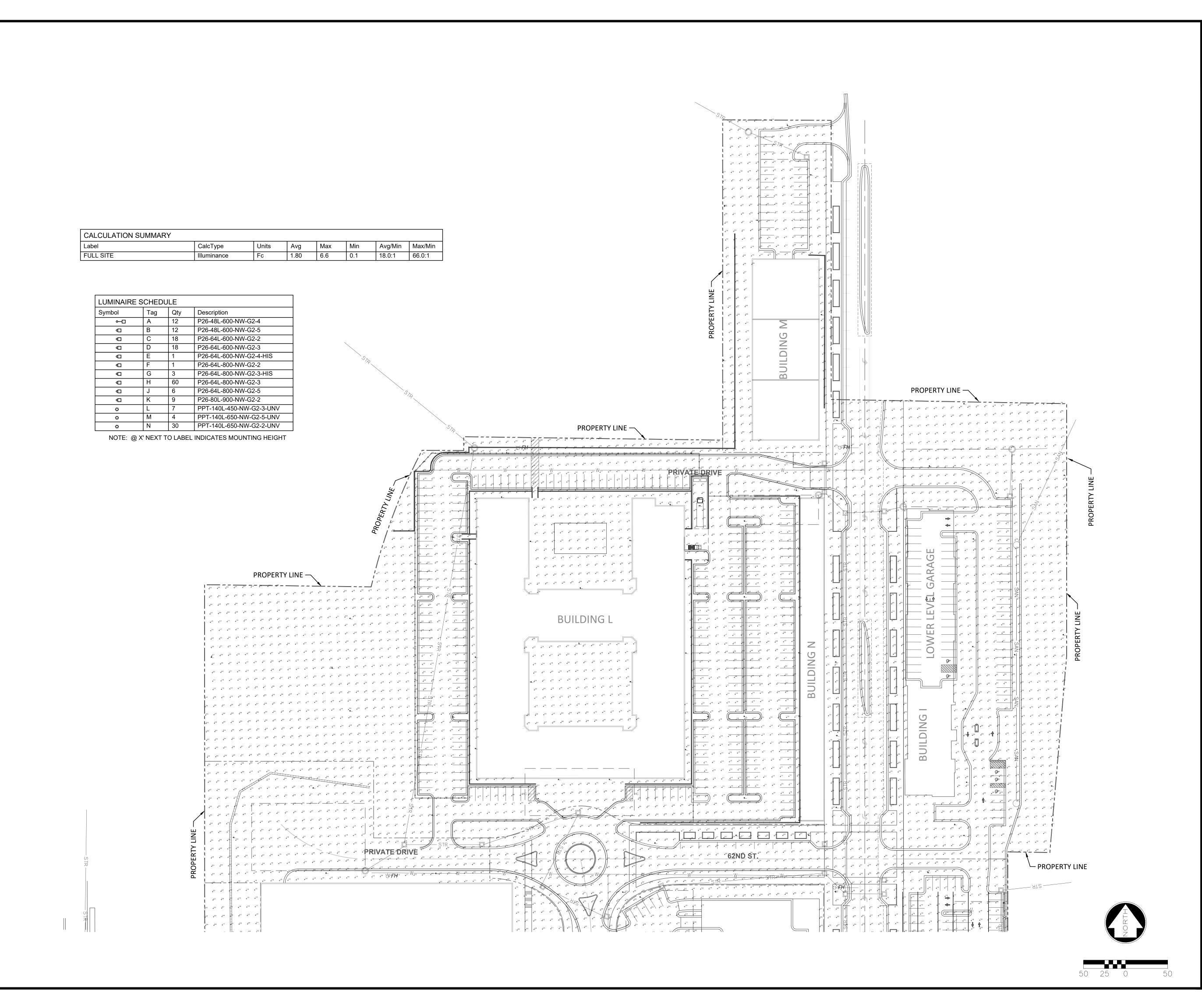
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DRAWING NO. STREETSCAPE SECTIONS L303



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PROJECT INFO

190438-000

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OPMENT **PRELIMINIAR**

SOUTHPOINTE KANSAS CITY, JACKSON UR DISTRICT

DRAWING NO. PHOTOMETRIC NORTH



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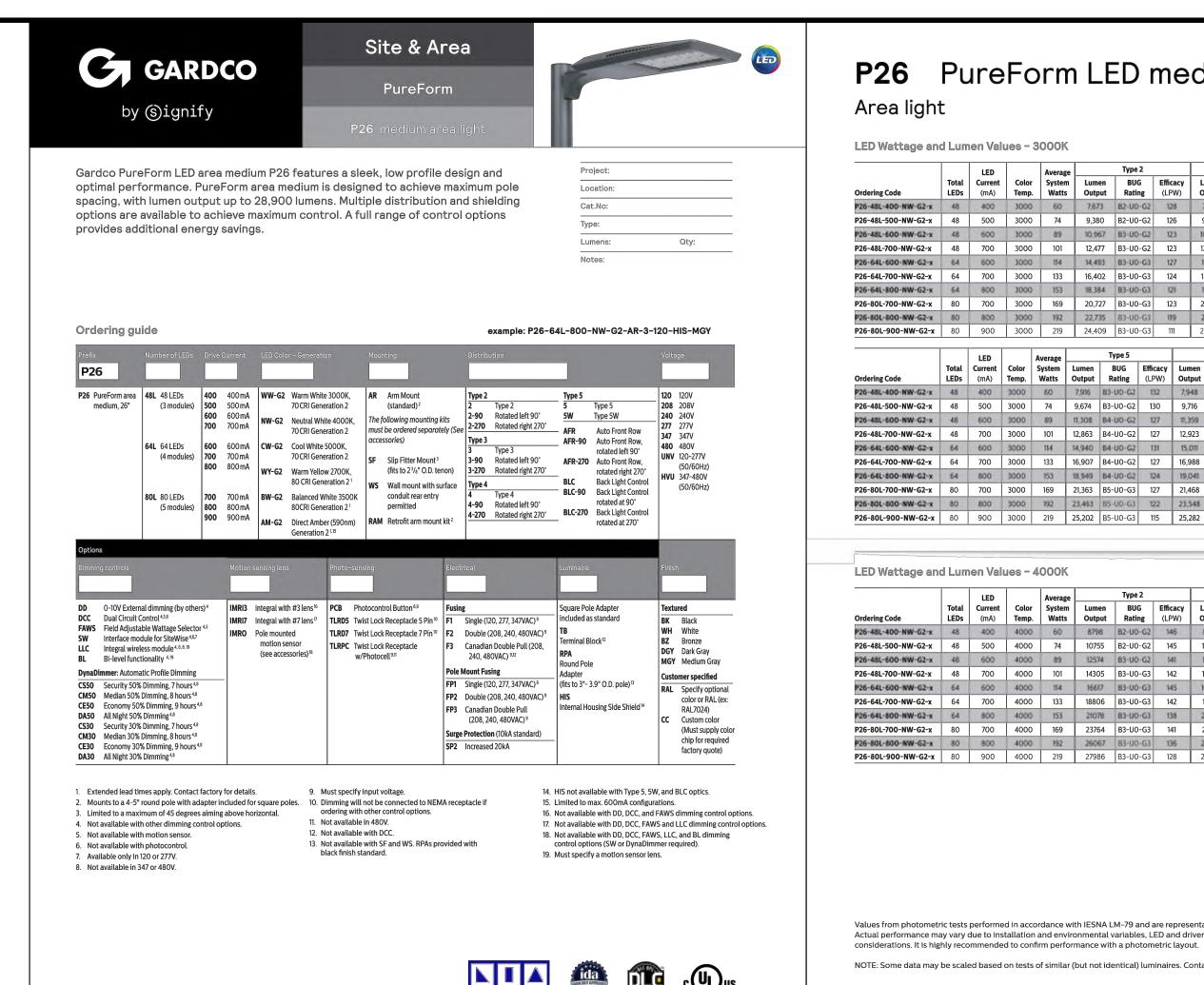
PROJECT INFO 190438-000

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DEVELOPMENT **PRELIMINIARY**

SOUTHPOINTE KANSAS CITY, JACKSON UR DISTRICT

DRAWING NO. PHOTOMETRIC SOUTH E101



P26 PureForm LED medium

	I	l LED	l	Average		.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			.,,,,,,		1,164.1			
Ordering Code	Total LEDs	Current (mA)	Color Temp.	System Watts	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	
P26-48L-400-NW-G2-x	48	400	3000	60	7,673	82-00-62	128	7,420	85-UO-G2	124	7,698	81-00-62	128	
P26-48L-500-NW-G2-x	48	500	3000	74	9,380	B2-U0-G2	126	9,070	B2-U0-G2	122	9,409	B2-U0-G2	127	
P26-48L-600-NW-G2-x	48	600	3000	89	10.967	B3-U0-G2	123	10,604	B2-U0-G2	119	10,999	B2-U0-G2	124	
P26-48L-700-NW-G2-x	48	700	3000	101	12,477	B3-U0-G2	123	12,064	B2-U0-G2	119	12,514	B2-U0-G2	124	
P26-64L-600-NW-G2-x	64	600	3000	154	14,493	83-UO-G3	127	14,013	B2-U0-G3	123	14,536	82-UO-G3	127	
P26-64L-700-NW-G2-x	64	700	3000	133	16,402	B3-U0-G3	124	15,859	B2-U0-G3	119	16,451	B3-U0-G3	124	
P26-64L-800-NW-G2-x	64	800	3000	153	18,384	B3-U0-G3	121	17,775	B3-U0-G3	107	18,438	83-U0-G3	121	
P26-80L-700-NW-G2-x	80	700	3000	169	20,727	B3-U0-G3	123	20,041	B3-U0-G4	119	20,788	B3-U0-G4	123	
P26-80L-800-NW-G2-x	80	800	3000	192	22,735	83-U0-G3	119	21,983	B3-U0-G4	115	22,803	B3-U0-G4	109	
P26-80L-900-NW-G2-x	80	900	3000	219	24,409	B3-U0-G3	111	23,602	B3-U0-G4	108	24,482	B3-U0-G4	112	

		LED		Average		Type 5			Type 5W			Type AFR			Type BLC	
Ordering Code	Total LEDs	Current (mA)	Color Temp.	System Watts	Lumen Output	BUG Rating	Efficacy (LPW)									
P26-48L-400-NW-G2-x	48	400	3000	60	7,916	B3-U0-G2	132	7,948	B3-UD-G2	132	7,854	82-U0-G1	131	5,872	BO-UO-G2	98
P26-48L-500-NW-G2-x	48	500	3000	74	9,674	B3-U0-G2	130	9,716	B4-U0-G2	131	9,599	B2-U0-G2	129	7,178	B0-U0-G2	97
P26-48L-600-NW-G2-x	48	600	3000	89	11,308	84-UO-G2	127	10,359	84-UO-G2	128	10,223	B3-UO-G2	126	8,392	81-UO-G2	94
P26-48L-700-NW-G2-x	48	700	3000	101	12,863	B4-U0-G2	127	12,923	B4-U0-G2	128	12,769	B3-U0-G2	126	9,548	B1-U0-G2	94
P26-64L-600-NW-G2-x	64	600	3000	114	14,940	84-UO-G2	131	15,011	84-UO-G2	131	14,832	83-UO-G2	130	TI,091	B1-U0-G2	97
P26-64L-700-NW-G2-x	64	700	3000	133	16,907	B4-U0-G2	127	16,988	B5-U0-G3	128	16,786	B3-U0-G2	126	12,552	B1-U0-G2	95
P26-64L-800-NW-G2-x	64	800	3000	153	38,949	84-UO-G2	124	19,041	B5-U0-G3	125	18,814	83-UO-G2	123	14,068	B1-U0-G3	92
P26-80L-700-NW-G2-x	80	700	3000	169	21,363	B5-U0-G3	127	21,468	B5-U0-G3	127	21,212	B3-U0-G2	126	15,861	B1-U0-G3	94
P26-80L-800-NW-G2-x	80	800	3000	192	23,463	B5-U0-G3	122	23,548	B5-U0-G3	123	23,267	B3-U0-G2	121	17,398	B1-U0-G3	90
P26-80L-900-NW-G2-x	80	900	3000	219	25,202	B5-U0-G3	115	25,282	B5-U0-G4	115	24,981	B3-U0-G2	114	18,679	B1-U0-G3	85

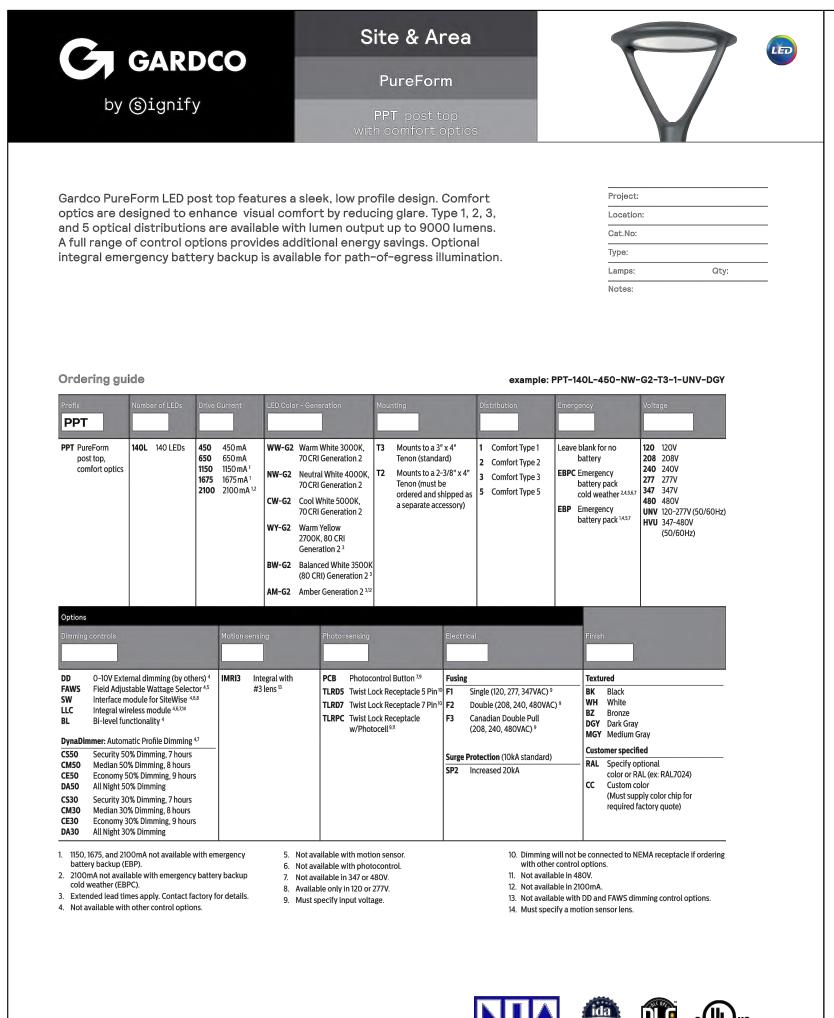
		LED		Average		Type 2			Type 3			Type 4	
Ordering Code	Total LEDs	Current (mA)	Color Temp.	System Watts	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
P26-48L-400-NW-62-x	48	400	4000	60	8798	82-00-62	146	8509	B2-U0-G2	142	8827	82-00-62	147
P26-48L-500-NW-G2-x	48	500	4000	74	10755	B2-U0-G2	145	10401	B2-U0-G2	140	10789	B2-U0-G2	145
P26-48L-600-NW-G2-x	48	600	4000	89	12574	B3-U0-G2	141	12160	B2-U0-G2	137	12614	82-U0-G3	142
P26-48L-700-NW-G2-x	48	700	4000	101	14305	B3-U0-G3	142	13834	B2-U0-G3	137	14351	B2-U0-G3	142
P26-64L-600-NW-G2-x	64	600	4000	154	16617	B3-U0-G3	145	16069	82-00-63	141	16670	83-00-63	146
P26-64L-700-NW-G2-x	64	700	4000	133	18806	B3-U0-G3	142	18186	B3-U0-G3	137	18866	B3-U0-G4	142
P26-64L-800-NW-G2-x	64	800	4000	153	21078	B3-U0-G3	138	20383	B3-U0-G4	134	21145	B3-U0-G4	139
P26-80L-700-NW-G2-x	80	700	4000	169	23764	B3-U0-G3	141	22981	B3-U0-G4	136	23840	B3-U0-G4	141
P26-80L-800-NW-G2-x	80	800	4000	192	26067	B3-U0-G3	136	25208	B3-U0-G4	132	26150	B3-U0-G4	137
P26-80L-900-NW-G2-x	80	900	4000	219	27986	B3-U0-G3	128	27064	B3-U0-G4	123	28076	B3-U0-G4	128

Values from photometric tests performed in accordance with IESNA LM-79 and are representative of the configurations shown.Actual performance may vary due to installation and environmental variables, LED and driver tolerances, and field measurement

NOTE: Some data may be scaled based on tests of similar (but not identical) luminaires. Contact factory for configurations not shown.

P26_PureForm_area_medium 03/19 page 3 of 9

FIXTURE TYPES A, B, C, D, E, F, G, H, J & K



P26_PureForm_area_medium 03/19 page 1 of 9

PPT_PureForm_post_top 04/19 page 1 of 5

with comfor				•••		-			top							
PureForm Accessorie		•		telv)												
PPT-T2 Post top tenon adapter fo			opare	icoly)				SIR-100 L Optio) nal Remot	e Prog	rammin	g Tool				
LED Wattage and Lun	nen \	/alues	- 300	ОК												
Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Lumen Output	Type 1 BUG Rating	Efficacy (LPW)	Lumen Output	Type 2 BUG Rating	Efficacy (LPW)	Lumen Output	Type 3 BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
PPT-140L-450-WW-G2-x-UWV	140	450	3000	22	1903	81-U0-G1	85 85	1884	81-U0-G1	84 84	2338	Bn-U0-G1	105	2176	81-UO-G	
PPT-140L-650-WW-G2-x-UNV	140	650	3000	30	2545	B1-U0-G1	84	2519	B1-U0-G1	83	3126	B1-U0-G1	103	2910	B2-U0-G	4
PPT-140L-1150-WW-62-x-UWV	140	1150	3000	52	4573	82-00-62	88	4525	82-00-62	87	56%	82-00-62	103	5229	B3-U0-6	
PPT-140L-1675-WW-G2-x-UNV	140	1675 2000	3000	75 96	6348 7600	B3-U0-G3	79	7521	B2-U0-G2 B3-U0-G3	83 78	7796 8701	B2-U0-G3 B3-U0-G3	103	7258 8689	B3-U0-G2	
LED Wattage and Lun			1000000		1030	33 00 03		1021	23 20 33	10	0.01	33 30 33	-	0000	25 00 0	-
ELD Wattago and Lan	1011 1	LED		Average		Type 1			Type 2			Type 3			Type 5	
Ordering Code	Total LEDs	Current (mA)	Color Temp.	System Watts	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
PPT-140L-450-NW-G2-x-UNV	140	450	4000	22	1971	81-U0-G1	88	1951	81-U0-G1	87	2421	81-U0-G1	109	2254	B1-U0-G	
PPT-140L-650-NW-G2-x-UNV	140	650	4000	30	2636	B1-U0-G1	87	2609	B1-U0-G1	86	3237	B1-U0-G1	106	3014	B2-U0-G	99
PPT-140L-1150-NW-G2-x-UNV	140	1150	4000	52	4736	82-UO-G2	91	4686	82-U0-G2	90	5816	82-UO-G2	111	5415	B3-U0-G	
PPT-140L-1675-NW-G2-x-UNV	140	1675 2000	4000	75 96	7871	B3-U0-G3	87	6506 7789	B2-U0-G2	86	90m	B2-U0-G3	106	7517 8999	B3-U0-G2	
Ordering Code PPT-140L-450-CW-62-x-UNV PPT-140L-650-CW-62-x-UNV	Total LEDs 140	Current (mA)	Color Temp . 5000	System Watts	Lumen Output 2050 2741	BUG Rating B1-U0-G1 B1-U0-G1	(LPW)	Lumen Output 2029 2713	BUG Rating 81-U0-G1	(LPW)	Lumen Output 25/8 3366	BUG Rating 81-U0-G1 B1-U0-G2	(LPW)	Lumen Output 2344 3135	Rating	
PPT-140L-1150-CW-G2-x-UNV	140	1150	5000	52	4925	82-00-62	94	4873	82-U0-G2	93	6049	82-00-62	116	5632	B3-U0-G	C PORT CONTRACTOR
PPT-140L-1675-CW-G2-x-UNV	140	1675	5000	75	6837	B3-U0-G3	90	6766	B3-U0-G3	89	8397	B3-U0-G3	111	7818	B3-U0-G2	103
Values from photometric tests Actual performance may vary of considerations. It is highly rec	due to ommer	installati nded to c	on and e onfirm p ts of sim	environme eerforma ilar (but	ental var nce with not ident	ables, LEC a photome ical) lumin	and driver	er tolera ut.	ances, and f	ield mea	asuremer tions not	nt				
NOTE: Some data may be scale	en va	alues (Emer	gency				i .			Type 2	None None	Type 3		Type Normal I	25
LED Wattage and lum		C	LED urrent	Color	Temp. Range		mergency	Norma		y Norm			- 1			mergency
LED Wattage and lum	LE	D Qty	LED urrent (mA)	Color Temp.	Range (°C)	Normal Mode	mergency Mode	Norma Mode	l Emergenc Mode	y Norm Mod	e Mo	de Mo	ode N	Mode	Mode	Mode
LED Wattage and lum	LE	D Qty	LED urrent	Color Temp.	Range	Normal E	mergency	Norma	l Emergence Mode	y Norm	e Mo	de Mo	ode N			
LED Wattage and lum Ordering Code PPT 1401-450 NW G2 x LBP UNI	LE	D Qty 140	LED urrent (mA)	Color Temp. 4000	Range (°C)	Normal Mode	Mode	Norma Mode	l Emergence Mode	Model 1953	e Mo	de Mo 10 24 10 32	121 137	Mode 1747	Mode 2254	Mode 1344
Crdering Code PPT-1401-450-NW-G2-x-EBP-UN PPT-1401-450-NW-G2-x-EBP-UN PPT-1401-450-NW-G2-x-EBP-UP PPT-1401-450-NW-G2-x-EBP-UP	LE	D Qty 1400 1400 1400 1400 1400 1400 1400 140	LED urrent (mA) 450 650	Color Temp. 4000 4000 4000 -	Range (°C) 0 to 40 0 to 40 20 to 40	Normal Mode 22 30 22 30	Mode 10 10 16	Norma Mode 1971 2636 1971 2636	Emergence Mode 1526 1526 2178 2178	Norm Mode 1951 260: 1951 260:	e Mo 1 15 9 15 1 21 9 21	de Mo 10 24 10 32 55 24 55 32	ode M 121 137 121 121	Mode 1747 1747 2493 2493	2254 3014 2254 3014	Mode 1744 1744 2490 2490
Creering Code PPT-1401-450-NW-G2-x-EBP-UN PPT-1401-450-NW-G2-x-EBP-UN PPT-1401-450-NW-G2-x-EBPC-UP PPT-1401-450-NW-G2-x-EBPC-UP PPT-1401-450-NW-G2-x-EBPC-UP	LE V	D Qty 1400 1400 1400 1400 1400 1400 1400 140	LED urrent (mA) 450 650 450 660 1150	Color Temp. 4000 4000 4000 - 4000 -	Range (°C) 0 to 40 0 to 40 20 to 40 20 to 40	Normal Mode 22 30 22 30 52	Mode 10 10 18 18	Norma Mode 1971 2636 1971 2636 4736	Emergence Mode 1526 1526 2178 2178 2178	Norm Mode 1961 2600 1951 2600 4680	e Mo 1 15 9 15 1 21 9 21 6 21	de Mo 10 24 10 32 55 24 55 32	21 237 237 237 237 237 237 237 237 237 237	Mode 1747 1747 2493 2493 2493	2254 3014 2254 3014 2254 3014 5415	Mode 1744 1744 2490 2490 2490
Crdering Code PPT-1401-450-NW-G2-x-EBP-UN PPT-1401-450-NW-G2-x-EBP-UN PPT-1401-450-NW-G2-x-EBP-UP PPT-1401-450-NW-G2-x-EBP-UP	LE	D Qty 1400 1400 1400 1400 1400 1400 1400 140	LED urrent (mA) 450 650	Color Temp. 4000 4000 4000 -	Range (°C) 0 to 40 0 to 40 20 to 40	Normal Mode 22 30 22 30	Mode 10 10 16	Norma Mode 1971 2636 1971 2636	Emergence Mode 1526 1526 2178 2178	Norm Mode 1951 260: 1951 260:	e Mo 1 15 9 15 1 21 9 21	de Mo 10 24 10 32 55 24 55 32	ode M 121 137 121 121	Mode 1747 1747 2493 2493	2254 3014 2254 3014	Mode 1744 1744 2490 2490
Crdering Code PPT-1401-450-NW-G2-x-EBP-UNI PPT-1401-450-NW-G2-x-EBP-UNI PPT-1401-450-NW-G2-x-EBP-UNI PPT-1401-450-NW-G2-x-EBP-UNI PPT-1401-450-NW-G2-x-EBP-UNI	LE V	D Qty 1400 1400 1400 1400 1400 1400 1400 140	LED urrent (mA) 450 650 450 650 650 650 650 650 6575	Color Temp. 4000 4000 4000 4000 4000 4000 4000 40	Range (°C) 0 to 40 0 to 40 20 to 40 20 to 40 20 to 40 20 to 40	Normal Mode 22 30 22 30 52 75	Mode 10 10 18 18 18	Norma Mode 1971 2636 1971 2636	Emergence Mode 1526 1526 2178 2178 2178	Norm Mode 1951 260: 1951 260:	e Mo 1 15 9 15 1 21 9 21 6 21	de Mo 10 24 10 32 55 24 55 32	21 237 237 237 237 237 237 237 237 237 237	Mode 1747 1747 2493 2493	2254 3014 2254 3014	Mode 1744 1744 2490 2490
Code Ordering Code PPT-140L-450-NW-G2-x-EBP-UN PPT-140L-650-NW-G2-x-EBP-UN PPT-140L-650-NW-G2-x-EBP-UN PPT-140L-650-NW-G2-x-EBP-UN PPT-140L-650-NW-G2-x-EBP-UN PPT-140L-650-NW-G2-x-EBP-UN PPT-140L-650-NW-G2-x-EBP-UN	LE Deption Dreci	D Qty 140 140 140 140 140 140 140 14	LED urrent (mA) 650 650 650 650 650 650 650 65	Color Temp.	Range (°C) 0 to 40 0 to 40 0 to 40 20 to 40 20 to 40 and eng L70 is th	Normal Mode 22 33 22 22 23 25 25 25 25 25 25 25 25 25 25 25 25 25	Mode NO NO NO NO NO NO NO NO NO N	Norma Mode 1971 2636 1971 2636 4736 6534	Emergence Mode 1526 1526 1526	y Norm Mode 1993 2600 1993 2600 468 6500 SNA LM-ce depress	e Mon 15 9 15 15 15 15 15 15 15 15 15 15 15 15 15	de Mc 10 24 10 33 10 33 10 55 26 10 55 50 10 10 10 10 10 10 10 10 10 10 10 10 10 1	21 237 237 237 237 237 237 237 237 237 237	Mode 1747 1747 2493 2493 2493	2254 3014 2254 3014 2254 3014 5415	Mode 1744 1744 2490 2490 2490
Crdering Code PT 1401-450-NW-G2-1-EBP-UN PT 1401-450-NW-	LE Deption	D Qty 140 140 140 140 140 140 140 14	LED urrent (mA) 450 450 450 450 450 450 450 450 450 450	Color Temp. 4000 4000 4000 s are base er's data anditions blished L	Range (°C) 0 to 40 0 to 40 0 to 40 0 to 40 ed on initial and eng L70 is th	Normal Mode 22 33 22 22 23 25 25 25 25 25 25 25 25 25 25 25 25 25	Mode NO NO NO NO NO NO NO NO NO N	Norma Mode 1971 2536 1971 2636 4736 6534 imates, I	Emergence Mode 1526 1526 1526	y Norm Mode 1993 2600 1993 2600 468 6500 SNA LM-ce depress	e Moo	de Mc 10 24 10 33 10 33 10 55 26 10 55 50 10 10 10 10 10 10 10 10 10 10 10 10 10 1	nde h	Mode 1747 1747 2493 2493 2493 2493	2254 3014 2254 3014 2254 3014 5415 7507	Mode 1744 1744 2490 2490 2490 2490



Ankeny,IA | Carroll,IA | Clive,IA Cedar Rapids, IA | Fort Dodge, IA North Liberty | Sioux City Macon, MO | Columbia, MO North Kansas City, MO Lenexa, KS



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REVISIONS

PROJECT INFO 190438-000

ENGINEER DRAWN BY CHECKED BY

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ELIMINIAR

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SOUTHPOINTE KANSAS CITY, J UR DISTRICT

DRAWING NO. PHOTOMETRIC DETAILS



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AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2022



SOUTH ELEVATION (BLDG A)

NOT TO SCALE



NORTH ELEVATION (BLDG A)

NOT TO SCALE



EAST ELEVATION (BLDG A)

NOT TO SCALE



WEST ELEVATION (BLDG A)

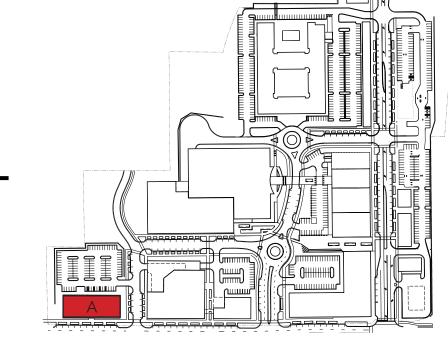
CMU - Smooth Face - Buff

17 Stone Veneer - Dark Brown

NOT TO SCALE

MATERIALS LEGEND

- Seamed Metal Wall Panel 6 Metal
- Composite Panel Light Gray
- zj Composite Panet Light Gr
- 3 Wood-look Composite Siding
- Brick Veneer Running Bond
- Brick Veneer Soldier Course
- 6 Metal Fascia Charcoal
- 7 Fabric Awning
- 8 Stone Veneer Buff
- 9 Concrete Panel Veneer
- 10 EIFS Charcoal
- 11 EIFS Light Gray
- 12 Louvers Metal
- _____ 13 Louvers - Wood
- 14 Perforated Metal Panel
- Corrugated Roofing



KEY PLAN

M°CLURE

1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116 P 816-756-0444 F 816-756-1763

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Cedar Rapids,IA | Fort Dodge,IA
North Liberty | Sioux City
Macon, MO | Columbia, MO
North Kansas City, MO
Lenexa, KS



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REVISIONS

PROJECT INFO

DRAWN BY CHECKED BY

JACKSON COUNTY, MISSOURI

DRAWING NO.
BUILDING A ELEVATIONS
A200



SOUTH ELEVATION (BLDG B)

NOT TO SCALE



NORTH ELEVATION (BLDG B)

NOT TO SCALE

MATERIALS LEGEND

- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond
- Brick Veneer Soldier Course
- Metal Fascia Charcoal
- 7 Fabric Awning
- Stone Veneer Buff
- Concrete Panel Veneer

10 EIFS - Charcoal

- Perforated Metal Panel

11 EIFS - Light Gray

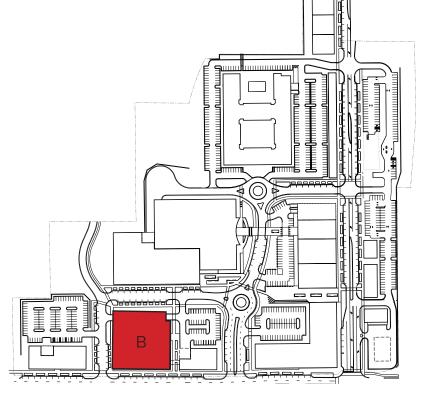
CMU - Smooth Face - Buff

17 Stone Veneer - Dark Brown

15 Corrugated Roofing

Louvers - Metal

Louvers - Wood



KEY PLAN

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REVISIONS

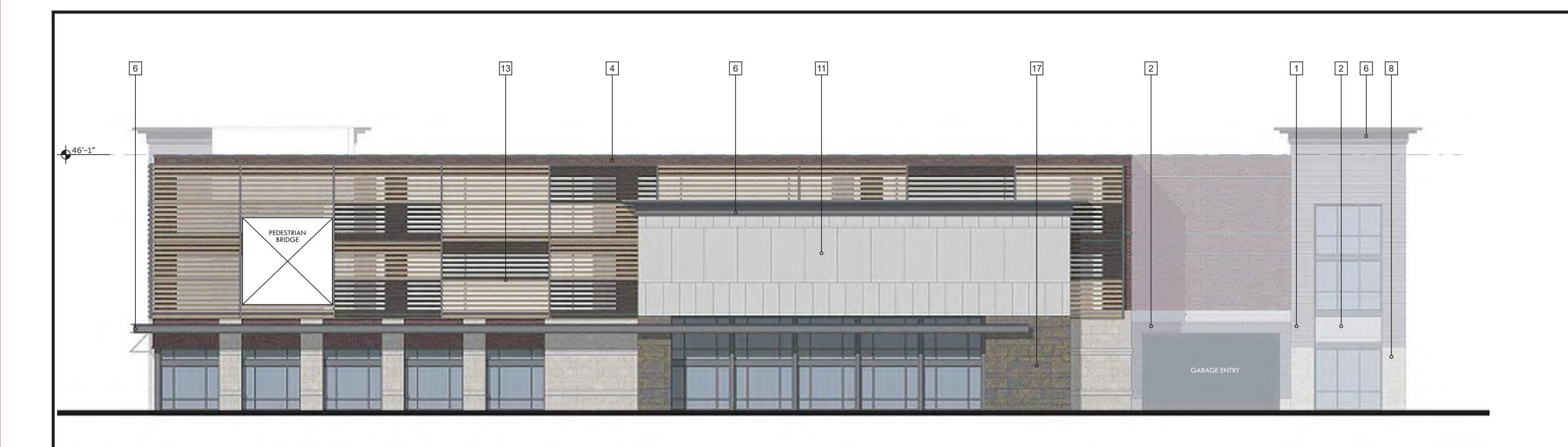
PROJECT INFO

190438-000

DRAWN BY CHECKED BY JRG

MISSOURI COUNTY, **PRELIMINIARY**

BUILDING B ELEVATIONS
A201



EAST ELEVATION (BLDG B)

NOT TO SCALE



WEST ELEVATION (BLDG B)

NOT TO SCALE

MATERIALS LEGEND

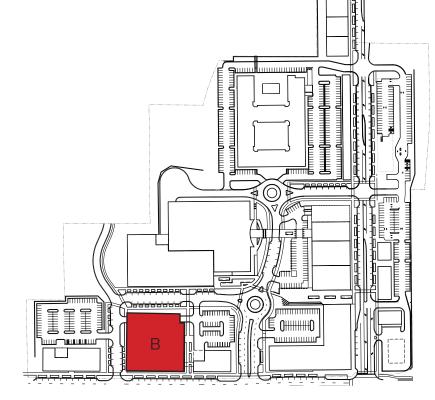
- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- Metal Fascia Charcoal
- 7 Fabric Awning Stone Veneer - Buff
- Concrete Panel Veneer
- 10 EIFS Charcoal
- Louvers Metal
 - Louvers Wood

11 EIFS - Light Gray

CMU - Smooth Face - Buff

17 Stone Veneer - Dark Brown

Perforated Metal Panel 15 Corrugated Roofing



KEY PLAN



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REVISIONS

PROJECT INFO

190438-000

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JRG

MISSOURI COUNTY, **PRELIMINIARY**

BUILDING B ELEVATIONS
A202



SOUTH ELEVATION (BLDG C)

NOT TO SCALE



NORTH ELEVATION (BLDG C)

NOT TO SCALE



EAST ELEVATION (BLDG C)

NOT TO SCALE



WEST ELEVATION (BLDG C)

CMU - Smooth Face - Buff

Stone Veneer - Dark Brown

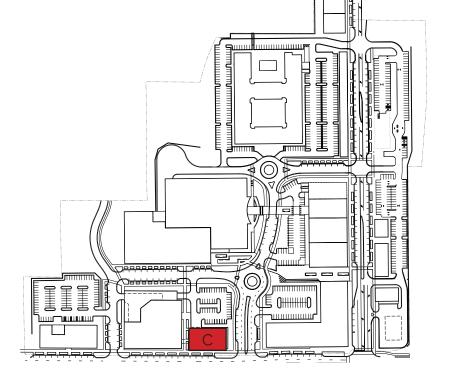
NOT TO SCALE

MATERIALS LEGEND

- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- Metal Fascia Charcoal
- Fabric Awning
- Stone Veneer Buff
- Concrete Panel Veneer
- 10 EIFS Charcoal
- Louvers Metal
- Louvers Wood
- Perforated Metal Panel

EIFS - Light Gray

Corrugated Roofing



KEY PLAN



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JRG MISSOURI

PRELIMINIARY

BUILDING C ELEVATIONS A203



NORTH ELEVATION (BLDG D)



SOUTH ELEVATION (BLDG D)

NOT TO SCALE

MATERIALS LEGEND

- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- Metal Fascia Charcoal
- 7 Fabric Awning
- Stone Veneer Buff

10 EIFS - Charcoal

- Concrete Panel Veneer
- Perforated Metal Panel

Louvers - Metal

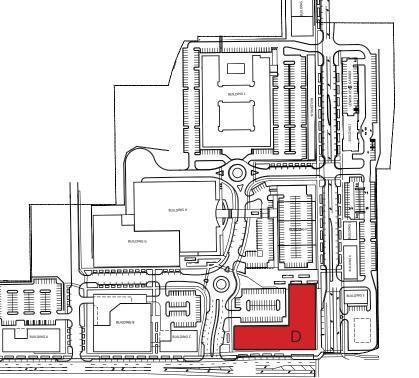
Louvers - Wood

15 Corrugated Roofing

11 EIFS - Light Gray

CMU - Smooth Face - Buff

Stone Veneer - Dark Brown



KEY PLAN

P 816-756-0444 F 816-756-1763

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REVISIONS

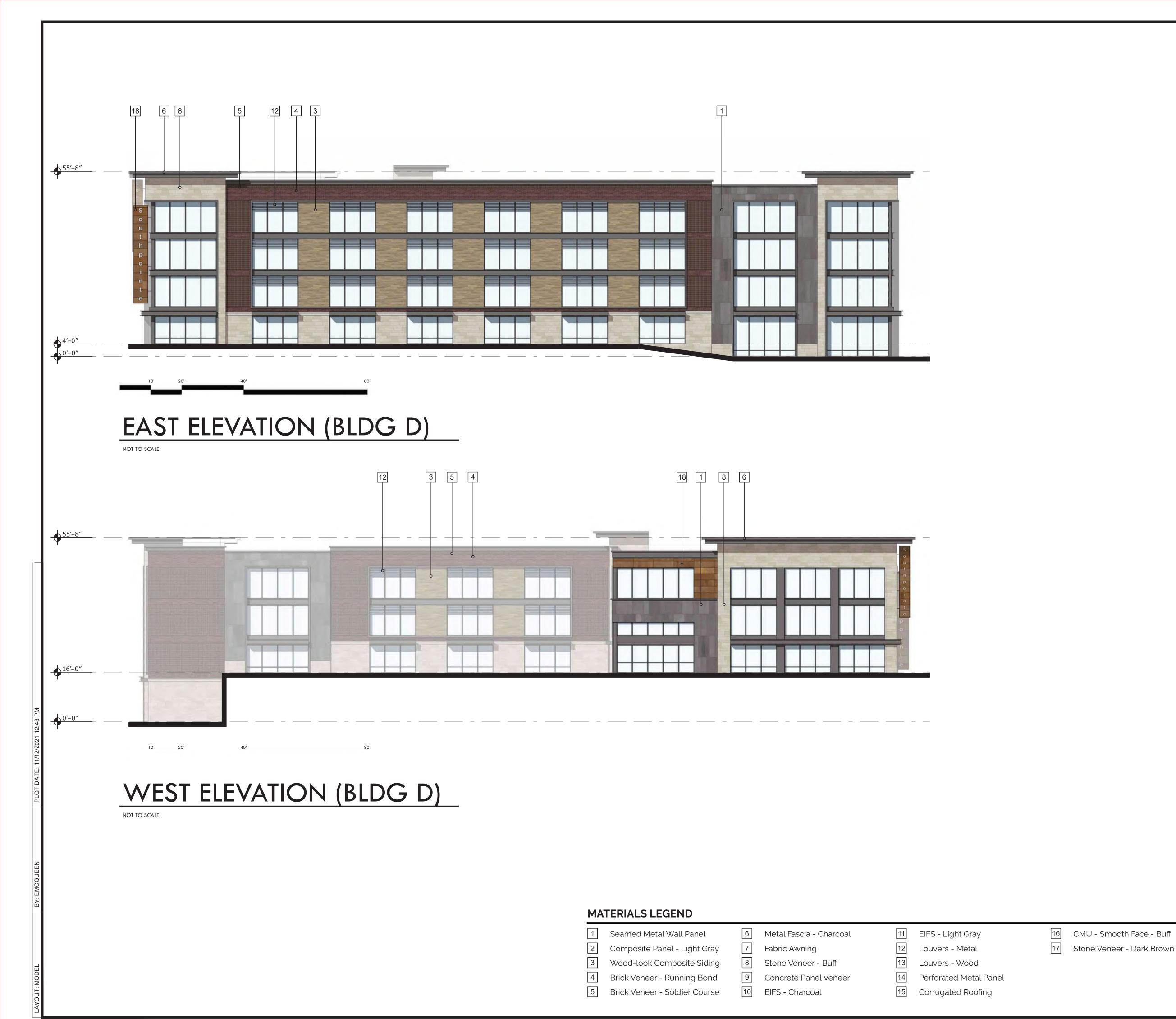
PROJECT INFO

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COUNTY, **PRELIMINIARY**





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PROJECT INFO

190438-000

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COUNTY,

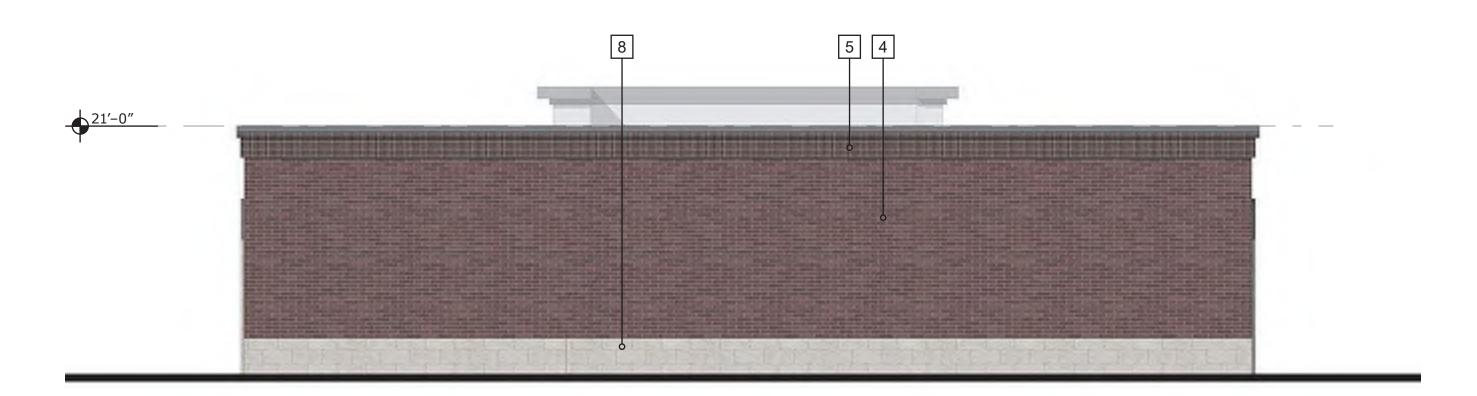
KEY PLAN

CMU - Smooth Face - Buff

DRAWING NO.
BUILDING D ELEVATIONS
A205

24'-4"

SOUTH ELEVATION (BLDG E)



NORTH ELEVATION (BLDG E)

NOT TO SCALE

WEST ELEVATION (BLDG E)

EAST ELEVATION (BLDG E)

NOT TO SCALE

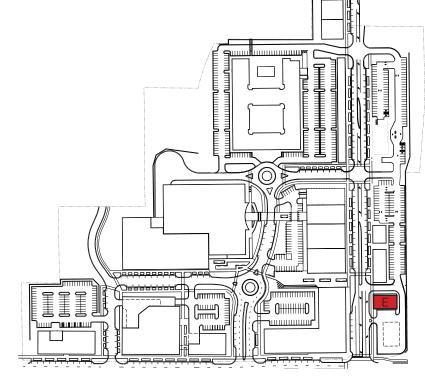
MATERIALS LEGEND

- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- Metal Fascia Charcoal
- 7 Fabric Awning Stone Veneer - Buff
- Concrete Panel Veneer 10 EIFS - Charcoal
- Perforated Metal Panel Corrugated Roofing

11 EIFS - Light Gray

17 Stone Veneer - Dark Brown Louvers - Metal Louvers - Wood

CMU - Smooth Face - Buff



KEY PLAN



1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116 P 816-756-0444 F 816-756-1763

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REVISIONS

PROJECT INFO

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MISSOURI **PRELIMINIARY**

BUILDING E ELEVATIONS
A206





NORTH ELEVATION (BLDG F)

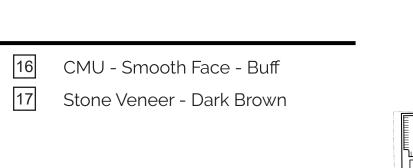
NOT TO SCALE

WEST ELEVATION (BLDG F)

NOT TO SCALE

MATERIALS LEGEND

- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- Metal Fascia Charcoal
- 7 Fabric Awning
- Stone Veneer Buff
- Concrete Panel Veneer 10 EIFS - Charcoal
- 11 EIFS Light Gray
- Louvers Metal
- Louvers Wood
- Perforated Metal Panel Corrugated Roofing



KEY PLAN



F 816-756-1763 Ankeny, IA | Carroll, IA | Clive, IA Cedar Rapids,IA | Fort Dodge,IA North Liberty | Sioux City Macon, MO | Columbia, MO North Kansas City, MO Lenexa, KS



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REVISIONS

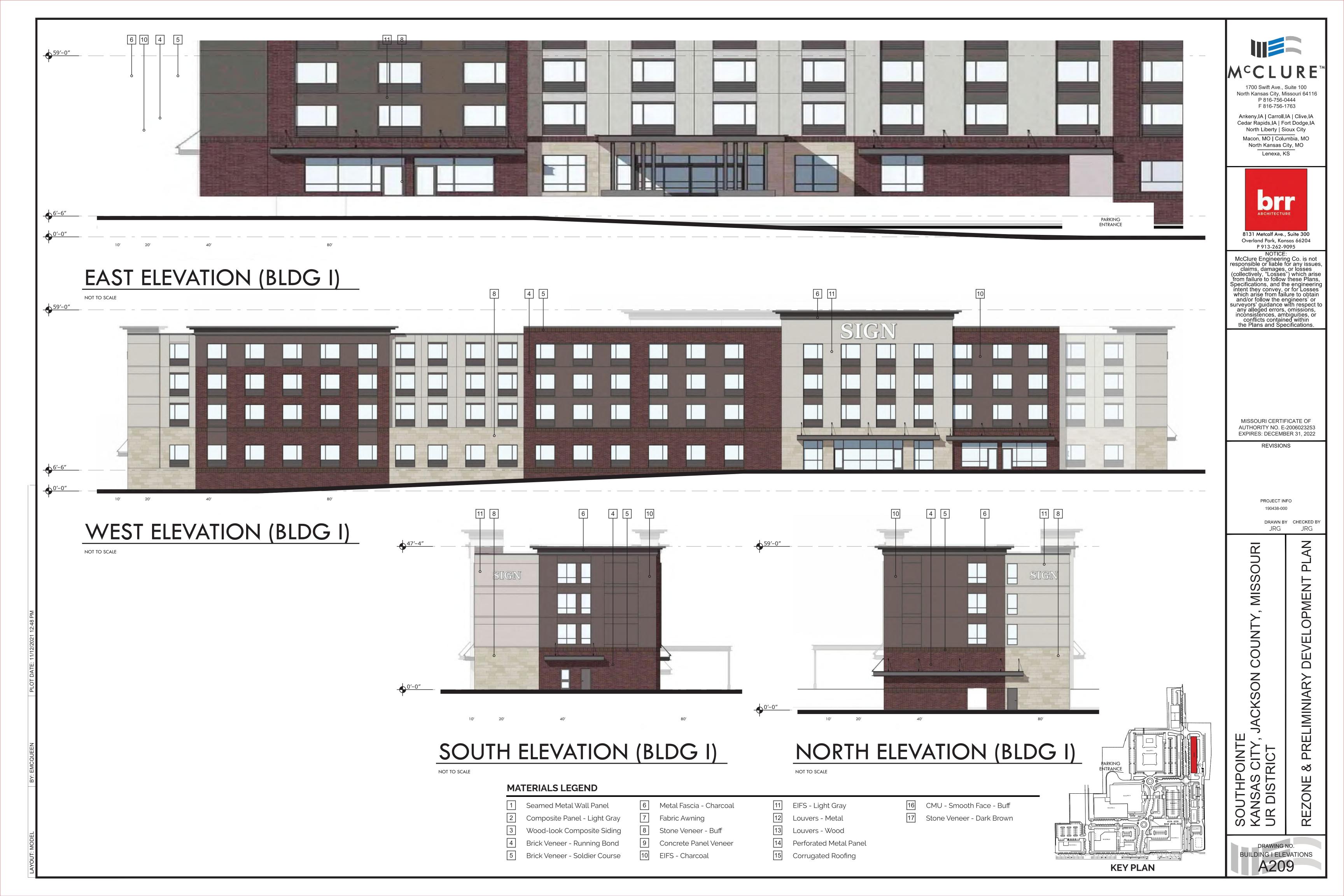
PROJECT INFO

190438-000 DRAWN BY CHECKED BY

JRG MISSOURI

BUILDING F ELEVATIONS
A207







SOUTH ELEVATION (BLDG J)

NOT TO SCALE



NORTH ELEVATION (BLDG J)

NOT TO SCALE



EAST ELEVATION (BLDG J)

NOT TO SCALE



WEST ELEVATION (BLDG J)

NOT TO SCALE

MATERIALS LEGEND

- Seamed Metal Wall Panel Metal Fascia - Charcoal
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond

Brick Veneer - Soldier Course

- 7 Fabric Awning Stone Veneer - Buff

10 EIFS - Charcoal

- Concrete Panel Veneer
- Perforated Metal Panel
- Corrugated Roofing

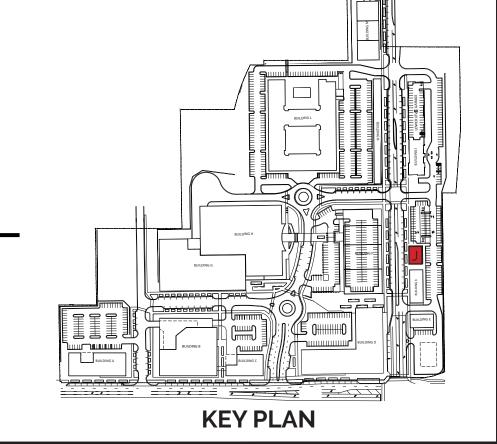
EIFS - Light Gray

Louvers - Metal

Louvers - Wood

CMU - Smooth Face - Buff

17 Stone Veneer - Dark Brown



1700 Swift Ave., Suite 100

North Kansas City, Missouri 64116 P 816-756-0444

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REVISIONS

PROJECT INFO 190438-000

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BUILDING J ELEVATIONS
A210



10 19′-10″

NORTH ELEVATION (BLDG K)

NOT TO SCALE



WEST ELEVATION (BLDG K)

NOT TO SCALE

MATERIALS LEGEND

- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- Metal Fascia Charcoal
- 7 Fabric Awning
- Stone Veneer Buff
- Concrete Panel Veneer

10 EIFS - Charcoal

- Perforated Metal Panel

EIFS - Light Gray

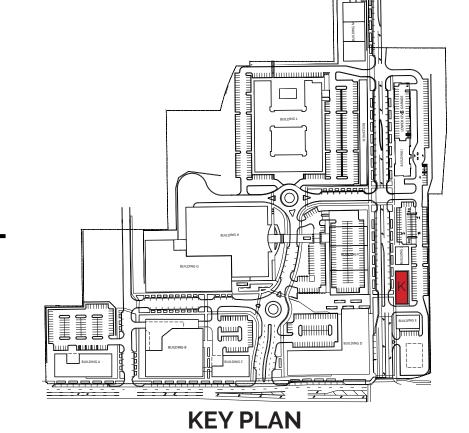
Louvers - Metal

Louvers - Wood

CMU - Smooth Face - Buff

Stone Veneer - Dark Brown

Corrugated Roofing



1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116 P 816-756-0444 F 816-756-1763

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2022

PROJECT INFO

DRAWN BY CHECKED BY

JRG

COUNTY,



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NILES BOLTON ASSOCIATES

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REVISIONS

PROJECT INFO

190438-000

ENGINEER DRAWN BY CHECKED BY

MISSOURI COUNTY, **PRELIMINIARY**

DRAWING NO. BUILDING L ELEVATIONS A212



SOUTH ELEVATION (BLDG L)

NOT TO SCALE



NORTH ELEVATION (BLDG L)

MATERIALS LEGEND

- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- 6 Metal Fascia Charcoal
- 7 Fabric Awning

10 EIFS - Charcoal

- Stone Veneer Buff Concrete Panel Veneer
- 11 EIFS Light Gray
- Louvers Metal Louvers - Wood
- Perforated Metal Panel Corrugated Roofing
- Stone Veneer Dark Brown

CMU - Smooth Face - Buff







WEST ELEVATION (BLDG L)

NOT TO SCALE

MATERIALS LEGEND

- Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- 6 Metal Fascia Charcoal
- Stone Veneer Buff Concrete Panel Veneer

10 EIFS - Charcoal

- Louvers Metal
- Perforated Metal Panel Corrugated Roofing

11 EIFS - Light Gray

CMU - Smooth Face - Buff

Stone Veneer - Dark Brown

KEY PLAN

Ankeny, IA | Carroll, IA | Clive, IA Cedar Rapids, IA | Fort Dodge, IA North Liberty | Sioux City Macon, MO | Columbia, MO North Kansas City, MO Lenexa, KS

NILES BOLTON ASSOCIATES

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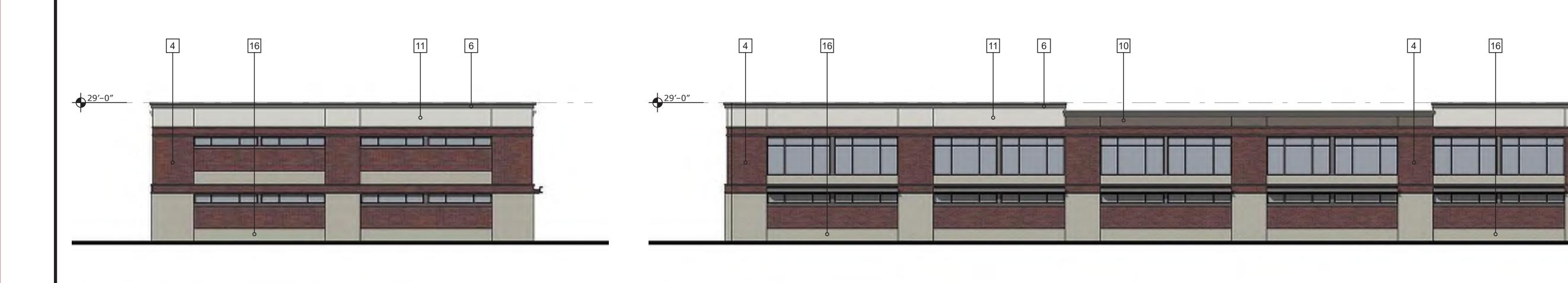
REVISIONS

PROJECT INFO 190438-000

ENGINEER DRAWN BY CHECKED B

PRELIMINIARY

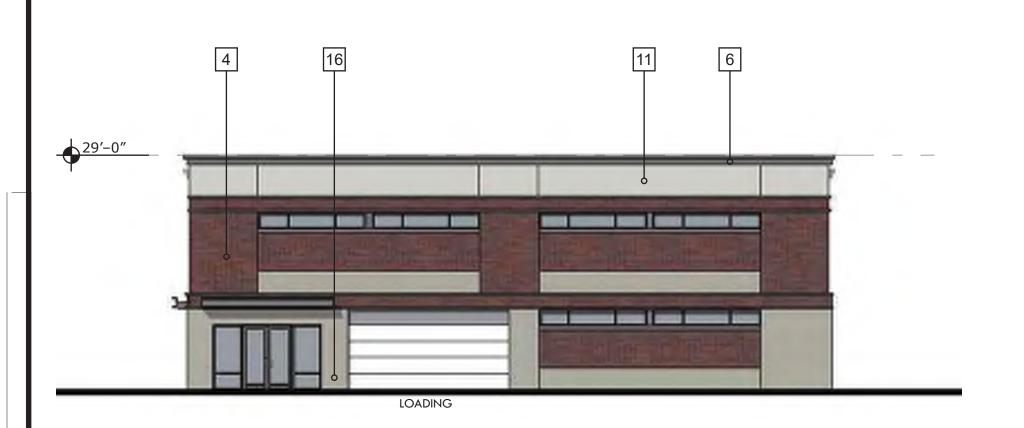
DRAWING NO. **BUILDING L ELEVATIONS** A213



SOUTH ELEVATION (BLDG M)

EAST ELEVATION (BLDG M)

NOT TO SCALE





NORTH ELEVATION (BLDG M)

WEST ELEVATION (BLDG M)

MATERIALS LEGEND

- Metal Fascia Charcoal Seamed Metal Wall Panel
- Composite Panel Light Gray
- Wood-look Composite Siding
- Brick Veneer Running Bond Brick Veneer - Soldier Course
- Stone Veneer Buff Concrete Panel Veneer

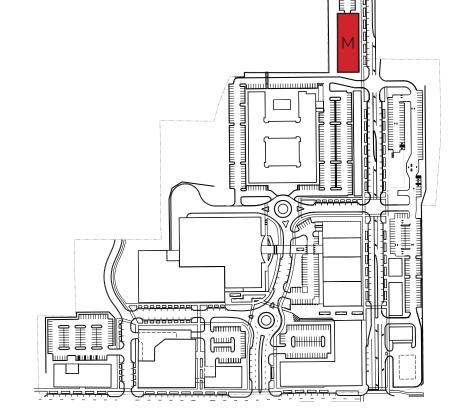
10 EIFS - Charcoal

7 Fabric Awning

- EIFS Light Gray
 - - Louvers Metal
 - Louvers Wood Perforated Metal Panel
 - Corrugated Roofing

CMU - Smooth Face - Buff

17 Stone Veneer - Dark Brown



KEY PLAN



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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2022

REVISIONS

PROJECT INFO

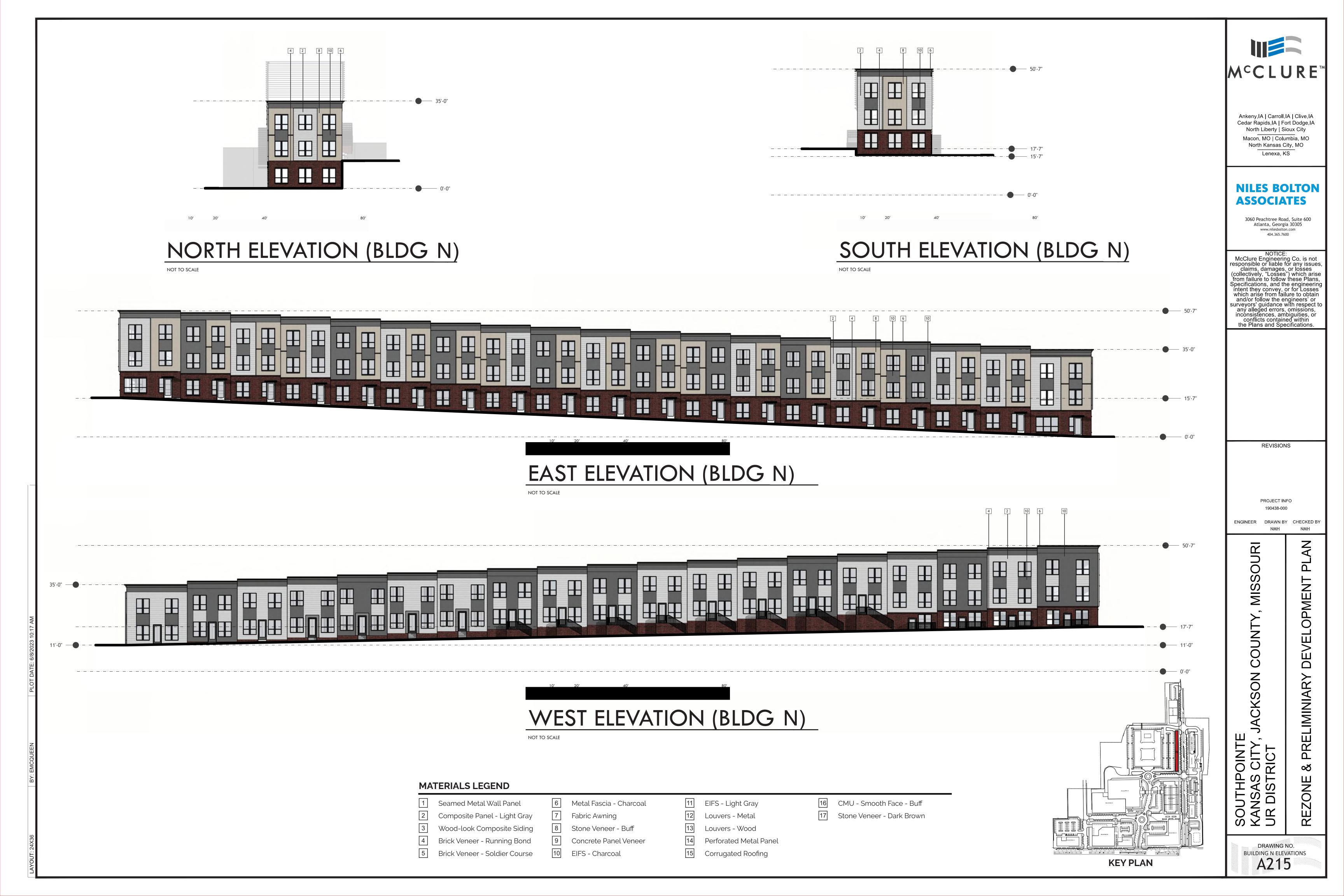
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MISSOURI

BUILDINGMELEVATIONS A214

NOT TO SCALE



Meeting Minutes: Southpointe @ 63rd Development Public Community Meeting

Date: August 15, 2023

Location: Virtual Meeting via Zoom

Replay Link

Present:

- Rob Farmer, Senior Vice President for Capital Markets and Development, Urban America

- Anna McCoy, Administrative Support
- Community Members and Participants

Agenda:

- 1. Welcome and Introductions
- 2. Project Overview and Progress
- 3. Changes and Modifications Due to COVID-19
- **4.** Phases of the Development Project
- 5. Design and Development Details
- **6.** Community Concerns and Questions
- 7. Next Steps and Timeline

Meeting Minutes:

The meeting began at the scheduled time with Rob Farmer acknowledging that the recording was initiated for later posting on the website. He expressed hopes for good weather in Kansas City and extended a warm welcome to all participants.

Mr. Farmer shared his excitement about the progress of the Southpointe @ 63rd Development project and discussed the changes and modifications that were made due to the impact of COVID-19 on the planning process.

He introduced himself and Anna McCoy, his administrative support, and thanked everyone for their patience throughout the long process of planning and approvals.

Mr. Farmer recalled the project's origins in the late 1990s as part of an overall master development to redevelop the area around 63rd and Prospect. He emphasized the community's input and collaboration during the design process held in August 2019, which led to the development of a general community plan. He highlighted the project's focus on creating an extended stay hotel, multi-family apartments, retail spaces, and restaurant areas while repositioning the gas station for accessibility to various community attractions.

Mr. Farmer clarified that the project would not involve purchasing private homes, assuring that the community's interests were a priority. He mentioned that the project was targeted at workforce housing, with affordability and accessibility as key goals.

Participants raised questions about neighboring properties, community greenery, and the preservation of the quiet enjoyment of the area. Mr. Farmer addressed concerns about displacing residents, assuring that the existing buildings would remain unaffected.

Details regarding the phases of the project were discussed, with phase one consisting of the hotel, multi-family apartments, and parking. Office space originally planned for phase one would now be part of phase two, with the subsequent phases focusing on different components of the development.

Mr. Farmer provided visual aids to illustrate the design and development plans, including elevations and building materials. He stressed the project's commitment to green spaces and sustainable development.

The meeting concluded with Mr. Farmer expressing gratitude to the community, city, and council for their support throughout the project's planning stages. He encouraged participants to reach out with further questions and closed by expressing his enthusiasm for future visits to Kansas City.

Q & A

Participant: Are you planning to purchase properties near the development area? My neighbor has a property on 61st and Perkins.

Answer: Rob Farmer: Yes, we are in the real estate development business, and property acquisition is part of our process. If your neighbor is interested or has questions, they are welcome to reach out to us. However, I want to clarify that our focus is not on displacing residents; we aim to enhance the community's experience.

Question 2:

Participant: What about the small community apartment homes across from the development? Will those remain?

Answer: Rob Farmer: Yes, those privately owned apartment homes on the hill will remain unaffected by our development. Our project is centered on vacant land and won't involve any relocation of existing homes.

Question 3:

Participant: Will the new housing units be affordable for the community?

Answer:Rob Farmer: Absolutely, affordability is a key goal for us. While we hesitate to

use the term "affordable" in a formal sense, these new housing units are designed with the workforce community in mind. Our objective is to offer housing options that cater to individuals such as teachers, firefighters, and police officers who may find it challenging to move into brand-new downtown developments.

Question 4:

Participant: How will you ensure that the green spaces and community quiet enjoyment are preserved?

Answer: Rob Farmer: Preserving green spaces and ensuring community quiet enjoyment are essential to us. We are committed to maintaining the current environment. We are green developers and have no intention of replacing greenery with concrete. Our aim is to enhance the area's greenery and contribute positively to the community.

Question 5:

Participant: What's the timeline for the project's completion? Answer:Rob Farmer: We have a phased approach to the project. Phase one includes the extended stay hotel, multi-family apartments, and parking. Construction for this phase is expected to take around 15 to 18 months from the start. Phase two, which will include additional buildings, is expected to start after phase one's substantial completion and will take up to five years. Phases three and four will follow, completing the project within eight years.

Question 6:

Participant: How do we get in touch with you if we have more questions? Answer: Rob Farmer: We are available and reachable. You can find our contact details in the chat, and we encourage you to reach out with any further questions or concerns you might have.

Question 7:

Participant: What kind of businesses will be in the retail and restaurant areas? Answer: Rob Farmer: We have received strong interest from a variety of potential tenants, including national sit-down restaurants and coffee shops. While we are still in the process of finalizing these agreements, our aim is to bring a mix of businesses that cater to the needs and preferences of the community.

Question 8:

Participant: Can you provide more details about the unit configurations? Answer:Rob Farmer: Certainly. We originally planned for 240 apartment units. However, due to changes, we are now looking at 18 townhome units and 222 apartment units. The configuration has been adjusted to accommodate various needs while still achieving our overall goal of offering housing that is accessible and suitable for the community.

The meeting ended on a positive note, with participants expressing appreciation for the update and information shared.