



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

November 7, 2023

**Project Name**  
Brighton Parking

**Docket #7**

**Request**

CD-CPC-2023-00151  
Major Amendment to a Master Planned Development

**Applicant**

Rachelle Biondo  
Rouse Frets White Goss Gentile Rhodes

**Owner**

Star Development Corp.

Location	3363 N Brighton Avenue
Area	About 42.64 acres
Zoning	MPD
Council District	2 <sup>nd</sup>
County	Clay County
School District	NKC 250

**Surrounding Land Uses**

**North:** Residential Uses, zoned R-6

**South:** HWY 210, zoned R-6

**East:** Park, zoned R-6

**West:** Residential Uses, zoned R-6

**Major Street Plan**

Searcy Creek Parkway is identified as an established Parkway on the City's Major Street Plan. North Brighton is identified as a thoroughfare on the City's Major Street Plan. M-210 Highway is identified as a freeway under MoDOT jurisdiction.

**Land Use Plan**

The Briarcliff-Winnwood Area Plan recommends Light Industrial for this location.

**APPROVAL PROCESS**



**PROJECT TIMELINE**

The application for the subject request was filed on 09/15/2023. No scheduling deviations from 2023 Cycle T have occurred.

**NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED**

The subject site is not located with a registered neighborhood or homes associations.

**REQUIRED PUBLIC ENGAGEMENT**

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on 10/24/2023. A summary of the meeting is attached to the staff report, see Attachment #3.

**EXISTING CONDITIONS**

The site is currently undeveloped. The subject property is bounded by North Brighton Avenue on the west, NE Service Road and M-210 Highway on the south, NE Searcy Creek Parkway to the east and NE 36<sup>th</sup> Street on the north. Access to the site is provided by NE Service Road, which serves as an off ramp of M-210 Highway. A majority of the trees on the site were removed after the approval of the previous Master Planned Development request, the site has also already been graded.

**SUMMARY OF REQUEST + KEY POINTS**

The applicant is seeking approval of a major amendment to an approved Master Planned Development. The amendment would change the proposed use from two warehouses to a 3,169 parking space vehicle storage facility.

**CONTROLLING + RELATED CASES**

CD-CPC-2021-00049 – request to approve a Rezoning from District R-6 (Residential 6) to District MPD (Master Planned Development) and approval of an MPD preliminary Development Plan and Preliminary plat for the development of light industrial uses. City Staff and the City Plan Commission recommended Denial. The application was approved with conditions via Ordinance No. 210398 on May 20, 2021.

CD-CPC-2021-00048 – request to approve an Area Plan Amendment to change the recommended land use of the Residential Low Density with Conservation District to Light Industrial. City Staff and the City Plan Commission recommended Denial. The application was approved via Resolution No. 210397 on May 20, 2021.

CD-CPC-2021-00207 – request to approve a Final MPD Plan for Brighton Industrial Park. The application was approved with conditions on January 4, 2022.

Ordinance No. 220021 – calling for a submission to the voters of Kansas City at a special election on April 5, 2022 to remove an area generally located on the west side of Searcy Creek between 210 Highway and approximately NE 36<sup>th</sup> street and serves as right of way for parkway purpose. The ordinance was approved 01/13/2022, and the result of the election was to remove the land in the area described previously.

Ordinance No. 230941 – Introduced by Councilwoman French and Councilman Rogers on October 26, 2023. The ordinance is scheduled to be presented at NPD Committee on November 8, 2023.

#### **PROFESSIONAL STAFF RECOMMENDATION**

Docket #7 Denial

#### **PLAN REVIEW**

The proposed Major Amendment to a Master Planned Development requests to change the previously approved plan to allow for a 3,169-parking space parking lot to allow for the storage of vehicles for the Ford Motor Company. The proposed parking area is made up of heavy duty concrete and light-duty asphalt pavement.

The applicant is proposing a wood fence around the entire property to shield the use of the property from the surrounding properties. The proposed landscaping and lighting is in compliance with the Zoning and Development Code.

The applicant is proposing a vehicle drop off area in the southeastern part of the property to allow for vehicles to be unloaded as far away from the residential uses to the west and north. The proposed use will have 6-7 employees on site daily (with a total of 20 employees assigned to the site). The site will have 24/7 onsite security and security cameras.

There is one guard shack proposed for the property at the entrance of the site.

#### **PLAN ANALYSIS**

*\*indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
MPD, Master Planned Development District (88-280)	Yes	No	See MPD Section of the staff report.
Vehicle Storage and Towing (88-375)*	Yes	No	The applicant is requesting deviations to this section. See below.
Boulevard and Parkway Standards (88-323)	No	Yes	See below

Parkland Dedication (88-408)	No	Yes	
Parking and Loading Standards (88-420)*	Yes	No	The applicant is requesting deviations to this section. See below.
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)*	Yes	No	The applicant is requesting deviations to this section. See below.
Tree Preservation and Protection (88-424)	Yes	Yes, subject to conditions	

### SPECIFIC REVIEW CRITERIA

Boulevard and Parkway Standards 88-323 – The subject property is west of a portion of property that was previously identified as right-of-way for a parkway; Searcy Creek Parkway is an established Parkway. Ordinance No. 220021 was introduced April of 2022, the ordinance called for a special election to remove an area of land on the west side of Searcy Creek Parkway between 210 Highway and approximately NE 36<sup>th</sup> street. The result of the election was to remove the land as parkway right-of-way, the parkway designation for Searcy Creek Parkway remains unchanged. Vehicle Storage and Towing is prohibited when adjacent to and within 150 feet of public parks, boulevards, or parkways. The applicant will be required to keep the subject property and the property to the east as two separate parcels to allow for the Vehicle Storage and Towing use on the property. Should the applicant combine the properties, they would require a deviation to allowed uses in the Boulevard and Parkway standards. An MPD district can only request deviations to the city's *Standards, Specifications, and Design Criteria* for streets, sidewalks, stormwater management and any other public improvements, not a use.

### Deviations –

1. The applicant is requesting a deviation to Section 88-450-03-B-1 requiring that pedestrian circulation systems connect all adjacent public rights-of-way to the main building. The proposed use will not create pedestrian circulation within the site or to adjacent rights-of-way as stated in the Operations document attached to this report.
2. The applicant is requesting a deviation to Section 88-450-03-B-2 requiring at least one connection to all adjacent properties. The applicant will not provide a connection to the adjacent properties.
3. The applicant is requesting a deviation to Section 88-425-06-E-1 requiring one (1) tree per five (5) parking spaces for the interior landscaping of parking lots. The applicant is proposing 368 trees instead of the required 634 trees.

4. The applicant is requesting a deviation to Section 88-425-06-E-2 requiring one (1) shrub per parking space for the interior landscaping of parking lots. The applicant is proposing 702 shrubs instead of the required 3,169 shrubs.
5. The applicant is requesting a deviation to Section 88-420-09-B-a requiring all nonresidential development to provide at least 3 short-term bicycle parking spaces or short-term bicycle spaces equal in number to at least 10% of the actual number of off-street vehicle parking spaces provided, whichever is greater. The applicant shall provide three short-term bicycle parking spaces instead of the required 317 short-term bicycle parking spaces. Staff is supportive of this deviation.
6. The applicant is requesting a deviation to Section 88-375-02-1 requiring all vehicle storage areas on the property must be located 500 feet from any R district along the north of the property. The applicant will require a 500-foot deviation along the north.
7. The applicant is requesting a deviation to Section 88-375-02-1 requiring all vehicle storage areas on the property must be located 500 feet from any R district along the west of the property. The applicant will require a 500-foot deviation along the west.
8. The applicant is requesting a deviation to Section 88-375-02-1 requiring all vehicle storage areas on the property must be located 500 feet from any R district along the east of the property. The applicant will require a 500-foot deviation along the east.
9. The applicant is requesting a deviation to Section 88-375-02-1 requiring all vehicle storage areas on the property must be located 500 feet from any R district along the south of the property. The applicant will require a 500-foot deviation along the south.

#### **Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**

The applicant amended the Briarcliff/Winnwood Area Plan in 2021 from Residential Low Density and Conservation to Industrial. The proposed amendment before you complies with the area plan. The proposed plan is not in compliance with the Zoning and Development Code, the applicant is requesting multiple deviations from the Code; including deviations to landscaping, connectivity, and placement of uses.

The applicant is proposing a use that is not in alignment with the recently adopted KC Spirit Playbook. A few of the KC Spirit Playbook goals state that new developments in the city contribute to the city's environmental sustainability and resiliency goals, lead to equitable and sustainable growth or revitalization, promote high quality design, fit within or add value to the character of the surrounding area, and improve access to daily needs. The applicant has stated that the proposed use will provide a centralized parking area for 14 of Ford's parking lots that are currently located throughout the city. The centralized location of the parking area will reduce the number of miles the vehicles have to be moved for storage. While staff agrees that a centralized parking area is a great addition, a different location for the parking lot would align more closely with the KC Spirit Playbook.

**B. The proposed use must be allowed in the district in which it is located;**

The proposed use was listed as a "prohibited use" in the previous MPD application, the applicant is seeking a major amendment to allow for Vehicle Storage and Towing on the property. Per the Zoning and Development Code, Vehicle Storage and Towing is not allowed within 500 feet of residential zoning districts, the applicant is requesting deviations on all sides of the property for this requirement. Should the major amendment to the MPD be approved with the associated deviations, the proposed use will be allowed on the subject property.

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

Vehicular ingress and egress is limited to one access point on NE Service Road. The road is in MoDOT jurisdiction, MoDOT has not completed their review of the project as of the publication of the staff report. Therefore, staff has included a condition stating that the applicant will be required to apply for and receive any permits as required by MoDOT. At the public engagement meeting the applicant held with the surrounding properties, those in attendance stated that the removal of the accesses point off North Brighton Avenue was an improvement and the one access point off NE Service Road was preferred. Staff has added a second condition stating, "should MoDOT have any concerns with the access to the site and require the access point be moved to a different location the applicant shall apply for and receive approval of a major amendment prior to issuance of any permit" to ensure the adjoining properties are informed of any changes to the access of the property should MoDOT require them.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

The applicant submitted operating standards, those standards describe a maximum of 6 employees on site at all time. The proposed amendment provides a sidewalk extension along the west side of the property and a 10' (foot) trail easement on the property to the east. There are no proposed connections from the existing sidewalk to the entrance of the site and no proposed internal connections. The applicant is seeking a deviation from the pedestrian standards; due to the lack of public access to the site and the proposed use of the property, staff is supportive of these deviations. The applicant is also seeking a deviation from the required number of bicycle parking spaces on site, due to the limited number of employees and nature of the proposed use, staff is supportive of this deviation. The applicant is proposing three bicycle parking spaces located next to the guard shack at the entrance of the property.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

The plan provides for adequate utilities based on City standards.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The proposed use includes a 3,169-space parking lot and guard shack. The property is adjacent to residential uses on the west and north, open space on the east, and highway 210 on the south. The amount of asphalt that is proposed is not compatible with the adjacent properties.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The applicant worked with staff to provide a 25-foot-wide landscape buffer along the north and west of the property. They are also proposing a wood fence around the entire use to act as a visual buffer from the adjacent properties and to reduce any noise pollution from the adjoining properties. The applicant is also proposing a circular turn around on the property to act as a drop off zone for the vehicles, the turnaround is located in the southeastern part of the property and will help reduce the noise that will be produced on site. The proposed lighting complies with the Zoning and Development Code. The applicant will retain the eastern property in its natural state.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The proposed use is a 3,169-parking space parking lot, the site of the parking lot has been graded. The vehicle storage facility will consist of heavy duty concrete and light-duty asphalt pavement. There is a small detention area to the south. While the proposed amount of asphalt is to be expected with the proposed use, the location of the use is not consistent with the character of the surrounding area. The access to the property is existing.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

The plan identifies which trees will be preserved during the development of the subject property. The property to the east will remain in its natural state, a line of trees on the south of the property will be preserved. The rest of the subject property has already been cleared of trees.

**Master Planned Developments (88-520-03-G)**

In reviewing and making decisions on proposed MPD rezonings and preliminary development plans, review and decision-making bodies must consider at least the following factors:

**A. The preliminary development plan's consistency with any adopted land use plans for the area;**

The applicant requested an area plan amendment in 2021 to allow for Industrial uses on the property, City Staff and the City Plan Commission recommended denial, however the request was approved via Resolution No. 210397 by City Council. The development plan is consistent with the Briarcliff/Winnwood Area Plan.

**B. The preliminary development plan's consistency with the MPD district provisions of 88-280; and**

Major Amendments to MPD districts require a complete review to all the criteria listed in the Master Planned Development section. Use of the MPD district can be used to accommodate development that may be difficult to carry out under otherwise applicable zoning district standards. Developments may benefit from the Master Planned Development tools when they include the following: Enhanced Protection of Natural Resources, Traditional Urban Development, Mixed-Use Development, and Mixed Housing Development. The proposed amendment does not use the above listed tools that are required

for MPD zoned districts. The land to the east of the property was previously listed as a parkway right-of-way, the applicant recently purchased the property and will keep it in its native state. The proposed amendment is located on a property that previously received approval of an MPD, therefore all the previous tree canopy was removed, and grading began.

The MPD district is intended to accommodate development that may be difficult to carry out under the applicable zoning district ordinances. The proposed use is listed as a "prohibited use" in the previous MPD application, the applicant is seeking a major amendment to allow for Vehicle Storage and Towing on the property. The proposed use is not allowed within 500 feet of residential zoning districts, the applicant is requesting deviations on all sides for this requirement.

Section 88-280-01-B of the code describes the objectives that MPD are intended to promote.

1. flexibility and creativity in responding to changing social, economic, and market conditions and that results in greater public benefits than could be achieved using conventional zoning and development regulations;

- Staff Review: The proposed use could be placed in an M1 zoning district further than 150 feet from a park, boulevard, or parkway. The use on a different lot with an M1 zoning district would remove the need for four deviations.

2. implementation and consistency with the city's adopted plans and policies;

- Staff review: The Briarcliff/Winnwood Area Plan was amended to allow for Industrial land uses in 2021. Staff believes that the proposed use of the property does not align with the goals of the KC Spirit Playbook.

3. efficient and economical provision of public facilities and services;

- Staff review: The proposed use is a private facility and will have a staff of 6-7 employees on site daily, and a maximum of 20 people assigned to the site. All accesses to the property are already placed.

4. sustainable, long-term communities that provide economic opportunity and environmental and social equity for residents;

- Staff review: No residential uses are proposed. The lot is proposed to be covered in heavy duty asphalt for a 3,169-space parking lot. This use is a drastic change from the residential and open spaces uses to the west, north, and east. The large amount of asphalt and lack of trees throughout the site will contribute to the heat island effect and runoff quantities in the area.

5. variety in housing types and sizes to accommodate households of all ages, sizes, incomes and lifestyle choices;

- Staff review: No residential is proposed for the site.

6. compact, mixed-use development patterns where residential, commercial, civic, and open spaces are located in close proximity to one another;

- Staff review: No residential or mixed uses are proposed for the site. The lot to the east of the subject property will remain in it's natural state.

7. a coordinated transportation system that includes an inter-connected hierarchy of appropriately designed improvements for pedestrians, bicycles, and vehicles;

- Staff review: No coordinated transportation system designed for pedestrians, bicycles, or vehicles is proposed on the site. The applicant has proposed to extend the sidewalk on the west to the NE Service Road and has shown a trail easement on the property to the east as required by the KC Trails Plan.

8. compatibility of buildings and other improvements as determined by their arrangement, massing, form, character, and landscaping to establish a high-quality livable environment;

- Staff review: The proposed use is a 3,169-space parking lot. The access to the property is located on NE Service Road, while the removal of access points on North Brighton Avenue is an improvement to the previous plan, the drastic increase in impervious surface on the property does not encourage a high-quality livable environment. The applicant has worked with staff to increase the landscaping to the north and west to provide a better buffer of the proposed use from the residential uses.

9. the incorporation of open space amenities and natural resource features into the development design;

- Staff review: The applicant previously received approval of an MPD to allow for two warehouses, the lot has been cleared of trees and grading has been initiated. The property to the east was recently acquired by the applicant and will be retained in it's natural state.

10. low-impact development (LID) practices; and

- Staff review: The applicant is proposing a 3,169-space parking lot. The applicant is proposing native vegetation along the areas of steep grade and detention areas. All the trees were removed prior to the submittal of this application.

11. attractive, high-quality landscaping, lighting, architecture, and signage that reflects the unique character of the development.

- Staff review: The applicant is providing lighting and landscaping in compliance with the zoning and development code. The applicant is proposing a wood fence as an added buffer to the proposed use. Signage has not been reviewed with this application and will require a sign permit in compliance with Section 88-445.

**C. The sufficiency of the terms and conditions proposes to protect the interest of the public and the residents of the MPD in the case of a plan that proposes development over a long period of time.**

The proposed conditions will protect the interest of the public of the properties surrounding the MPD. Staff has included a condition that requires a Major Amendment should the access to the property change since the public that attended the public engagement meeting state a preference to no access points on North Brighton Avenue. Staff has added another condition requiring a Minor

Amendment should the applicant decide to store electric vehicles on site, the fire department is concerned with the random combustibility of electric vehicles. Electric vehicle fires are virtually impossible to put out, leaving the fire fighters to watch as the vehicle burns. Due to the number of parking spaces proposed, if the applicant wishes to store electric vehicles on site, a minor amendment would ensure the Fire Department can review any proposed changes to the parking layout and assess accessibility and distancing for the vehicles. The proposed conditions will also ensure the property is properly screened from the adjacent properties.

**ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. Public Testimony

**PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **DENIAL** as stated in the conditions report.

Respectfully Submitted,



Larisa Chambi, AICP  
Lead Planner



## Plan Conditions

Report Date: November 02, 2023

Case Number: CD-CPC-2023-00151

Project: Brighton Parking

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*Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816) 513-8822 / [Larisa.Chambi@kcmo.org](mailto:Larisa.Chambi@kcmo.org) with questions.*

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
2. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
3. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
4. The developer shall secure approval of an MPD Final Plan from the City Plan Commission prior to building permit.
5. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
6. That Ordinance No. 210398, including conditions 23, 24, 25, 26, 35, and 36 shall remain in full force and effect.
7. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
8. The developer shall submit an affidavit, completed by an ISA certified arborist, an SAF certified forester, a professional engineer, or a landscape architect licensed in the State of Missouri, verifying that all trees preserved and all trees planted to meet mitigation required of the approved plan, whichever is applicable, has been installed or preserved in accordance with the plan and is healthy prior to Certificate of Occupancy.
9. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in 88-424. This requirement shall be satisfied prior to certificate of occupancy.
10. That a deviation be granted to Section 88-420-09-B-a requiring all nonresidential development to provide at least 3 short-term bicycle parking spaces or short-term bicycle spaces equal in number to at least 10% of the actual number of off-street vehicle parking spaces provided, whichever is greater. The developer shall provide three short-term bicycle parking spaces instead of the required 317 short-term bicycle parking spaces.
11. That a deviation be granted to Section 88-450-03-B-2 requiring at least one connection to all adjacent properties. The developer will not provide a connection to the adjacent properties.
12. That a deviation be granted to Section 88-375-02-1 requiring all vehicle storage areas on the property must be located 500 feet from any R district along the west of the property. The developer will require a 500 foot deviation along the west.
13. That a deviation be granted to Section 88-450-03-B-1 requiring that pedestrian circulation systems connect all adjacent public rights-of-way to the main building.
14. No electric vehicles shall be stored on this site. Should the property owner decide to place electric vehicles on the subject property, approval of a minor amendment to the approved MPD will be required prior to the placement of electric vehicles on the site will be required.
15. That a deviation be granted to Section 88-375-02-1 requiring all vehicle storage areas on the property must be located 500 feet from any R district along the north of the property. The developer will require a 500 foot deviation along the north.

*Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816) 513-8822 / Larisa.Chambi@kcmo.org with questions.*

16. That a deviation be granted to Section 88-375-02-1 requiring all vehicle storage areas on the property must be located 500 feet from any R district along the east of the property. The developer will require a 500 foot deviation along the east.
17. That a deviation be granted to Section 88-375-02-1 requiring all vehicle storage areas on the property must be located 500 feet from any R district along the south of the property. The developer will require a 500 foot deviation along the south.
18. That a deviation be granted to Section 88-425-06-E-1 requiring one (1) tree per five (5) parking spaces for the interior landscaping of parking lots. The applicant is proposing 368 trees instead of the required 634 trees.
19. That a deviation be granted to Section 88-425-06-E-2 requiring one (1) shrub per parking space for the interior landscaping of parking lots. The applicant is proposing 702 shrubs instead of the required 3,169 shrubs.
20. The applicant shall apply for and receive approval of any necessary permit as required by the Missouri Department of Transportation (MoDOT).
21. Should the Missouri Department of Transportation request that the access point be moved to any adjoining street, the applicant shall be required to apply for and receive approval of a Major Amendment to the MPD prior to the issuance of any permits.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

22. The developer shall secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.
23. The developer shall dedicate additional right of way [and provide easements] for N. Brighton Ave as required by the adopted [Major Street Plan and/or Chapter 88] so as to provide a minimum of 50 feet of right of way as measured from the centerline, along those areas being platted.
24. The developer shall submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division.
25. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
26. The developer shall submit a streetscape plan for approval and permitting to the Land Development Division showing the streetscape improvements in the public right of way, the construction of ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired, and a street tree planting plan in compliance with 88-425-03 for review by the Parks and Recreation Department, Land Development Division, and Development Management Division prior to building permit.
27. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
28. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

29. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
30. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

31. The shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
32. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2) Fire hydrant distribution shall follow IFC-2018 Table C102.1

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

33. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.  
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
34. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact - Bryan Wagner 816-513-0275  
North of River contact - Pedro Colato 816-513-4892

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

35. The developer must grant a BMP and/or Surface Drainage Easements to the City as required by the Land Development Division and KC Water, prior to recording the plat or issuance of any building permits.

MAJOR AMENDMENT TO APPROVED  
MASTER PLANNED DEVELOPMENT (MPD) PLAN  
FOR  
BRIGHTON VEHICLE LOGISTICS CENTER

LOCATED AT  
3363 N. BRIGHTON AVE  
KANSAS CITY, MO 64117

LEGAL DESCRIPTIONS

TRACT 1 LEGAL DESCRIPTION:

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 50 NORTH, RANGE 32 WEST, IN KANSAS CITY, CLAY COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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PROJECT TEAM

DEVELOPER  
PRECISION VEHICLE HOLDINGS  
4401 FLETCHER STREET  
WAYNE, MI 48184  
TEL: (734) 716-1282  
CONTACT: DEAN ANOS

CIVIL ENGINEER, LANDSCAPE ARCHITECT, & LIGHTING  
KIMLEY-HORN AND ASSOCIATES, INC.  
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ATTORNEY  
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EMAIL: PJENSEN@ROUSEPC.COM

MPD LIST OF INFRASTRUCTURE DEVIATIONS  
FOR  
BRIGHTON VEHICLE LOGISTICS CENTER

The proposed MPD zoning allows the developer the option to deviate from "Typical" development standards. Because of this, the following Deviations are being requested:

1. Required Distance of Vehicular Storage Areas from Residential Districts

Per City requirements, all vehicular storage areas on the property must be located at least 500 feet from any Residential district. This MPD plan requests the following deviations:

- a. Deviation of 439.2 Feet to the West  
b. Deviation of 500 Feet to the North

2. Required Bicycle Parking Spaces for all Nonresidential Development

Per City requirements, all nonresidential development requires three (3) short term bicycle parking spaces or at least 10% of the actual number of off-street vehicle parking spaces provided, whichever is greater. This would result in 317 bicycle parking spaces, which is not justified with the proposed use. This MPD plan requests that only three (3) long-term bicycle parking spaces be provided instead.

3. Interior Landscape of Parking Lots - Required Tree Plantings

Per City requirements, one (1) tree is required per five (5) proposed parking spaces, resulting in 634 new trees in the proposed development. This MPD plan requests that 368 trees as well as the preservation of 8.1 acres of existing native vegetation be sufficient instead.

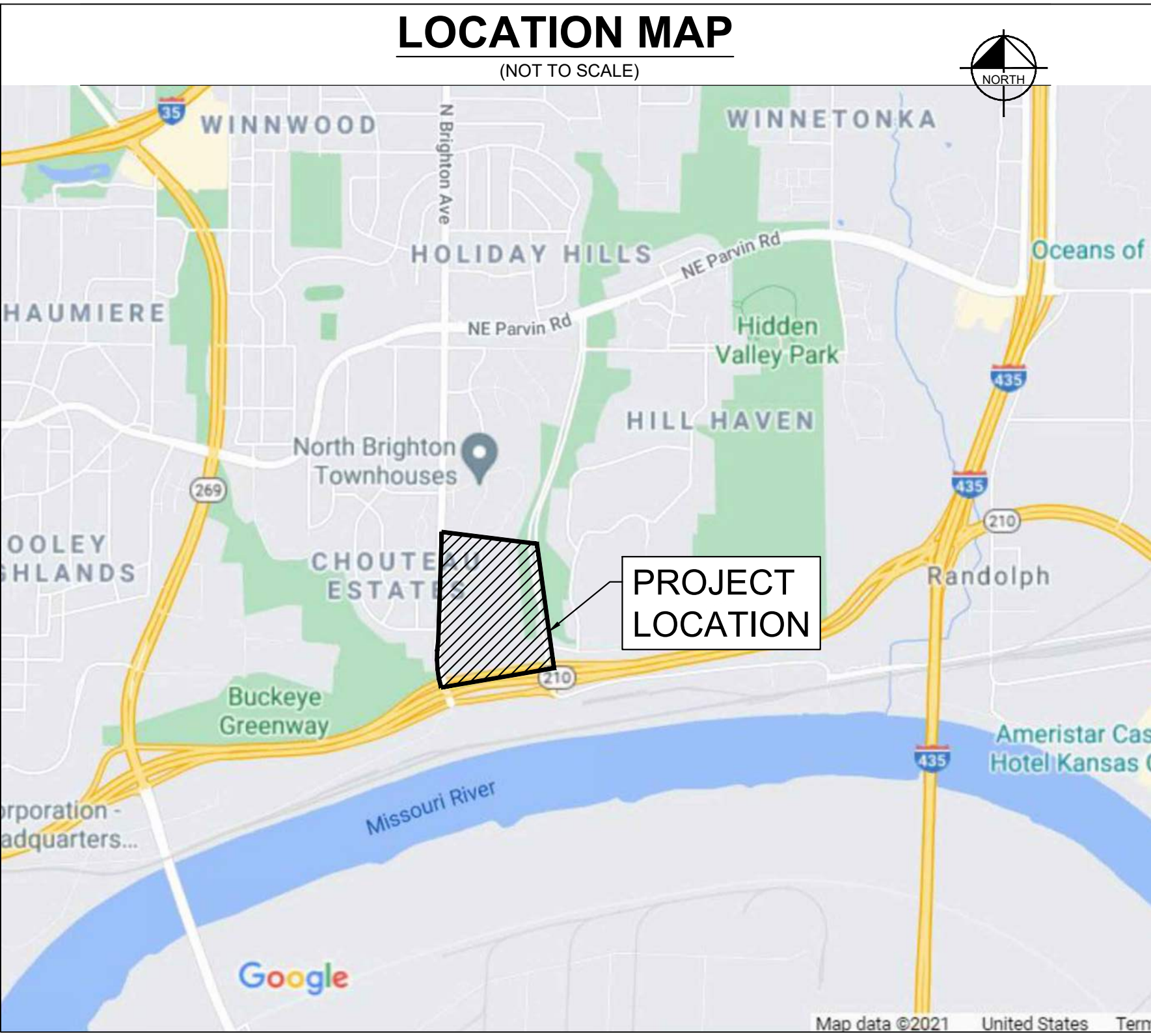
4. Interior Landscape of Parking Lots - Required Shrub Plantings

Per City requirements, one (1) shrub is required per one (1) proposed parking spaces, resulting in 3,169 new shrubs in the proposed development. This MPD plan requests that 702 shrubs as well as the preservation of 8.1 acres of existing native vegetation be sufficient instead.

PROJECT STATEMENT: THE PROPOSED SITE IS PLANNED FOR NEW VEHICLE STAGING WITH LIMITED TRAFFIC AND LIMITED NUMBER OF EMPLOYEES. ELECTRIC VEHICLES WILL NOT TO BE STORED ON THIS SITE WITHOUT FURTHER APPROVAL FROM THE FIRE DEPARTMENT THROUGH APPROVAL OF A MINOR AMENDMENT TO THE MDP DEVELOPMENT PLAN.

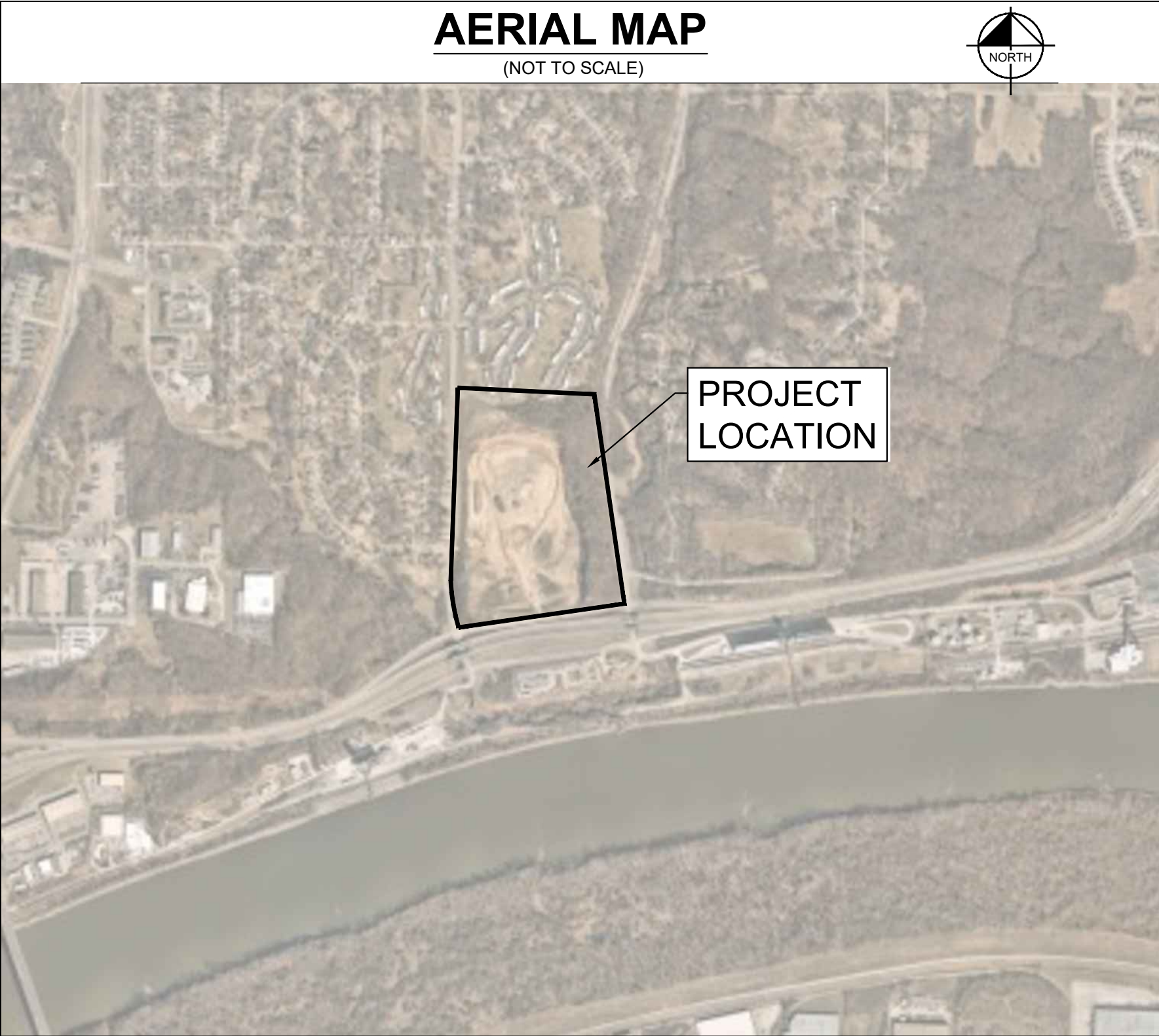
LOCATION MAP

(NOT TO SCALE)



AERIAL MAP

(NOT TO SCALE)



Sheet List Table

Sheet Number	Sheet Title
C0	COVER SHEET
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3	GRADING & UTILITY PLAN
L0	TREE PRESERVATION KEY
L1	TREE PRESERVATION PLAN
L2	TREE PRESERVATION PLAN
L3	TREE PRESERVATION PLAN
L4	TREE PRESERVATION PLAN
L5	TREE PRESERVATION PLAN
L6	TREE PRESERVATION PLAN
L9	LANDSCAPE KEY
L10	LANDSCAPE PLAN
L11	LANDSCAPE PLAN
L12	LANDSCAPE PLAN
L13	LANDSCAPE PLAN
L14	LANDSCAPE PLAN
L15	LANDSCAPE PLAN
L16	LANDSCAPE STREETSCAPE PLAN
L17	LANDSCAPE STREETSCAPE PLAN
L18	LANDSCAPE STREETSCAPE PLAN
L19	SPECIES DIVERSITY DATA
L23	COLORLED SITE PLAN
L24	SCREENING PERSPECTIVE VIEW
L25	SCREENING PERSPECTIVE VIEW
L26	SCREENING PERSPECTIVE VIEW
PH1	SITE PHOTOMETRIC PLAN
PH2	SITE PHOTOMETRIC PLAN

SURVEY LEGEND

- - MONUMENT FOUND AS NOTED
- - SET MONUMENT AS NOTED
- - FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
- - SET 1/2" IRON BAR AT CORNER W/ J & J CAP
- (P) - PLATTED DISTANCE
- (M) - MEASURED DISTANCE
- (R) - RECORD DISTANCE
- (D) - DEED DISTANCE
- B/L - BUILDING SETBACK LINE
- U/E - UTILITY EASEMENT
- [W] - WATER METER
- ⊗ - WATER VALVE
- ⚡ - FIRE HYDRANT
- ⚡ - POWER POLE
- - GUY WIRE
- OHE — - OVERHEAD ELECTRIC

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KANSAS CITY, MO 64105  
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PHONE: 816-652-0350  
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EXPIRES 12/31/23

SCALE:  
AS NOTED

DESIGNED BY: AB

DRAWN BY: AB

CHECKED BY: TW

NOT FOR  
CONSTRUCTION

PRECISION  
VEHICLE LOGISTICS

COVER SHEET

BRIGHTON  
VEHICLE LOGISTICS  
CENTER

3363 N. BRIGHTON AVE.  
KANSAS CITY, MO 64117

ORIGINAL ISSUE:

09/15/2023

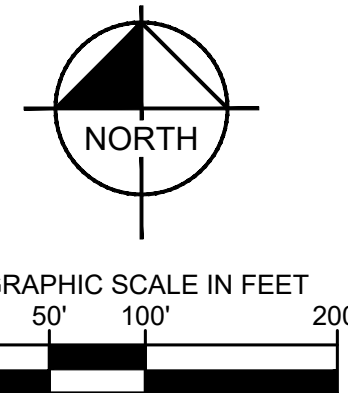
KHA PROJECT NO.

268399000

SHEET NUMBER

C0

Drawing name: K:\KNC\_LDE\A\268399000\_Brighton Parking\2 Design\CAD\PlanSheets\0001 - EXISTING CONDITIONS.dwg    Layout1    Oct 31, 2023    9:34am    by: Adam Bendick  
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LEGAL DESCRIPTIONS

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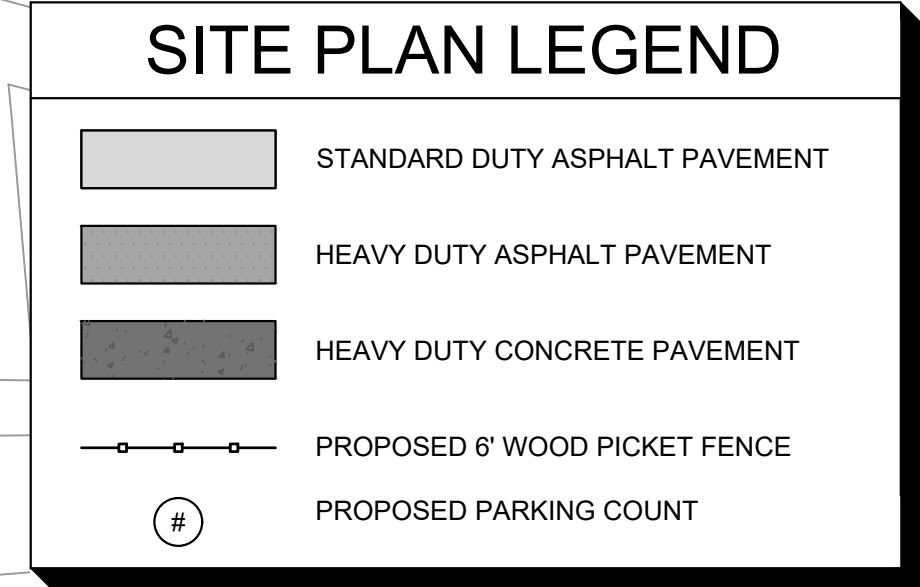
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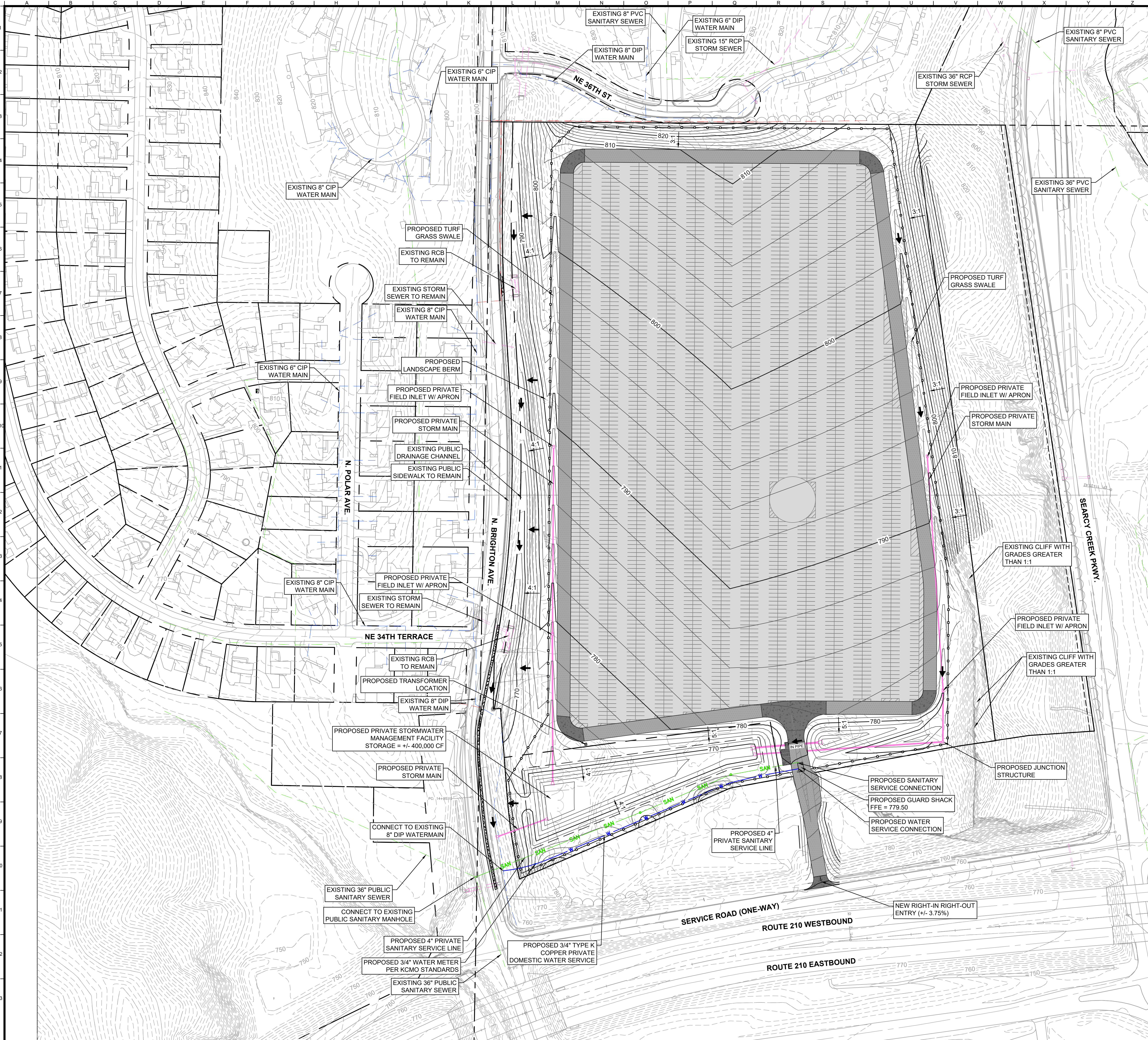
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BY	
DATE	
REVISIONS	
No.	
Kimley»Horn	
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SCALE:	AS NOTED
DESIGNED BY:	AB
DRAWN BY:	AB
CHECKED BY:	TW
NOT FOR CONSTRUCTION	
PRECISION VEHICLE LOGISTICS	
EXISTING CONDITIONS	
BRIGHTON VEHICLE LOGISTICS CENTER 3363 N. BRIGHTON AVE. KANSAS CITY, MO 64117	
ORIGINAL ISSUE:	09/15/2023
KHA PROJECT NO.	268399000
SHEET NUMBER	C1



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## STORM WATER NOTES

**EXISTING DRAINAGE CONDITIONS**  
THE EXISTING SITE GENERALLY SURFACE DRAINS SOUTH EAST TO AN EXISTING DRAINAGE CHANNEL NEAR THE WESTERN EDGE OF THE PROPERTY, OR DRAINS EAST ONTO SEACRY CREEK PARKWAY. THE RUNOFF ULTIMATELY IS COLLECTED INTO PUBLIC STORM SEWER AND DRAINED SOUTH ACROSS THE HIGHWAY.

**PROPOSED DRAINAGE CONDITIONS**  
PROPOSED DRAINAGE CONDITIONS WILL BE LARGELY UNCHANGED FROM EXISTING CONDITIONS. SITE STORMWATER WILL BE COLLECTED & CONVEYED THROUGH A PRIVATE STORM SYSTEM AND ROUTED TO THE PROPOSED EXTENDED DRY DETENTION BASIN LOCATED IN THE SOUTHWEST CORNER OF THE SITE. THE STORMWATER WILL BE DETAINED AND RELEASED AT PRE-DEVELOPMENT RATES TO THE EXISTING PUBLIC DRAINAGE CHANNEL ALONG THE WESTERN EDGE OF THE PROPERTY. THE UNDISTURBED AREA DRAINING TOWARDS SEACRY CREEK PARKWAY WILL BE REDUCED, IMPROVING FLOW RATES COMPARED TO THE PREDEVELOPMENT CONDITION.

**STORMWATER & BMP REQUIREMENTS**  
THE STORMWATER ON SITE WILL BE TREATED PER THE 2008 MARC BMP MANUAL ADOPTED BY KCMO. RUNOFF WILL BE ROUTED THROUGH TWO TURF GRASS SWALES, WHICH CONVEYS FLOW SOUTHWEST TOWARDS THE EXTENDED DRY DETENTION BASIN, RESULTING IN A TREATMENT TRAIN. ADDITIONALLY, PRESERVED AND ESTABLISHED NATIVE VEGETATION IS INTEGRATED INTO THE SITE DESIGN.

## GENERAL NOTES

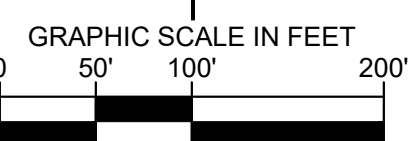
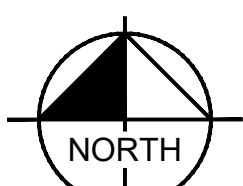
1. THE GRADING SHOWN IS CONCEPTUAL IN NATURE AND SHOULD NOT BE VIEWED AS FINAL CONSTRUCTION DOCUMENT OR PERMIT LEVEL OF DESIGN. FINE GRADING (SPOT ELEVATIONS) WILL BE INCLUDED AS PART OF THE PERMIT SUBMITTAL, FOLLOWING CPC APPROVAL.
2. EROSION CONTROL MEASURES (SILT FENCE, TRIANGULAR SILT DIKE, INLET PROTECTION, ETC.) WILL BE DOCUMENTED AS PART OF THE PERMIT SUBMITTAL, FOLLOWING CPC APPROVAL.
3. ALL PROPOSED UTILITIES SHALL BE PRIVATE UTILITIES UNLESS OTHERWISE NOTED.

## GRADING LEGEND

- XXX PROPOSED CONTOUR
- XXX EXISTING CONTOUR
- OVERFLOW PATH

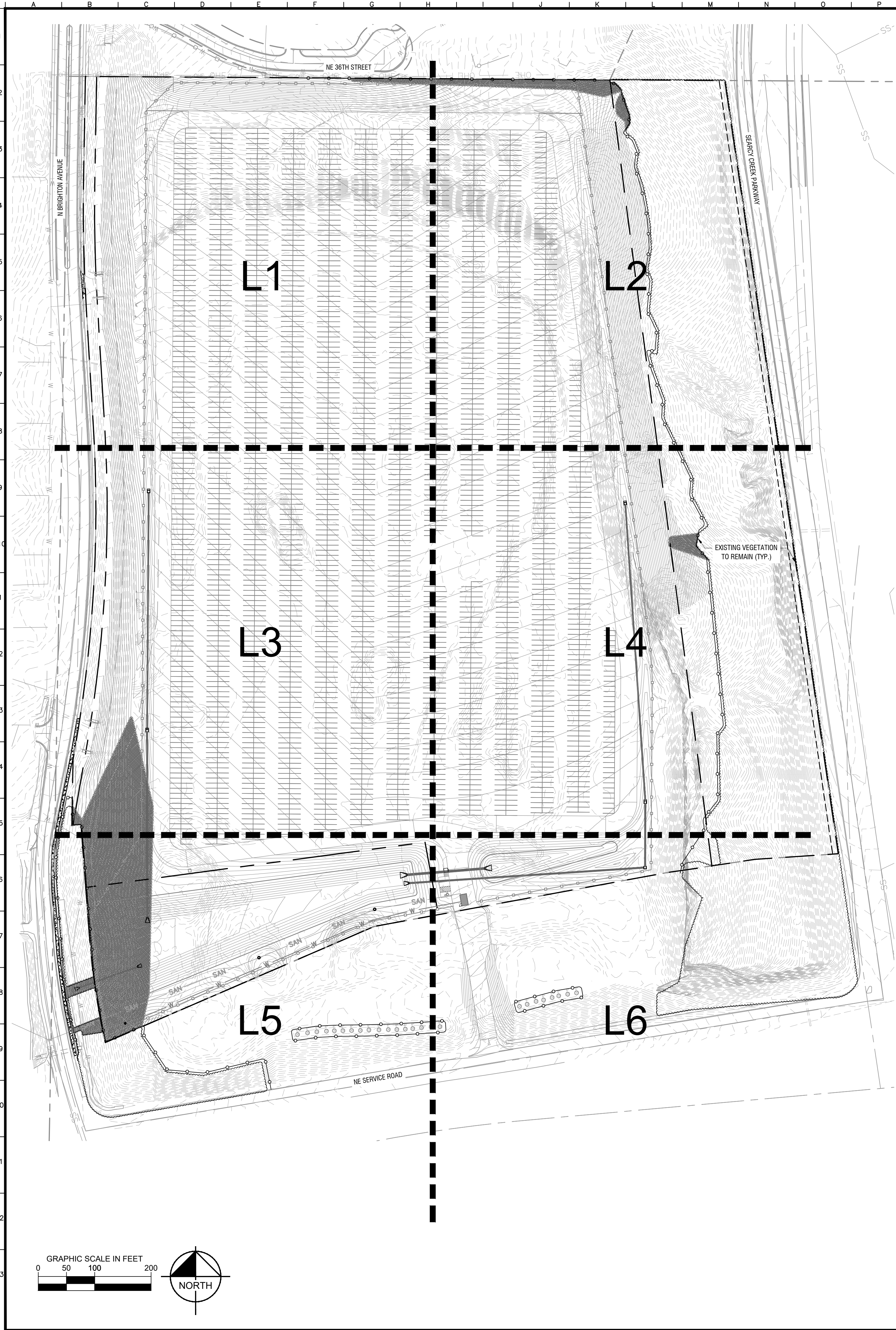
## UTILITY LEGEND

- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM LINE
- PROPOSED FIELD INLET W/ APRON
- PROPOSED WATER LINE



Kimley»Horn		BY	
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		CHECKED BY:	TW
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PRECISION VEHICLE LOGISTICS			
BRIGHTON & VEHICLE LOGISTICS CENTER 3963 N. BRIGHTON AVE. KANSAS CITY, MO 64117			
ORIGINAL ISSUE: 09/15/2023			
KHA PROJECT NO. 268399000			
SHEET NUMBER C3			

Drawing name: K:\KNC\_LDEA\268399000\_Brighton Parking\2 Design\CAO\PlanSheets\200 - TREE PRESERVATION PLAN.dwg KEY (1) Oct 31, 2023 11:21am by: cspoon.spher  
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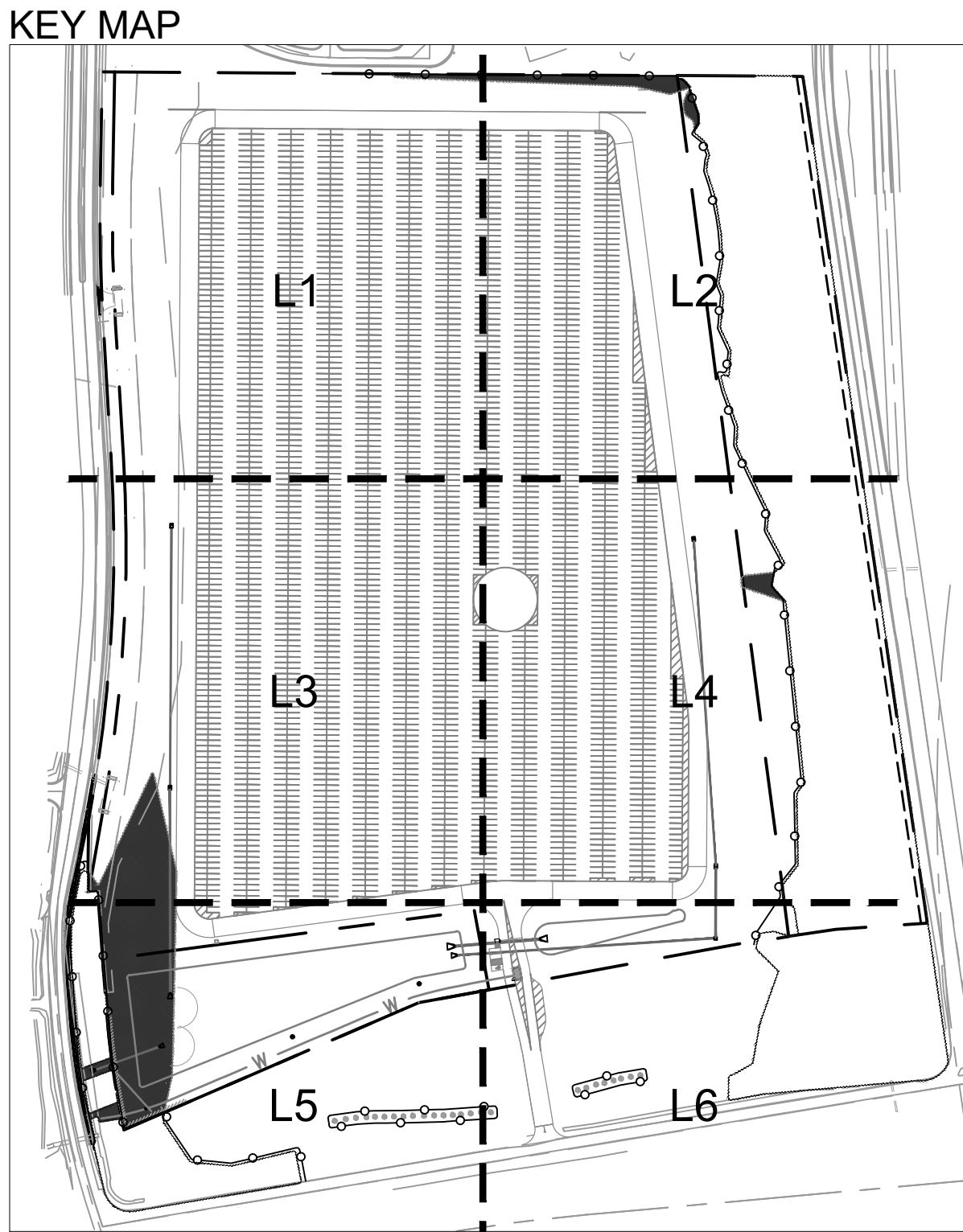
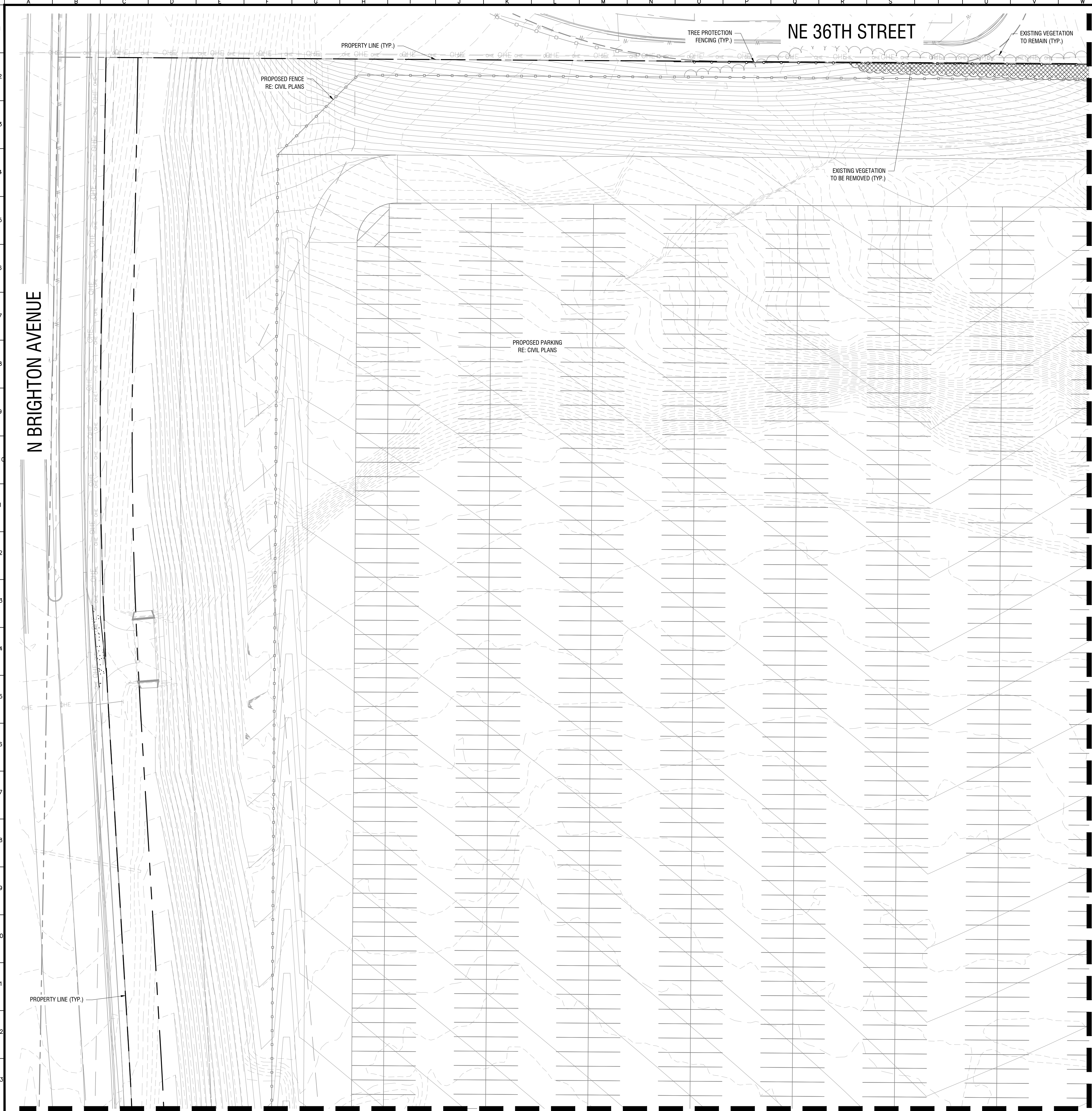


- TREE PROTECTION NOTES:
1. CONTRACTOR SHALL ADHERE TO ALL TREE PRESERVATION REQUIREMENTS LISTED IN THE TREE PRESERVATION SPECIFICATIONS AND/OR THE CITY OR COUNTY ZONING CODE (LATEST EDITION)—WHICHEVER IS MORE STRINGENT SHALL APPLY.
  2. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
  3. ANY DEMOLITION OR EXCAVATION WITHIN THE DRIP LINE OF AN EXISTING TREE SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING, AIR KNIFE EXCAVATION, AND/OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS, OR SOIL. CONTRACTOR SHALL COORDINATE SUCH PROCEDURES WITH THE PROJECT ARBORIST.
  4. EXISTING TREE LOCATIONS AND AREAS ARE ESTIMATES BASED ON AERIAL PHOTOGRAPHY DATED FEBRUARY 23RD, 2023. CONTRACTOR TO FIELD-VERIFY LOCATION OF EXISTING VEGETATION AND NOTIFY THE LANDSCAPE ARCHITECT AND PROJECT ARBORIST OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
  5. NO SIGNS, BUILDING PERMITS, WIRES, OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
  6. CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
  7. DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINE, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE UNLESS OTHERWISE NOTED—REFERENCE TREE PRESERVATION DETAILS.
  8. CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
  9. IF TREE ROOT ZONE IS TO BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
  10. ROOT PRUNING/TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
  11. CONTRACTOR TO COORDINATE ALL EARTHWORK OPERATIONS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
  12. IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
  13. CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS SHALL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
  14. NO MATERIALS, EQUIPMENT, SPOIL, WASTE, OR WASHOUT WATER MAY BE DISPOSED, STORED, OR PARKED WITHIN 20 FEET OF ANY TREE PROTECTION ZONE.
  15. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO REMOVAL OF TREE PROTECTION FENCING.

Tree Preservation Calculation	
Existing Tree Area:	Preserved Tree Area:
Approx. 9.5 Acres	Approx. 8.0 Acres
Note: Area calculations are approximations based upon aerial photography dated February 23rd, 2023. Actual site conditions may differ.	

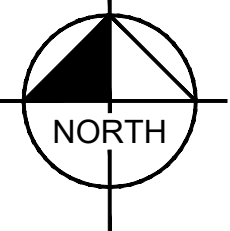
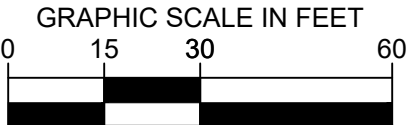
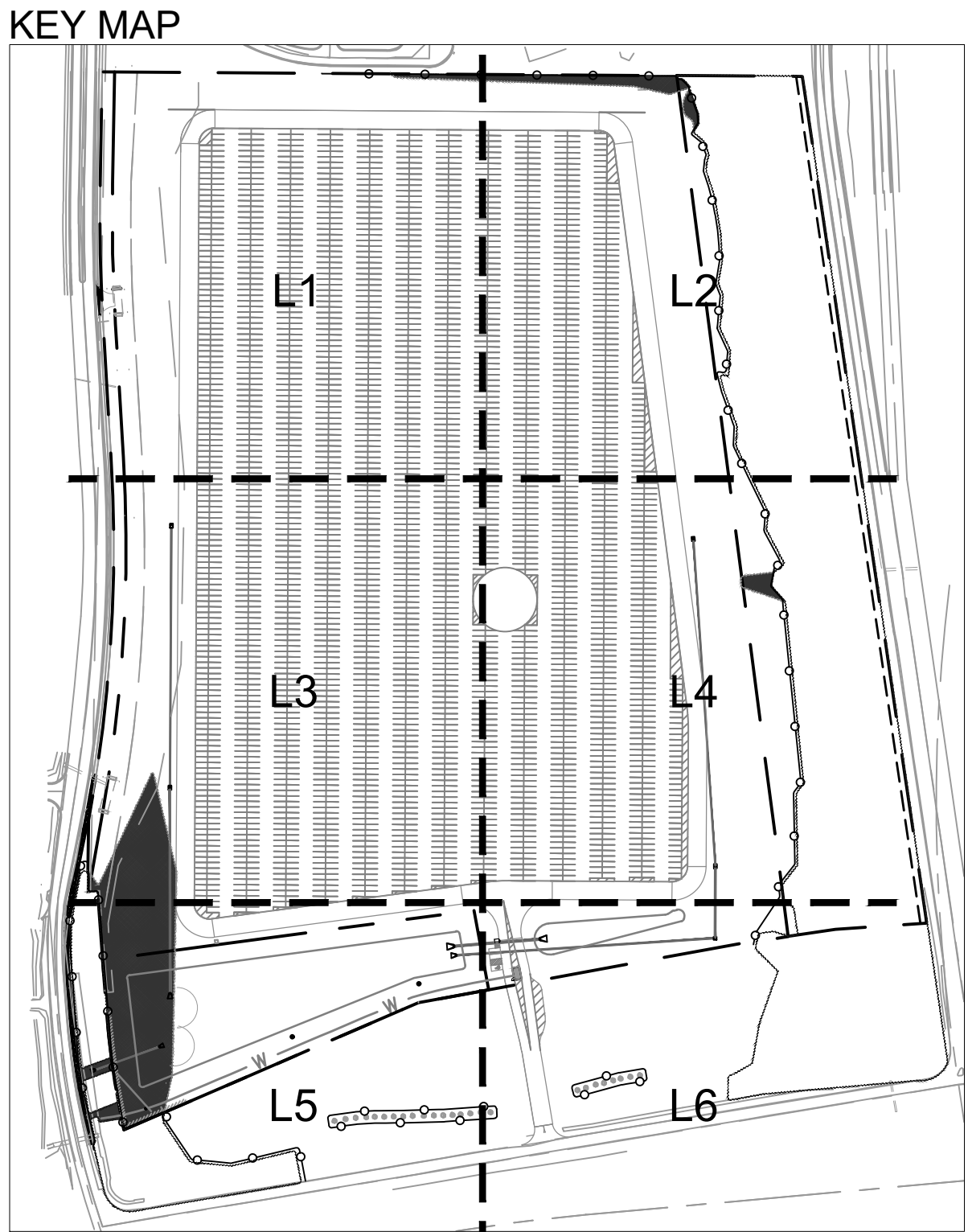
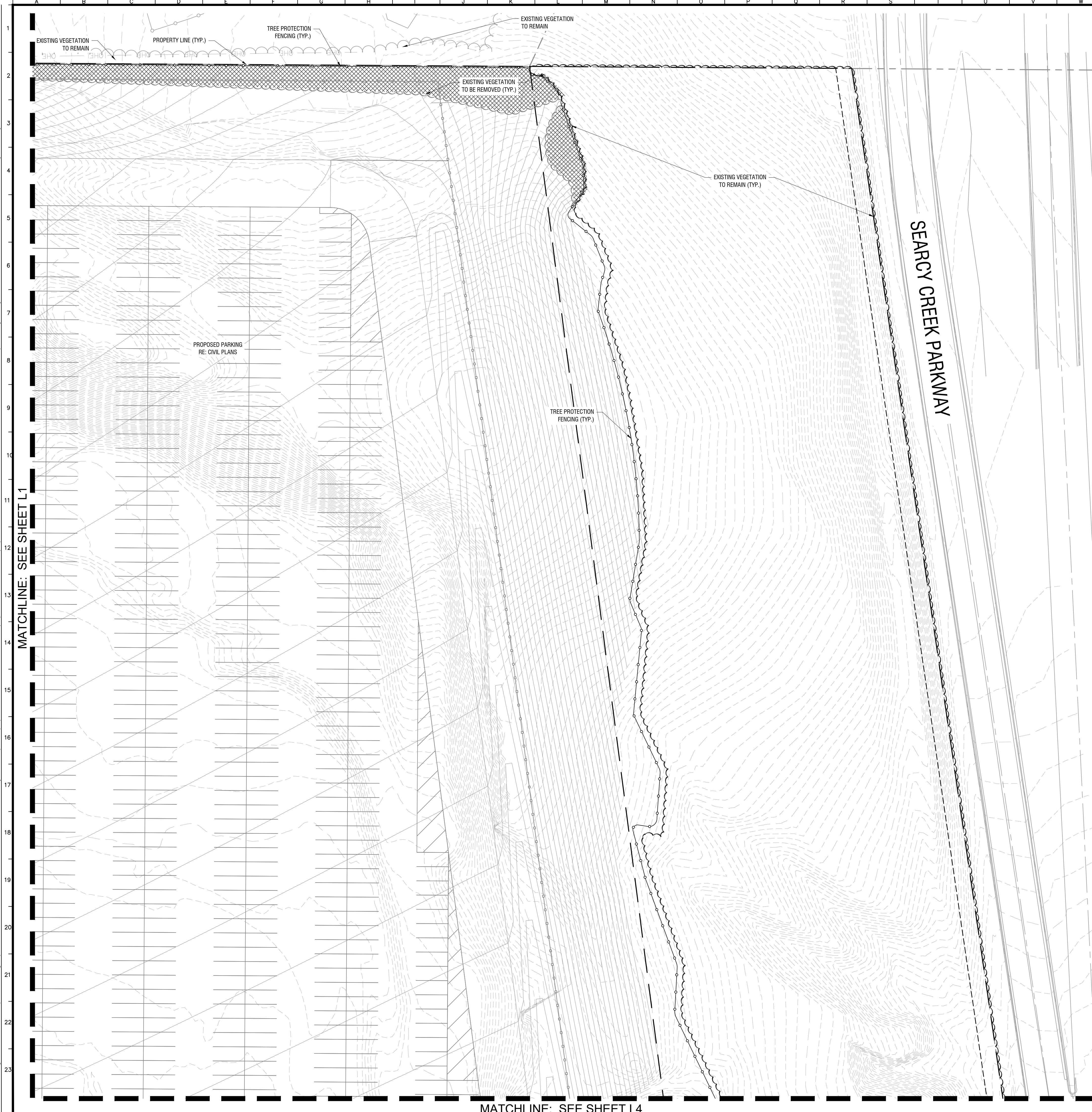
BRIGHTON VEHICLE LOGISTICS CENTER 3363 N. BRIGHTON AVE. KANSAS CITY, MO 64117		TREE PRESERVATION KEY				 © 2023 KIMLEY-HORN AND ASSOCIATES, INC. PENNSYLVANIA AVE., SUITE 100 KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM EPA REGISTRATION NO. 1001512 EPA REG. 1001512		NO. _____		REVISIONS		DATE	BY		
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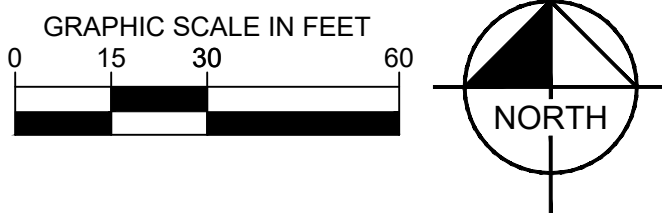
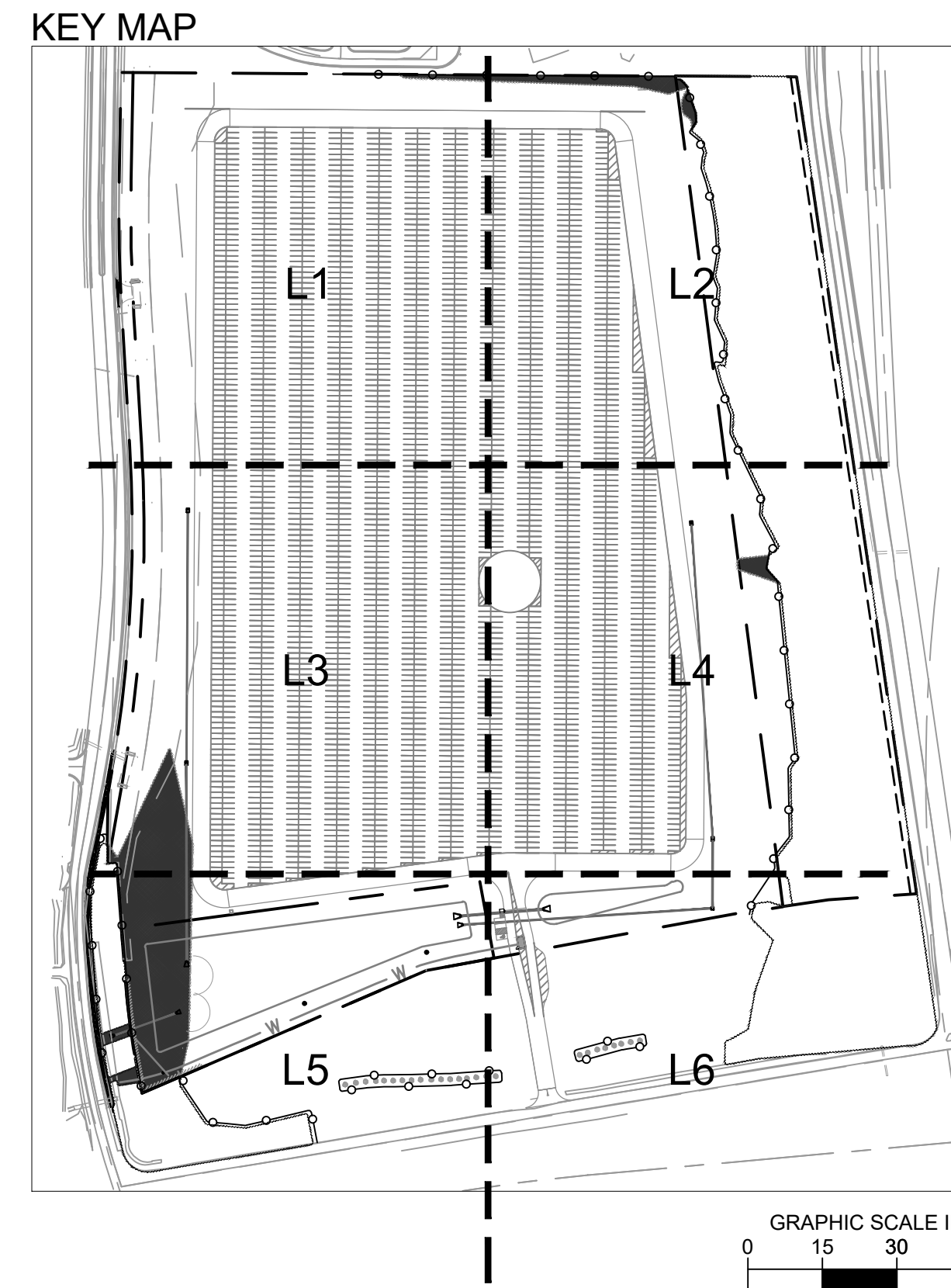
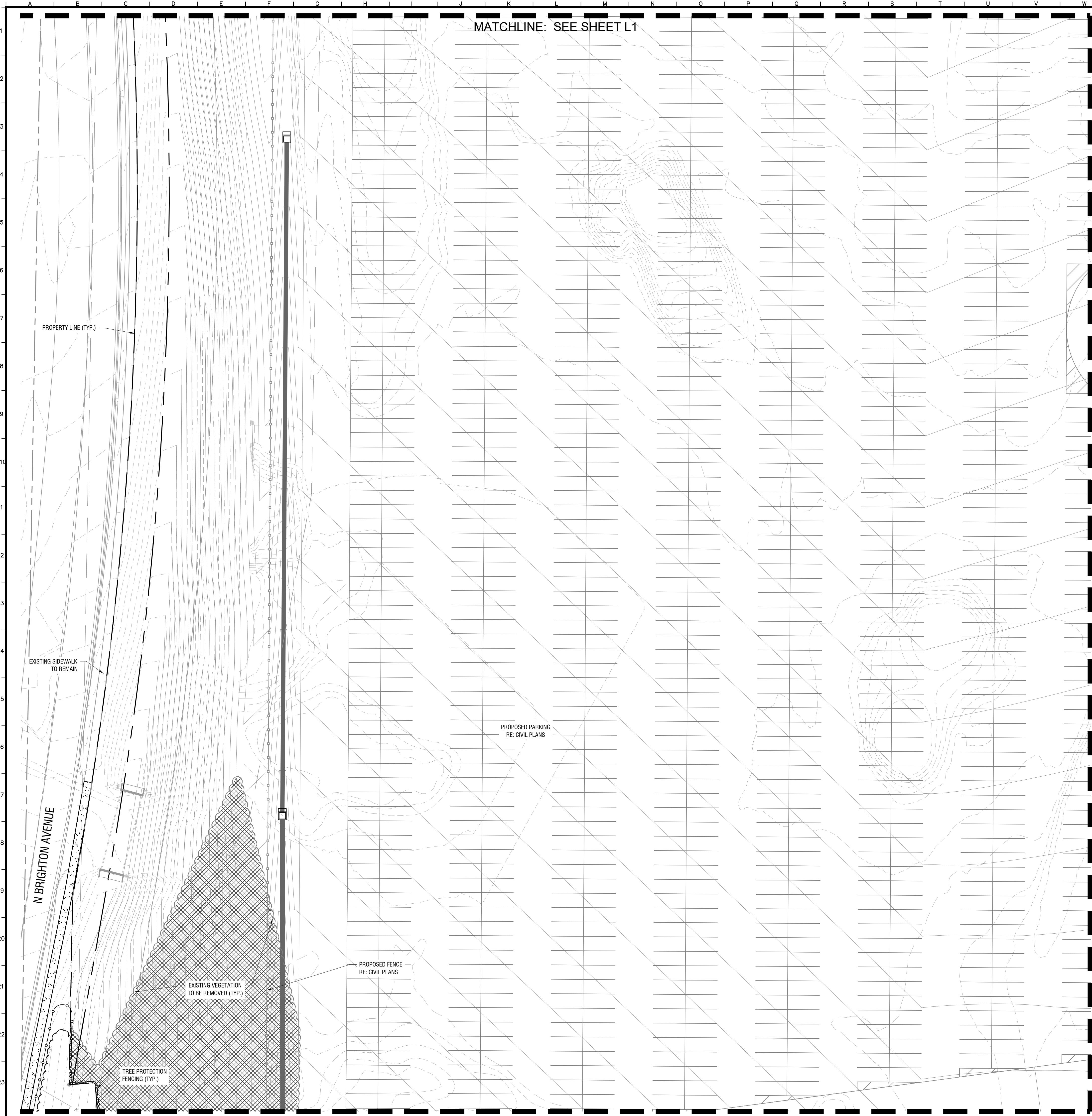
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	ORIGINAL ISSUE: 10/31/2023	KHA PROJECT NO. 268399000						
L2								

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<p><b>BRIGHTON VEHICLE LOGISTICS CENTER</b></p> <p>3363 N. BRIGHTON AVE. KANSAS CITY, MO 64117</p>	<p><b>TREE PRESERVATION PLAN</b></p>
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KHA PROJECT NO. 268399000
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L3

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SCALE:	AS NOTED
DESIGNED BY:	AMS
DRAWN BY:	CMS
CHECKED BY:	SAR

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CONSTRUCTION



# TREE PRESERVATION PLAN

**BRIGHTON  
VEHICLE LOGISTICS  
CENTER**  
3363 N. BRIGHTON AVE.  
KANSAS CITY, MO 64117

ORIGINAL ISSUE: 10/31/2023
KHA PROJECT NO. 268399000
SHEET NUMBER

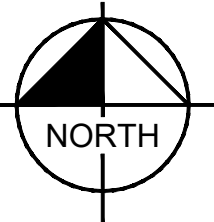
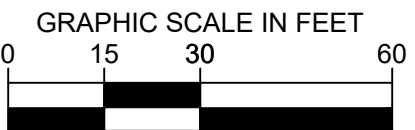
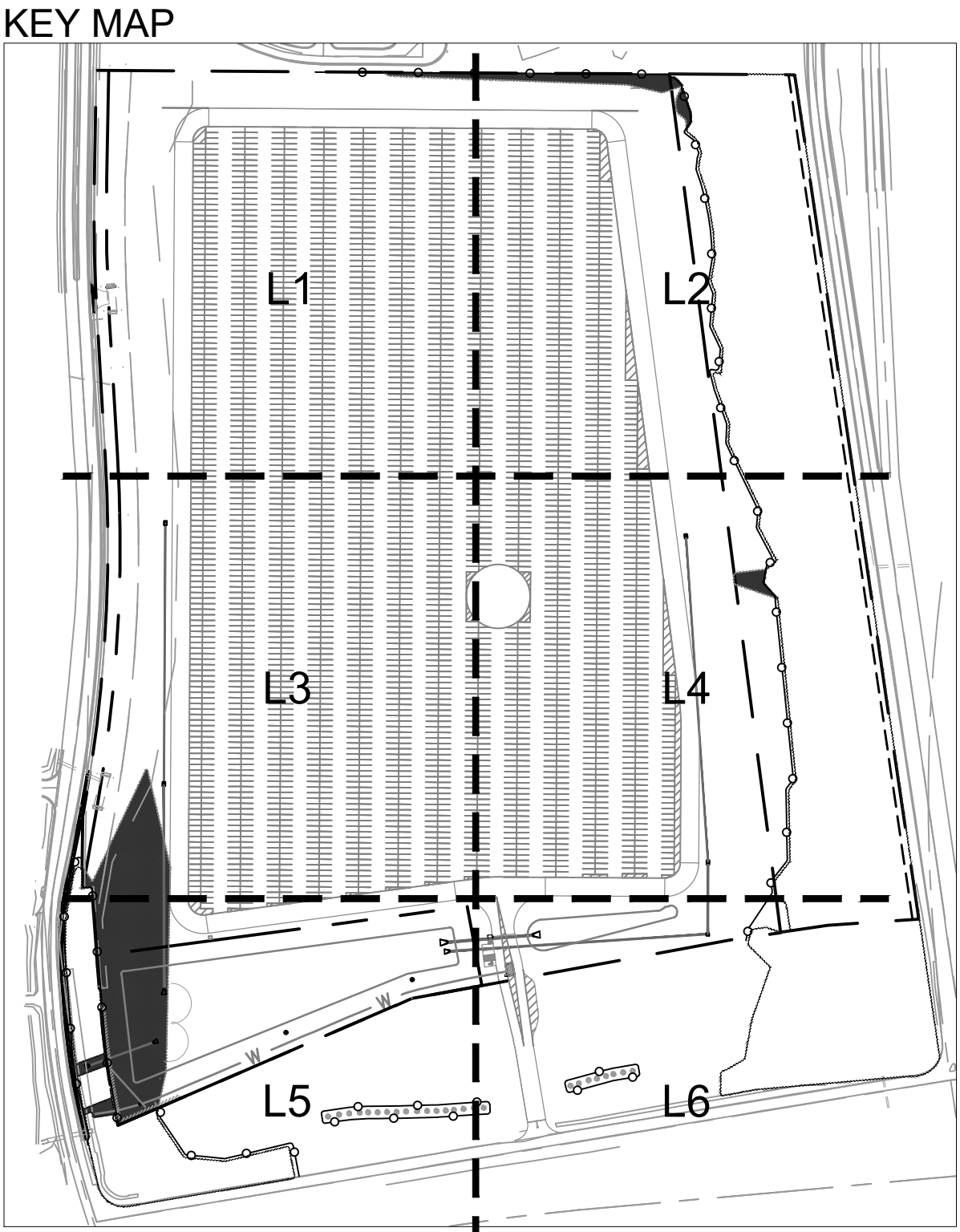
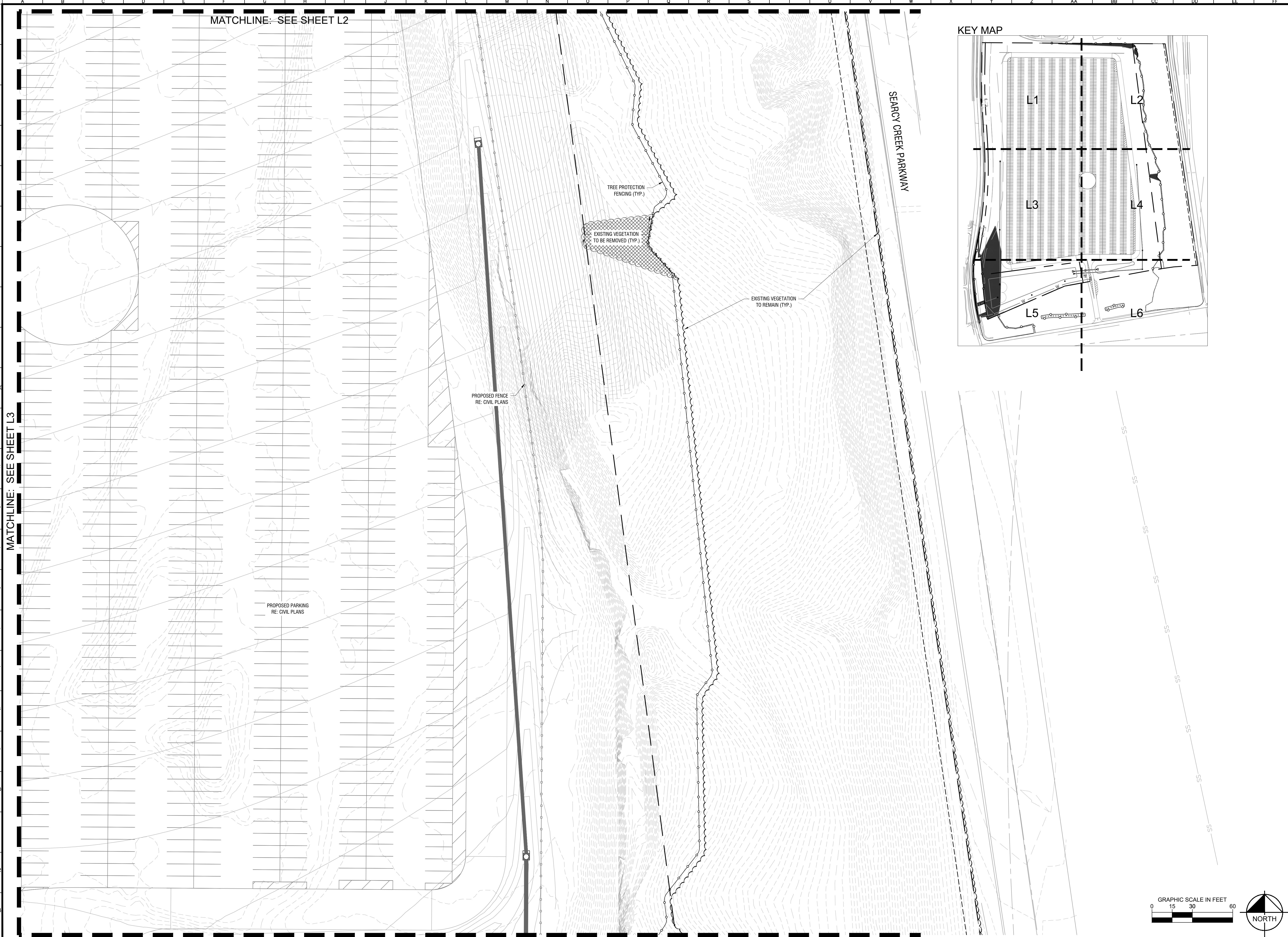
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DATE OF AUTHORITY #:001512,

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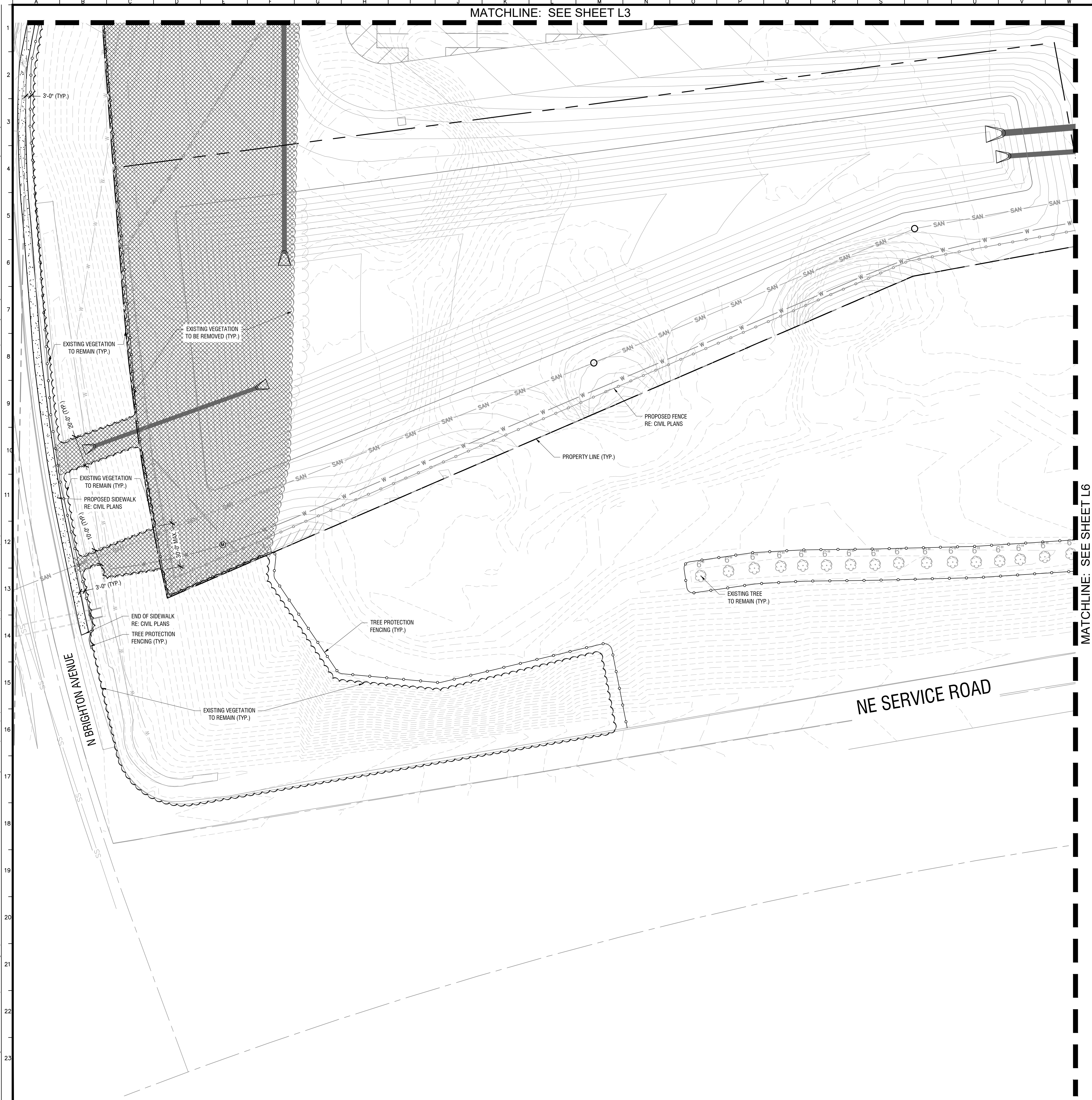
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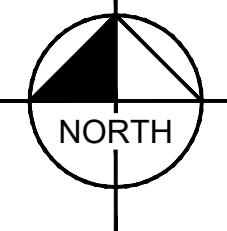
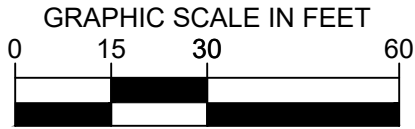
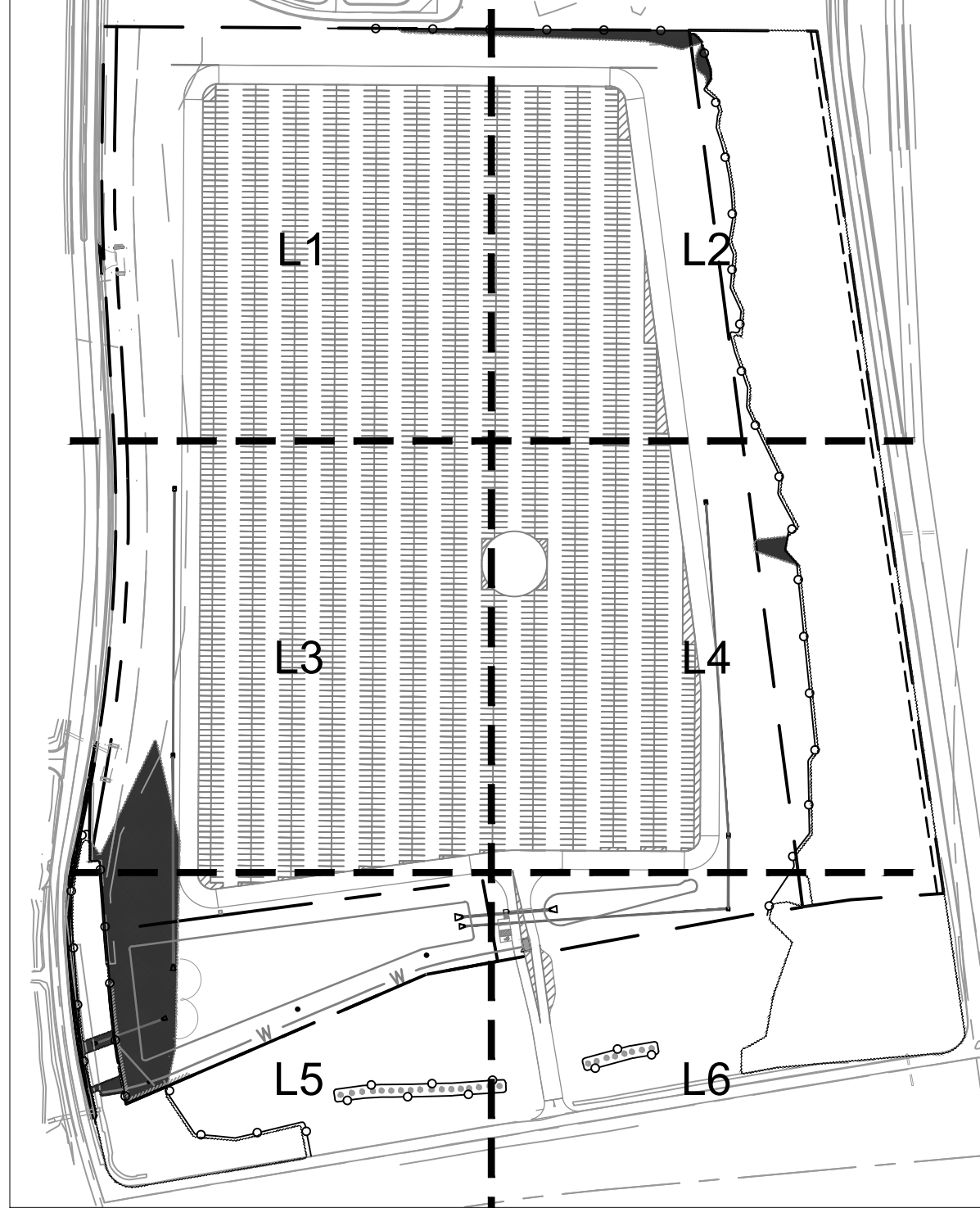



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














KEY MAP



BRIGHTON VEHICLE LOGISTICS CENTER 3363 N. BRIGHTON AVE. KANSAS CITY, MO 64117	TREE PRESERVATION PLAN		<div>NOT FOR CONSTRUCTION</div>	SCALE: AS NOTED	DESIGNED BY: AMS		DRAWN BY: CMS		CHECKED BY: SAR		No.	REVISIONS		DATE	BY	
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				KHA PROJECT NO. 268399000												
				SHEET NUMBER												
L5																





MADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	REMARKS	CONT.	CALIPER	HEIGHT	REMARKS
	FG	12	FAGUS GRANDIFOLIA / AMERICAN BEECH		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	TD	18	TAXODIUM DISTICHUM / BALD CYPRESS		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	MM	13	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	MG	16	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S BROWN BEAUTY MAGNOLIA		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	QP	22	QUERCUS PAGODA / CHERRYBARK OAK		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	MA	19	MAGNOLIA ACUMINATA / CUCUMBERTREE		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	GT	18	GLEDITSIA TRIACANTHOS / HONEYLOCUST		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	GD	7	GYNOCLADUS DIOICA / KENTUCKY COFFEETREE		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	TA	17	THUJA AMERICANA 'WANDEL' / LEGEND® BASSWOOD		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	GB	16	GINKGO BILOBA / MADENHAIR TREE		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	QL	3	QUERCUS LYRATA / OVERCUP OAK		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	CI	17	CARYA LINCOLNENSIS / PECAN HICKORY		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	QS	3	QUERCUS STELLATA / POST OAK		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	UA	12	ULMUS AMERICANA 'LEWIS & CLARK' / PRAIRIE EXPEDITION® AMERICAN ELM		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	SA	13	SASSAFRAS ALBIDUM / SASSAFRAS		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	CO	12	CARYA OVATA / SHAGBARK HICKORY		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	PO	20	PLATANUS OCCIDENTALIS 'GRENNICK' / SILVERWYND™ AMERICAN SYCAMORE		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	LT	18	LIRIODENDRON TULIPIFERA / TULIPTREE		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	QA	5	QUERCUS ALBA / WHITE OAK		8 & 8	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME		CONT.	CALIPER	HEIGHT	REMARKS
	CL	41	× CUPRESSOPARIS LEYLANDII / LEYLAND CYPRSS		CONT.	N/A	6' - 8' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	TP	31	THUJA PLICATA 'GROVE/PL' / SPRING GROVE® ARBORVITAE		CONT.	N/A	6' - 8' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	CS	9	CEDRUS LIBANITICA STENOCOMA / STENOCOMA CEDAR OF LEBANON		CONT.	N/A	6' - 8' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	PG	29	PICEA GLAUCA VAR. DENSATA 'MONCHET' / SUNBURST™ BLACK HILLS SPRUCE		CONT.	N/A	6' - 8' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME		CONT.	SIZE	SPACING	REMARKS
	CP	234	CHAMAECYPARIS PISIFERA 'DOW WHITING' / SOFT SERVER SAWARA FALSE CYPRSS		CONT.	4" HT. MIN.	36" O.C.	FULL AND MATCHING
	TM	225	TAXUS × MEDIA 'SANTHOC' / STONHENGER ANGL0-JAPANESE YEW		CONT.	4" HT. MIN.	36" O.C.	FULL AND MATCHING
	TO	243	THUJA OCCIDENTALIS 'SANTOBMS' / UPSTANDING™ EMERALD ARBORVITAE		CONT.	4" HT. MIN.	36" O.C.	FULL AND MATCHING
SEED	CODE	QTY	BOTANICAL / COMMON NAME		ROOT	SIZE	SPACING	REMARKS
	UP	70,133 SF	UPLAND POLLINATOR SEED MIX		SEED	N/A	N/A	WEED FREE – SEE NOTES FOR MIXES
	DB	70,329 SF	DETENTION BASIN SEED MIX		SEED	N/A	N/A	WEED FREE – SEE NOTES FOR MIXES
	NL	163,909 SF	NATIVE LAWN SEED MIX		SEED	N/A	N/A	WEED FREE – SEE NOTES FOR MIXES
	SV	279,335 SF	SAVANNA SEED MIX		SEED	N/A	N/A	WEED FREE – SEE NOTES FOR MIXES

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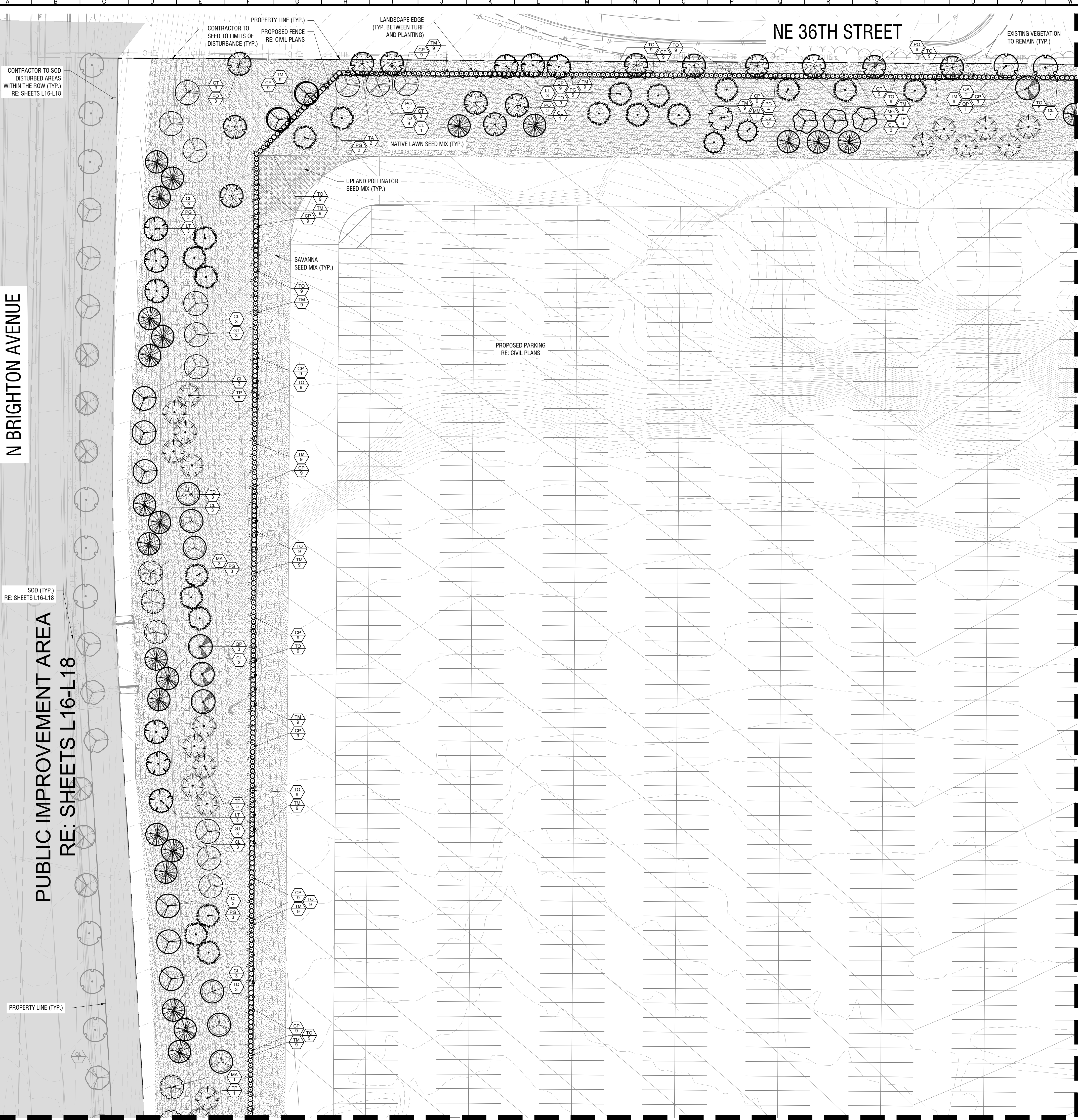
N BRIGHTON AVENUE

PUBLIC IMPROVEMENT AREA  
RE: SHEETS L16-L18

PROPERTY LINE (TYP.)

CONTRACTOR TO SOD  
DISTURBED AREAS  
WITHIN THE ROW (TYP.)  
RE: SHEETS L16-L18

SOD (TYP.)  
RE: SHEETS L16-L18



NE 36TH STREET

MATCHLINE: SEE SHEET L11

MATCHLINE: SEE SHEET L12

PLANT SCHEDULE (PRIVATE DEV.)

NOTE: SEE SHEET L9  
FOR FULL PLANT SCHEDULE.

SHADE TREES

CODE	BOTANICAL / COMMON NAME
FG	FAGUS GRANDIFOLIA / AMERICAN BEECH
TD	TAXODIUM DISTICHUM / BALD CYPRESS
MM	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA
MG	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BROWN BEAUTY MAGNOLIA
QP	QUERCUS PASCOA / CHERRYBARK OAK
MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GT	GLEDITSIA TRIACANTHOS / HONEYLOCUST
GO	GYMNOCLADUS DOICA / KENTUCKY COFFEETREE
TA	TILIA AMERICANA 'VANDELII' / LEGEND® BASSWOOD
GB	GINKGO BILOBA / MAIDENHAIR TREE
QL	QUERCUS LYRATA / OVERCUP OAK
CI	CARYA ILLINOENSIS / PECAN HICKORY
QS	QUERCUS STELLATA / POST OAK
UA	ULMUS AMERICANA 'LEWIS & CLARK' / PRAIRIE EXPEDITION® AMERICAN ELM
SA	SASSAFRAS ALBIDUM / SASSAFRAS
CO	CARYA OVATA / SHAGBARK HICKORY
PO	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LIRIODENDRON TULIPIFERA / TULIPTREE
QA	QUERCUS ALBA / WHITE OAK

EVERGREEN TREES

CODE	BOTANICAL / COMMON NAME
CL	× CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS
TP	THUJA PLICATA 'GROVEPELT' / SPRING GROVER ARBORVITAE
CS	CEDRUS LIBANITICA STENOCCOMA / STENOCCOMA CEDAR OF LEBANON
PG	PICEA GLAUCA VAR. DENSATA 'MONCHET' / SUNBURST™ BLACK HILLS SPRUCE
CP	CHAMAECYPARIS PISIFERA 'DOW WHITING' / SOFT SEVER® SAWARA FALSE CYPRESS
TM	TAXUS × MEDIA 'SMYTHOC' / STONHENGER ANGIO-JAPANESE YEW
TO	THUJA OCCIDENTALIS 'SMITOMBI' / UPSTANDING™ EMERALD ARBORVITAE

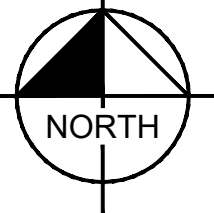
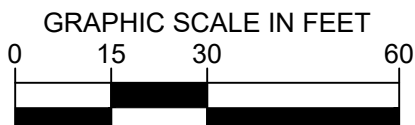
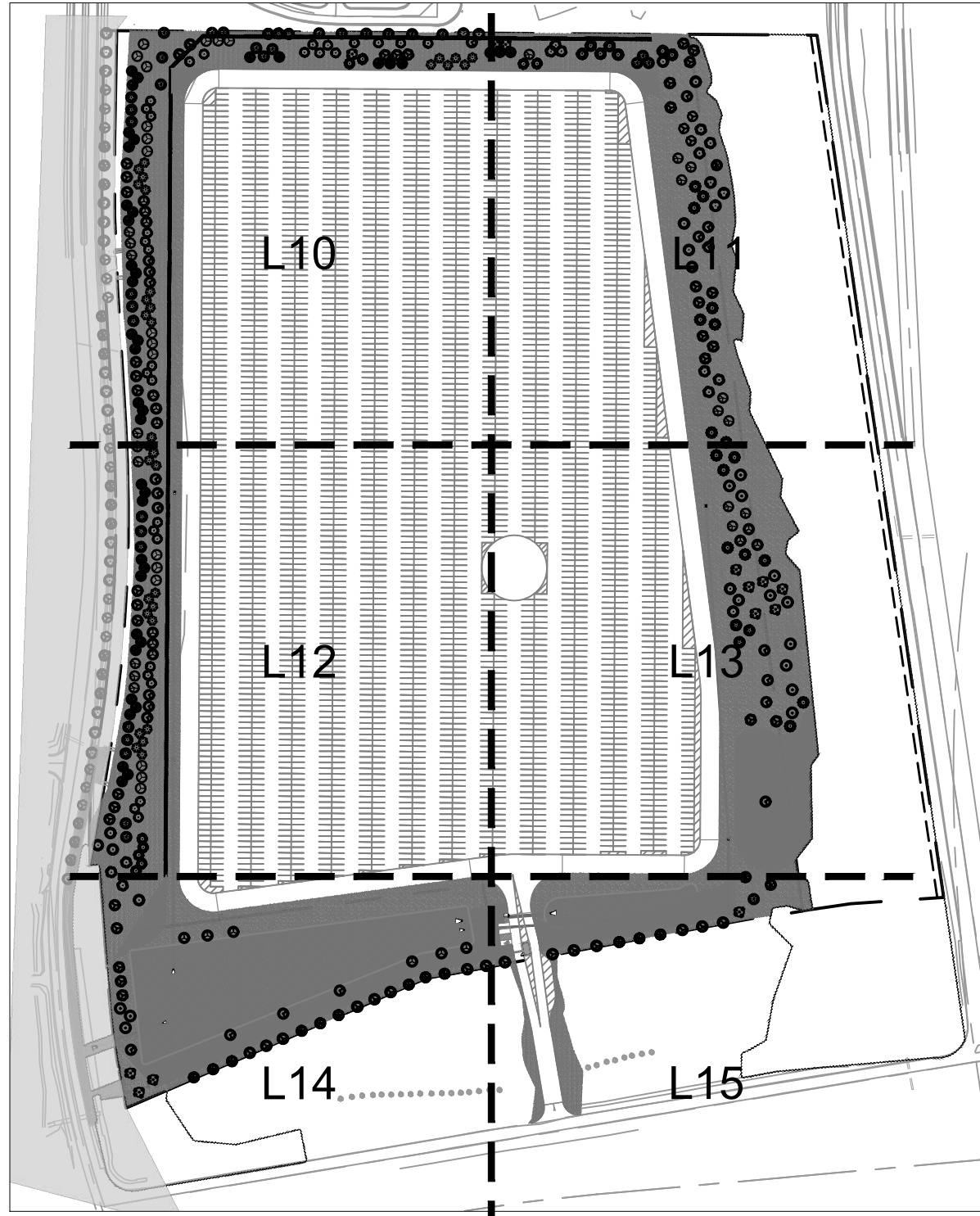
SHRUBS

CODE	BOTANICAL / COMMON NAME
UP	UPLAND POLLINATOR SEED MIX
DB	DETENTION BASIN SEED MIX
NL	NATIVE LAWN SEED MIX
SV	SAVANNA SEED MIX

SEED

CODE	BOTANICAL / COMMON NAME
UP	UPLAND POLLINATOR SEED MIX
DB	DETENTION BASIN SEED MIX
NL	NATIVE LAWN SEED MIX
SV	SAVANNA SEED MIX

KEY MAP



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KANSAS CITY, MO 64117

SCALE: AS NOTED

DESIGNED BY: AMS

DRAWN BY: CMS

CHECKED BY: SAR

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PRECISION  
VEHICLE LOGISTICS

LANDSCAPE  
PLAN

BRIGHTON  
VEHICLE LOGISTICS  
CENTER

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KANSAS CITY, MO 64117

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10/31/2023  
KHA PROJECT NO.  
268399000

SHEET NUMBER

L10

REVISIONS

DATE

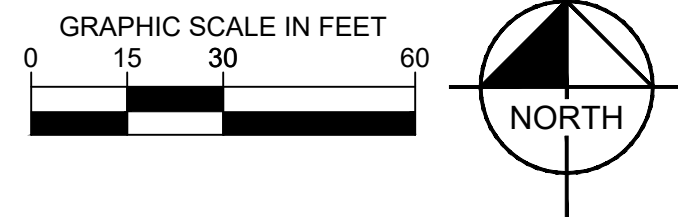
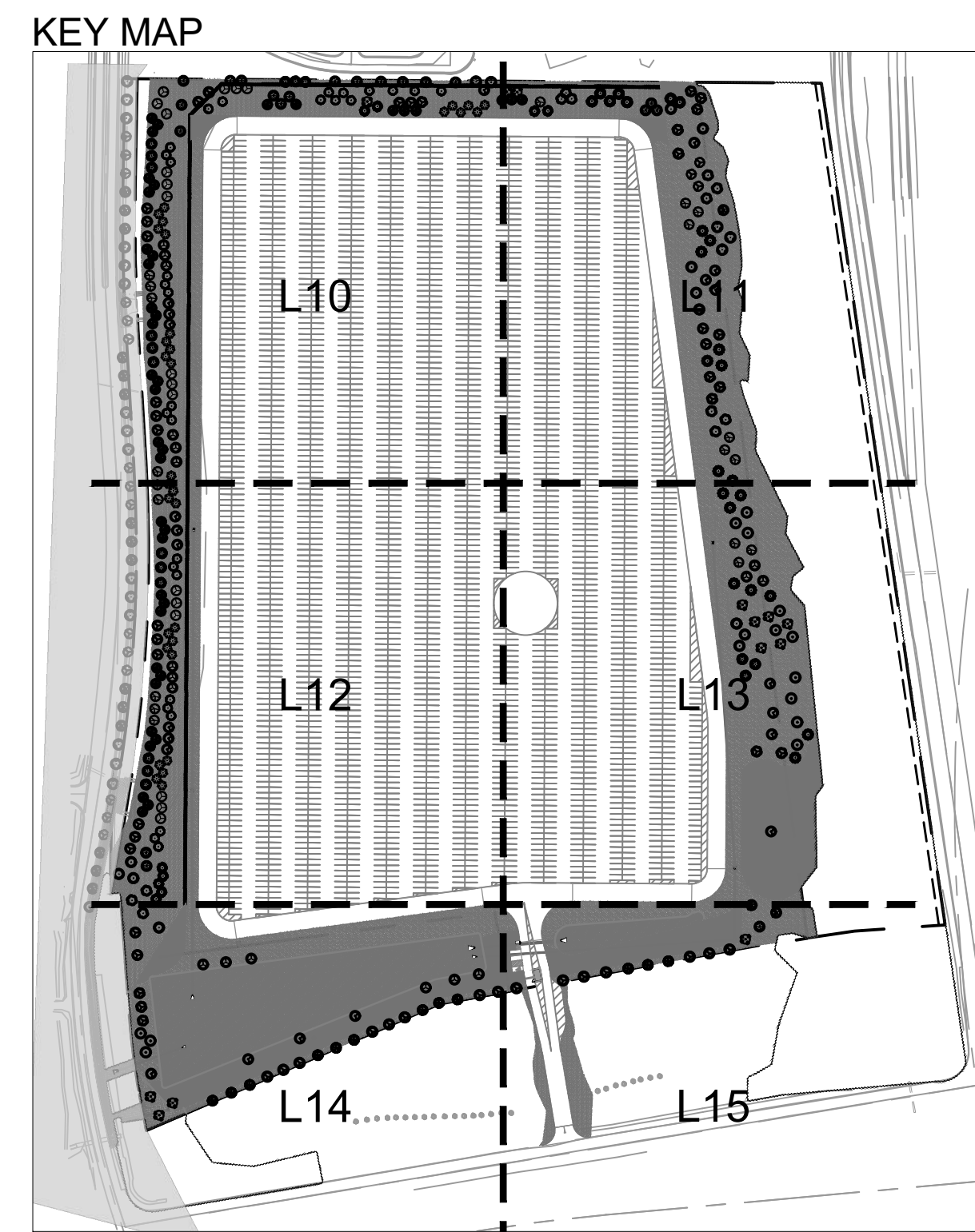
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NO.

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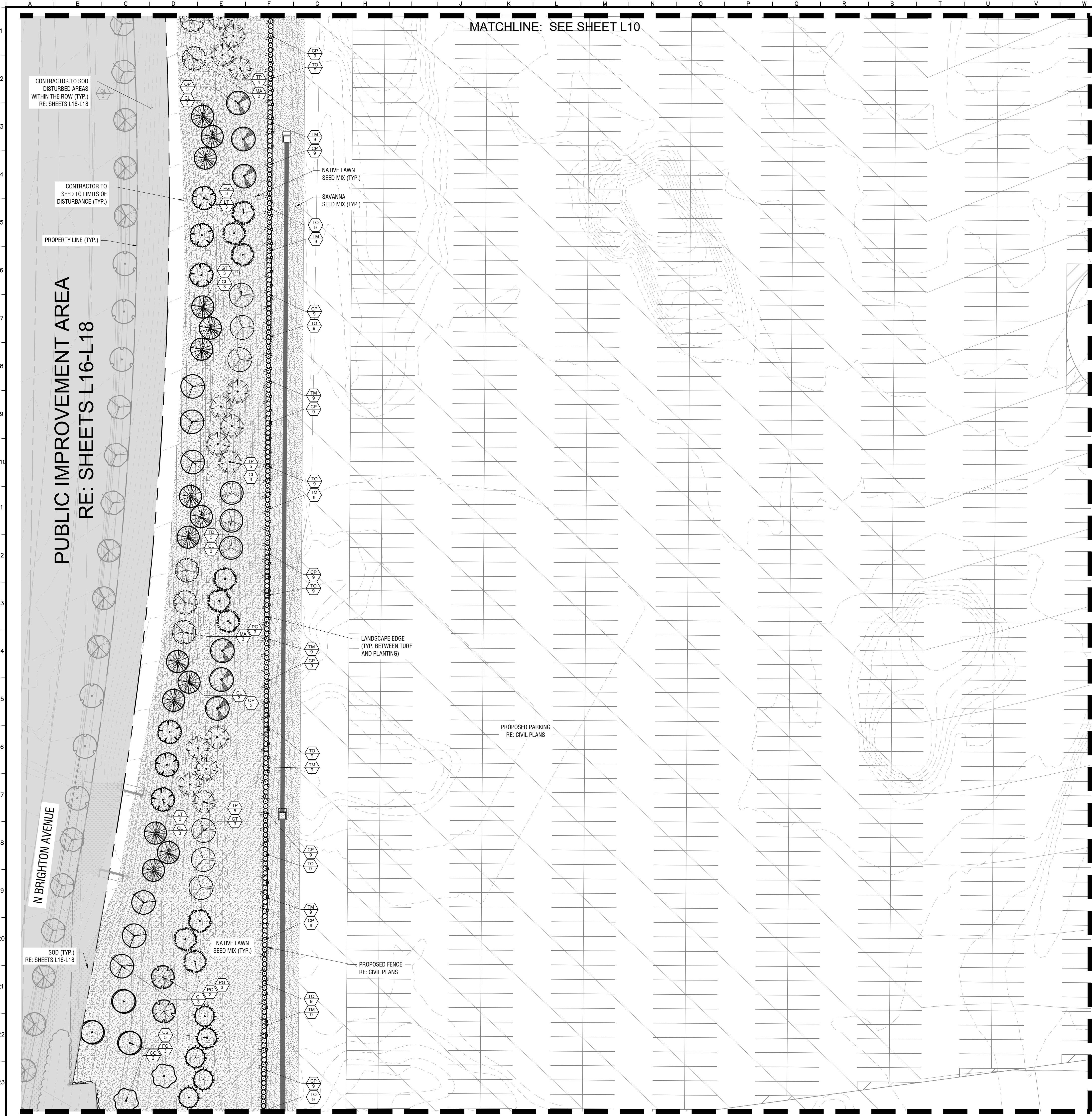












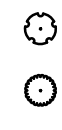

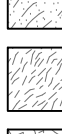
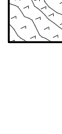




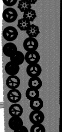






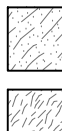
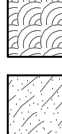
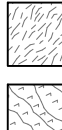


PLANT SCHEDULE (PRIVATE DEV.)			NOTE: SEE SHEET L9 FOR FULL PLANT SCHEDULE
SHADE TREES	CODE	BOTANICAL / COMMON NAME	
	FG	FAGUS GRANDIFOLIA / AMERICAN BEECH	
	TD	TAXODIUM DISTICHUM / BALD Cypress	
	MM	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA	
	MG	MAGNOLIA GRANDIFLORA / BRACKENS BROWN BEAUTY / BRACKENS BROWN BEAUTY MAGNOLIA	
	QP	QUERCUS PAGODA / CHERRYBARK OAK	
	MA	MAGNOLIA ACUMINATA / CUCUMBERTREE	
	GT	GLEDITSIA TRIACANTHOS / HONEYLOCUST	
	GD	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE	
	TA	TILIA AMERICANA / WANDELL / LEGEND® BASSWOOD	
	GB	GINKGO BILOBA / MAIDENHART TREE	
	QL	QUERCUS LYRATA / OVERCUP OAK	
	CI	CARYA ILLINOENSIS / PECAN HICKORY	
	QS	QUERCUS STELLATA / POST OAK	
	UA	ULMUS AMERICANA LEWIS & CLARK / PRAIRIE EXPEDITION® AMERICAN ELM	
	SA	SASSAFRAS ALBIDUM / SASSAFRAS	
	CO	CARYA OVATA / SHAGBARK HICKORY	
	PO	PLATANUS OCCIDENTALIS / GRENNICK / SILVERWOOD™ AMERICAN SYCAMORE	
	LT	LIQUIDAMBAR STYRACIFLUA / TULPTREE	
	QA	QUERCUS ALBA / WHITE OAK	
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	
	CL	* CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS	
	TP	THUJA PLICATA / GROVELLY / SPRING GROVE® ARBORVITAE	
	CS	CEDRUS LIBANANTICA STENOCCOMA / STENOCCOMA CEDAR OF LEBANON	
	PG	PICEA GLAUCA VAR. DENSATA / MONCHET® / SUNBURST™ BLACK HILLS SPRUCE	
SHRUBS	CODE	BOTANICAL / COMMON NAME	
	CP	CHAMAECYPARIS PISIFERA DOW WHITING / SOUTHERN SAWARA FALSECYPRESS	
	TM	TAXUS = MEDIA / SMITHCO® / STONEHENGE® ANGLO-JAPANESE YEW	
	TO	THUJA OCCIDENTALIS / SMTOBAY® / UPSTANDING™ EMERALD ARBORVITAE	
SEED	CODE	BOTANICAL / COMMON NAME	
	UP	UPLAND POLLINATOR SEED MIX	
	DB	DETENTION BASIN SEED MIX	
	NL	NATIVE LAWN SEED MIX	
	SV	SAVANNA SEED MIX	

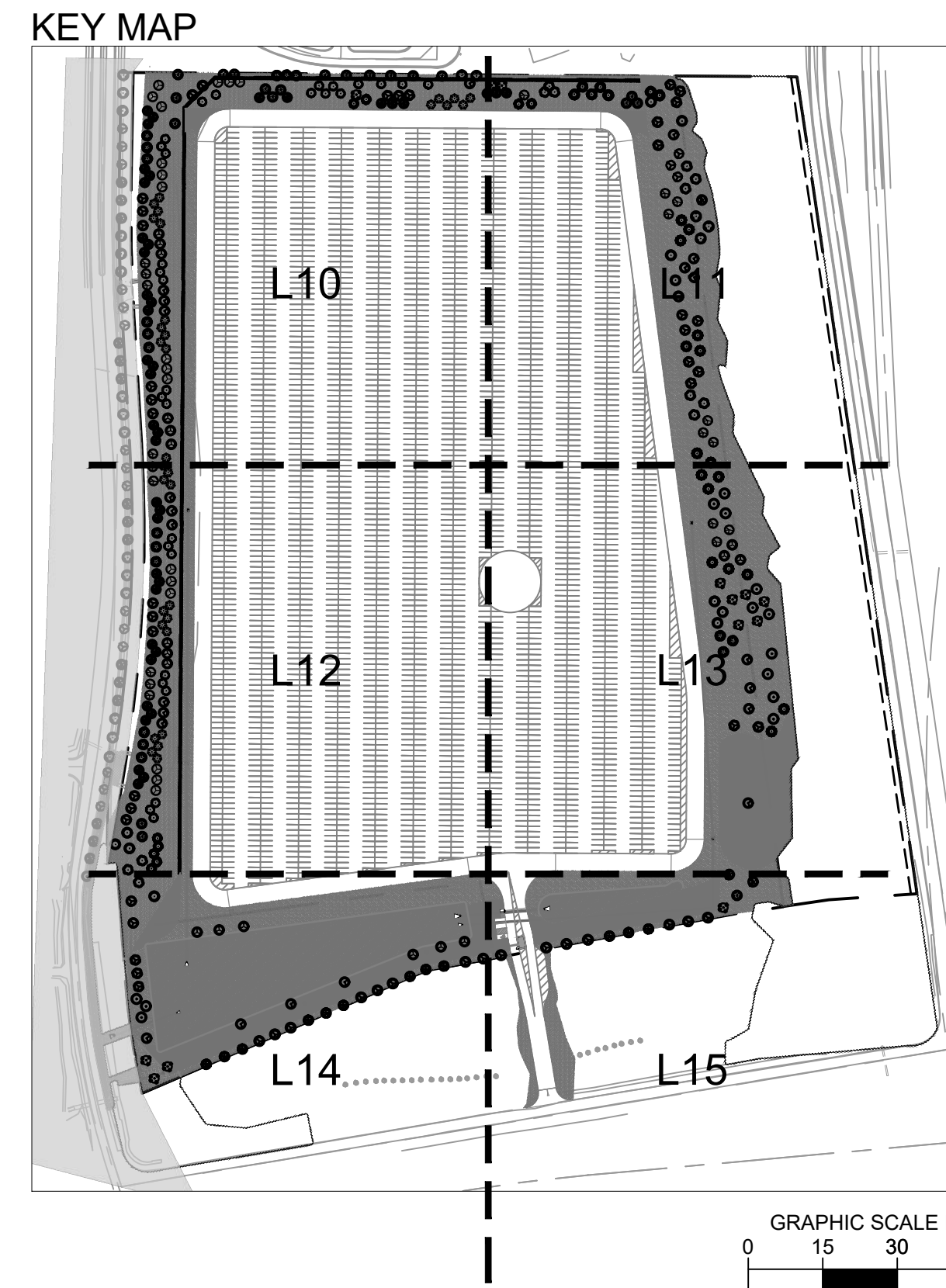


BRIGHTON VEHICLE LOGISTICS CENTER	LANDSCAPE PLAN		<div>NOT FOR CONSTRUCTION</div>	SCALE: AS NOTED	<b>Kimley»Horn</b> © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1000 WEST 15TH AVENUE, 130 KANSAS CITY, MO 64108 PHONE: 816-852-0350 FAX: 816-852-0350 WWW.KIMLEY-HORN.COM MO CERTIFICATE OF AUTHORITY #001512 EXPIRES 12/31/23	No.	REVISIONS	DATE	BY
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				DRAWN BY: CMS					
				CHECKED BY: SAR					
ORIGINAL ISSUE: 10/31/2023	KHA PROJECT NO. 268399000	SHEET NUMBER	L11						

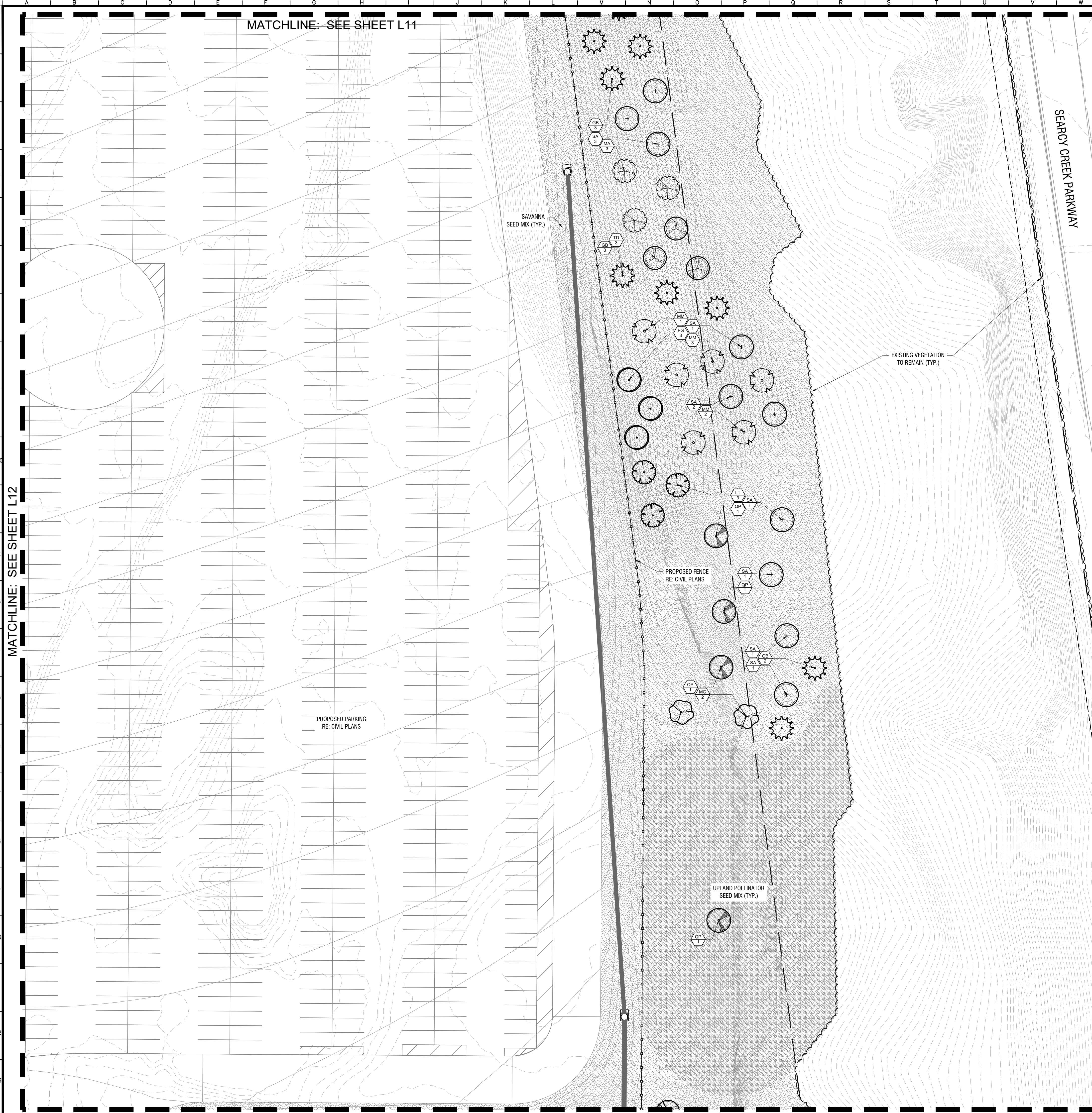
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PLANT SCHEDULE (PRIVATE DEV.)			© 2017	FOR FULL PLANT SCHEDULE
SHADE TREES	CODE	BOTANICAL / COMMON NAME		
	FG	FAGUS GRANDIFOLIA / AMERICAN BEECH		
	TD	TAXODIUM DISTICHUM / BALD Cypress		
	MM	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA		
	MG	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BROWN BEAUTY MAGNOLIA		
	QP	QUERCUS PASCOA / CHERRYBARK OAK		
	MA	MAGNOLIA ACUMINATA / CUCUMBERTREE		
	GT	GLEDITSIA TRIACANTHOS / HONEYLOCUST		
	GD	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE		
	TA	TILIA AMERICANA 'WANDEL' / LEGEND® BASSWOOD		
	GB	GINKGO BILOBA / MAIDENHAIR TREE		
	QL	QUERCUS LYRATA / OVERCUP OAK		
	CI	CARYA ILLINOENSIS / PECAN HICKORY		
	GS	QUERCUS STELLATA / POST OAK		
	UA	ULMUS AMERICANA 'LEWIS & CLARK' / PRARIE EXPEDITION® AMERICAN ELM		
	SA	SASSAFRAS ALBIDUM / SASSAFRAS		
	CO	CARYA OVATA / SHAGBARK HICKORY		
	PO	PLATANUS OCCIDENTALIS 'GRENNCEL' / SILVERWOOD™ AMERICAN SYCAMORE		
	LT	LIRIODENDRON TULIPIFERA / TULIPTREE		
	GA	QUERCUS ALBA / WHITE OAK		
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME		
	CL	× CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS		
	TP	THUJA PLICATA 'GROVEPEU' / SPRING GROVE® ARBORVITAE		
	CS	CEDRUS LIBANITICA STENOCOMA / STENOCOMA CEDAR OF LEBANON		
	PG	PICEA GLAUCA VAR. DENSATA 'MONCHET' / SUNBURST™ BLACK HILLS SPRUCE		
SHRUBS	CODE	BOTANICAL / COMMON NAME		
	CP	CHAMAEYCYPARIS PISIFERA DOW WHITING® / SOFT SEVER® SAWARA FALSECYPRESS		
	TM	TAXUS × MEDIA 'SMITHCII' / STONEHEDGE® ANGLO-JAPANESE YEW		
	TO	THUJA OCCIDENTALIS 'SMTOBMS' / UPSTANDING™ EMERALD ARBORVITAE		
SEED	CODE	BOTANICAL / COMMON NAME		
	UP	UPLAND POLLINATOR SEED MIX		
	DB	DETENTION BASIN SEED MIX		
	NL	NATIVE LAWN SEED MIX		
	SV	SAVANNA SEED MIX		



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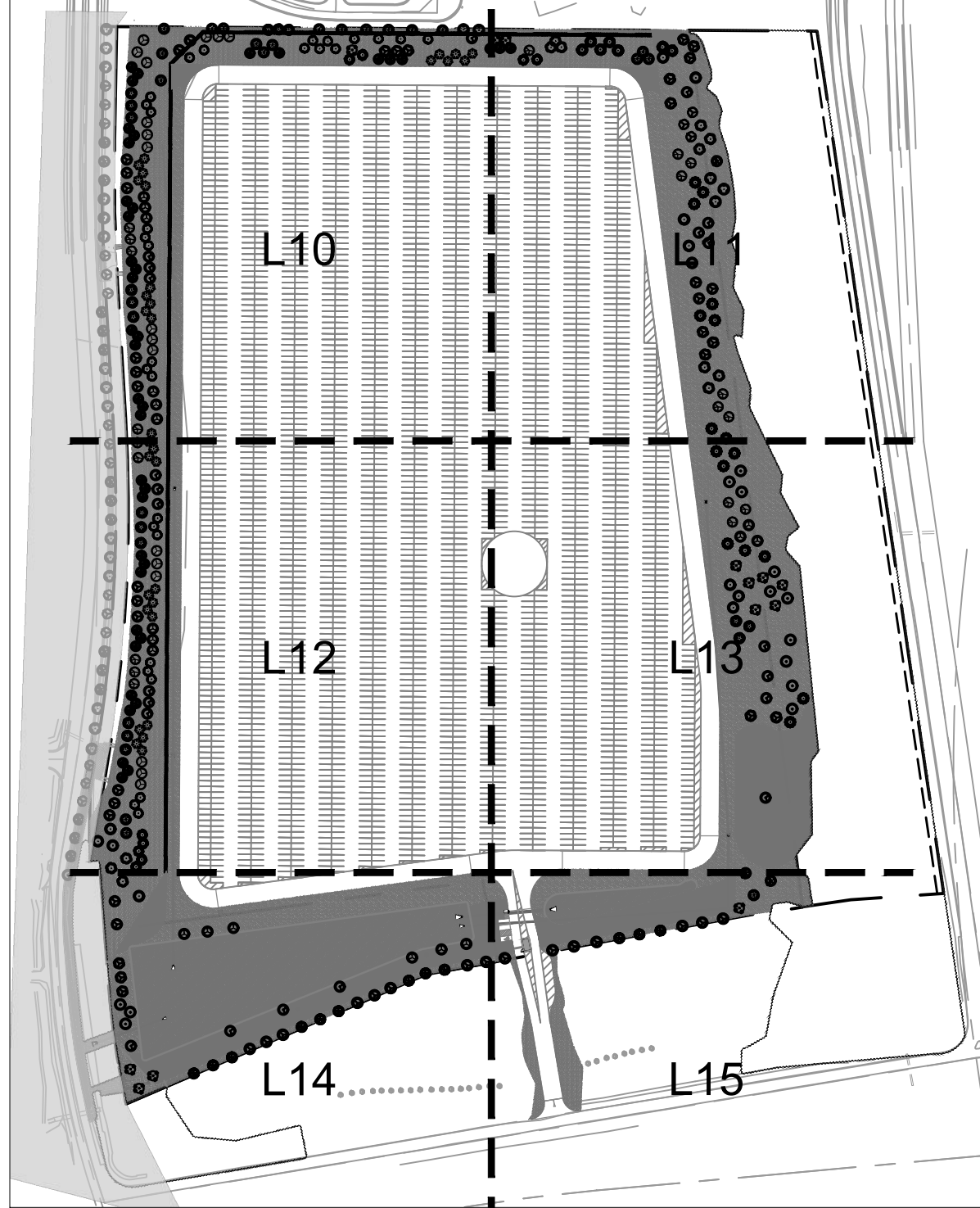


PLANT SCHEDULE (PRIVATE DEV.)

NOTE: SEE SHEET L9 FOR FULL PLANT SCHEDULE.

SHADE TREES	
CODE	BOTANICAL / COMMON NAME
FG	FAGUS GRANDIFOLIA / AMERICAN BEECH
TD	TAXODIUM DISTICHUM / BALDCYPRESS
MM	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA
MG	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BROWN BEAUTY MAGNOLIA
QP	QUERCUS PASCOA / CHERRYBARK OAK
MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GT	GLEDITSIA TRIACANTHOS / HONEYLOCUST
GD	GYMNOCADUS DOICA / KENTUCKY COFFEETREE
TA	TILIA AMERICANA 'VANDELII' / LEGEND® BASSWOOD
GB	GINKGO BILOBA / MAIDENHAIR TREE
QL	QUERCUS LYRATA / OVERCUP OAK
CI	CARYA ILLINOENSIS / PECAN HICKORY
QS	QUERCUS STELLATA / POST OAK
UA	ULMUS AMERICANA 'LEWIS & CLARK' / PRAIRIE EXPEDITION® AMERICAN ELM
SA	SASSAFRAS ALBIDUM / SASSAFRAS
CO	CARYA OVATA / SHAGBARK HICKORY
PO	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LIRIODENDRON TULIPIFERA / TULIPTREE
QA	QUERCUS ALBA / WHITE OAK
EVERGREEN TREES	
CODE	BOTANICAL / COMMON NAME
OL	× CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS
TP	THUJA PLICATA 'GROVE/PLT' / SPRING GROVE® ARBORVITAE
CS	CEDRUS LIBANITICA STENOCOMA / STENOCOMA CEDAR OF LEBANON
PG	PICEA GLAUCA VAR. DENSATA 'MONCHET' / SUNBURST™ BLACK HILLS SPRUCE
SHRUBS	
CODE	BOTANICAL / COMMON NAME
CP	CHAMAECYPARIS PISIFERA 'DOW WHITING' / SOFT SEVER® SAWARA FALSECYPRESS
TM	TAXUS × MEDIA 'SMYTHOC' / STONEHENGER ANGIO-JAPANESE YEW
TO	THUJA OCCIDENTALIS 'SMTOBMD' / UPSTANDING™ EMERALD ARBORVITAE
SEED	
CODE	BOTANICAL / COMMON NAME
UP	UPLAND POLLINATOR SEED MIX
DB	DETENTION BASIN SEED MIX
NL	NATIVE LAWN SEED MIX
SV	SAVANNA SEED MIX

KEY MAP



AS NOTED		DESIGNED BY: AMS		DRAWN BY: CMS		CHECKED BY: SAR	
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LANDSCAPE PLAN		ORIGINAL ISSUE: 10/31/2023		KHA PROJECT NO. 268399000		SHEET NUMBER	
Kimley»Horn		© 2023 KIMLEY-HORN AND ASSOCIATES, INC. KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM		KANSAS CITY, MO 64105		KANSAS CITY, MO 64105	
NO.		REVISIONS		DATE		BY	
L13							

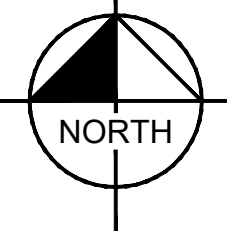
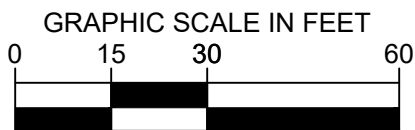
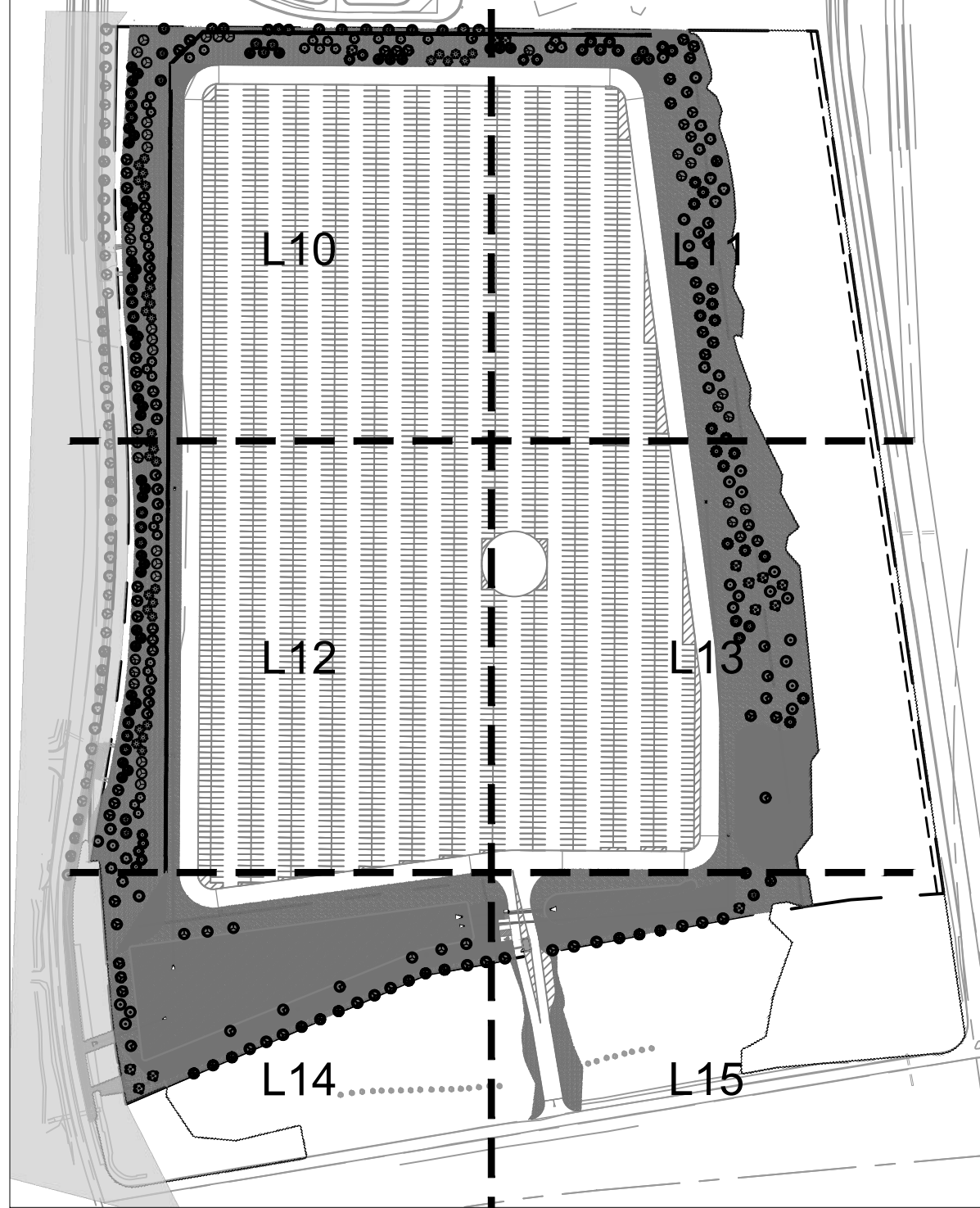


PLANT SCHEDULE (PRIVATE DEV.)

SHADE TREES	CODE	BOTANICAL / COMMON NAME
FG	FG	FAGUS GRANDIFOLIA / AMERICAN BEECH
TD	TD	TAXODIUM DISTICHUM / BALD CYPRESS
MM	MM	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA
MG	MG	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BROWN BEAUTY MAGNOLIA
QP	QP	QUERCUS PASCOA / CHERRYBARK OAK
MA	MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GT	GT	GLEDITSIA TRIACANTHOS / HONEYLOCUST
GO	GO	GYMNOCLADUS DOICA / KENTUCKY COFFEETREE
TA	TA	TELIA AMERICANA 'WANDILL' / LEGEND® BASSWOOD
GB	GB	GINKGO BILOBA / MAIDENHAIR TREE
QL	QL	QUERCUS LYRATA / OVERCUP OAK
CI	CI	CARYA ILLINOENSIS / PECAN HICKORY
OS	OS	QUERCUS STELLATA / POST OAK
UA	UA	ULMUS AMERICANA 'LEWIS & CLARK' / PRAIRIE EXPEDITION® AMERICAN ELM
SA	SA	SASSAFRAS ALBIDUM / SASSAFRAS
CO	CO	CARYA OVATA / SHAGBARK HICKORY
PO	PO	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LT	LIRIODENDRON TULIPIFERA / TULIPTREE
QA	QA	QUERCUS ALBA / WHITE OAK
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
CL	CL	× CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS
TP	TP	THUJA PLICATA 'GROVEPL7' / SPRING GROVE® ARBORVITAE
CS	CS	CEDRUS LIBANITICA STENOCCOMA / STENOCCOMA CEDAR OF LEBANON
PG	PG	PICEA GLAUCA VAR. DENSATA 'MONCHET' / SUNBURST™ BLACK HILLS SPRUCE
SHRUBS	CODE	BOTANICAL / COMMON NAME
CP	CP	CHAMAECYPARIS PISIFERA 'DOW WHITING' / SOFT SEVER® SAWARA FALSE CYPRESS
TM	TM	TAXUS × MEDIA 'SMYTHOC' / STONEHENGER ANGLA-JAPANESE YEW
TO	TO	THUJA OCCIDENTALIS 'SMITORME' / UPSTANDING™ EMERALD ARBORVITAE
SEED	CODE	BOTANICAL / COMMON NAME
UP	UP	UPLAND POLLINATOR SEED MIX
DB	DB	DETENTION BASIN SEED MIX
NL	NL	NATIVE LAWN SEED MIX
SV	SV	SAVANNA SEED MIX

NOTE: SEE SHEET L9 FOR FULL PLANT SCHEDULE.

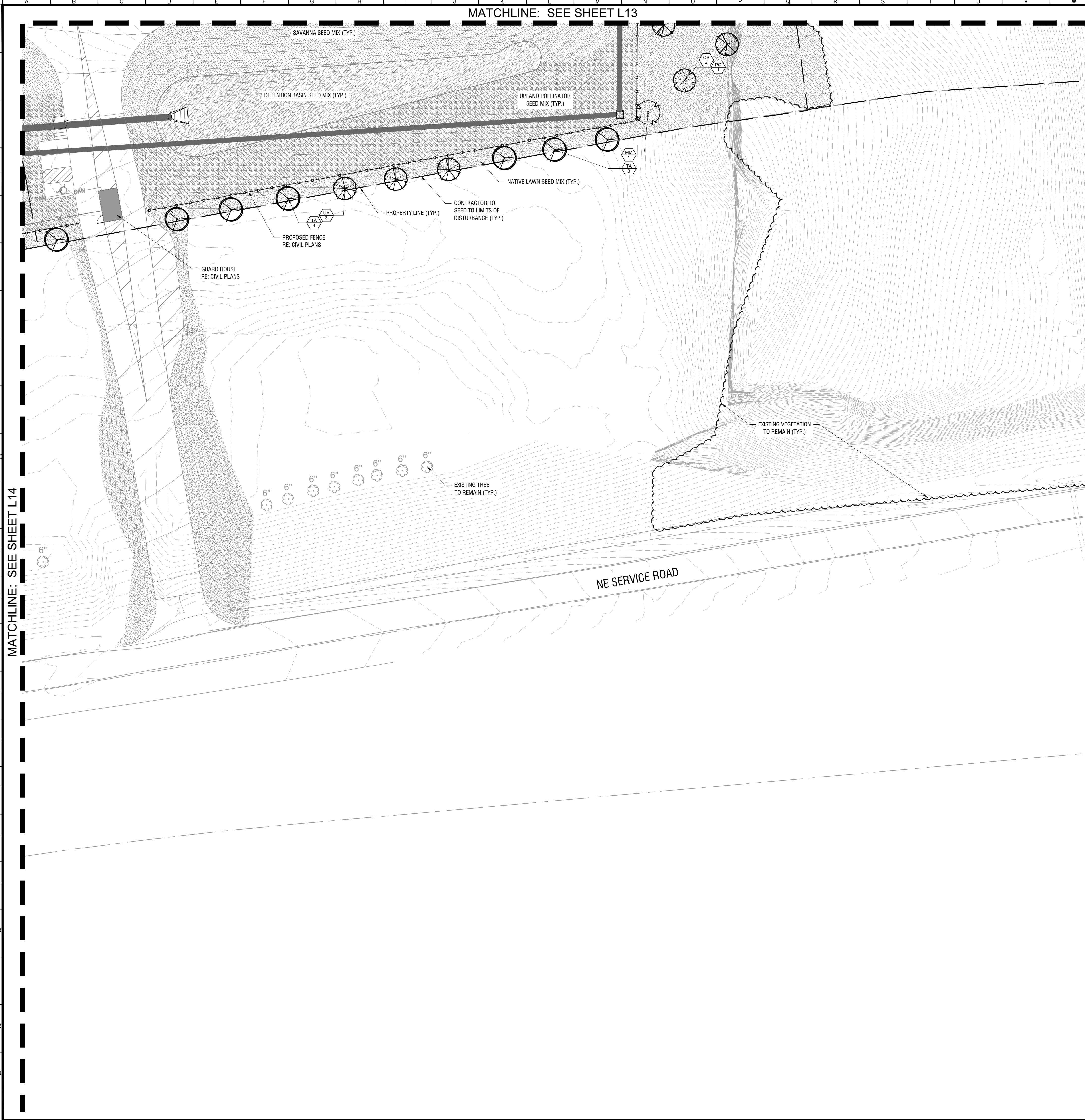
KEY MAP



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ORIGINAL ISSUE: 10/31/2023	KHA PROJECT NO. 268399000	SHEET NUMBER	L14								

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PLANT SCHEDULE (PRIVATE DEV.)

NOTE: SEE SHEET L9 FOR FULL PLANT SCHEDULE.

SHADE TREES

CODE	BOTANICAL / COMMON NAME
FG	FAGUS GRANDIFOLIA / AMERICAN BEECH
TD	TAXODIUM DISTICHUM / BALD CYPRESS
MM	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA
MG	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BROWN BEAUTY MAGNOLIA
QP	QUERCUS PASCOA / CHERRYBARK OAK
MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GT	GLEDITSIA TRIACANTHOS / HONEYLOCUST
GO	GYMNOCADUS DOICA / KENTUCKY COFFEETREE
TA	TILIA AMERICANA 'VANDELII' / LEGEND® BASSWOOD
GB	GINKGO BILOBA / MAIDENHAIR TREE
QL	QUERCUS LYRATA / OVERCUP OAK
CI	CARYA ILLINOENSIS / PECAN HICKORY
QS	QUERCUS STELLATA / POST OAK
UA	ULMUS AMERICANA 'LEWIS & CLARK' / PRAIRIE EXPEDITION® AMERICAN ELM
SA	SASSAFRAS ALBIDUM / SASSAFRAS
CO	CARYA OVATA / SHAGBARK HICKORY
PO	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LIRIODENDRON TULIPIFERA / TULIPTREE
QA	QUERCUS ALBA / WHITE OAK

EVERGREEN TREES

CODE	BOTANICAL / COMMON NAME
OL	× CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS
TP	THUJA PLICATA 'GROVEPELT' / SPRING GROVE® ARBORVITAE
CS	CEDRUS LIBANITICA STENOCCOMA / STENOCCOMA CEDAR OF LEBANON
PG	PICEA GLAUCA VAR. DENSATA 'MONCHET' / SUNBURST™ BLACK HILLS SPRUCE

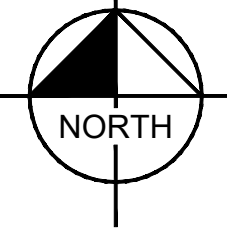
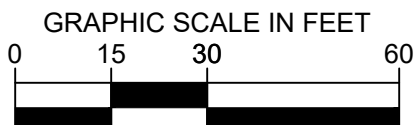
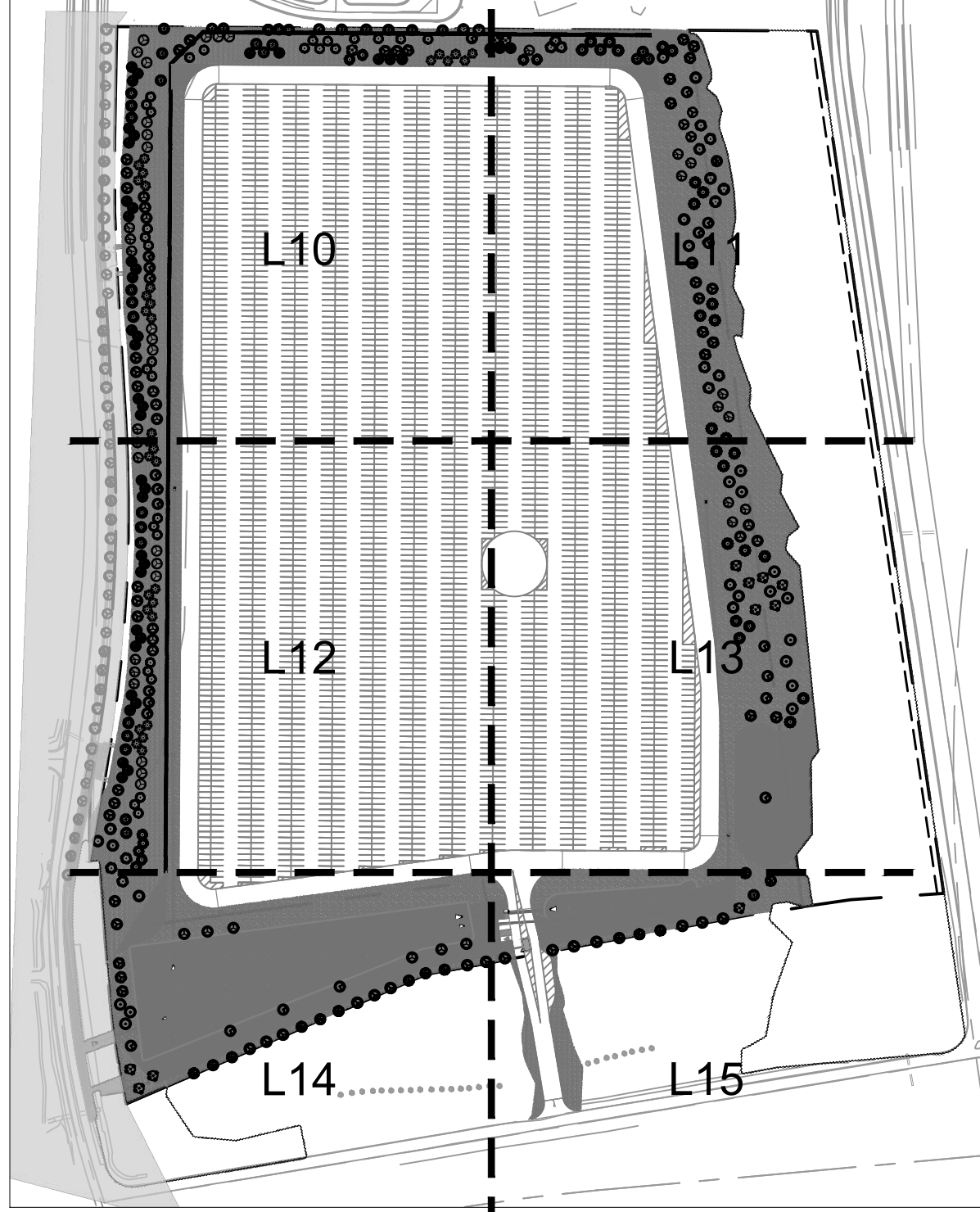
SHRUBS

CODE	BOTANICAL / COMMON NAME
CP	CHAMAECYPARIS PISIFERA 'DOW WHITING' / SOFT SEVER® SAWARA FALSE CYPRESS
TM	TAXUS × MEDIA 'SMYTHOC' / STONEMENDER ANGLA-JAPANESE YEW
TO	THUJA OCCIDENTALIS 'SMITOMBO' / UPSTANDING™ EMERALD ARBORVITAE

SEED

CODE	BOTANICAL / COMMON NAME
UP	UPLAND POLLINATOR SEED MIX
DB	DETENTION BASIN SEED MIX
NL	NATIVE LAWN SEED MIX
SV	SAVANNA SEED MIX

KEY MAP



**Kimley»Horn**

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**BRIGHTON  
VEHICLE LOGISTICS  
CENTER  
PLAN**

3363 N. BRIGHTON AVE.  
KANSAS CITY, MO 64117

ORIGINAL ISSUE:  
10/31/2023  
KHA PROJECT NO.  
268399000  
SHEET NUMBER

L15









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MATCHLINE: SEE SHEET L16

MATCHLINE: SEE SHEET L18

### PLANT SCHEDULE (STREETSCAPE)

SHADE TREES	CODE	BOTANICAL / COMMON NAME
	QP	QUERCUS PAGODA / CHERRYBARK OAK
	QL	QUERCUS LYRATA / OVERCUP OAK
	QS	QUERCUS STELLATA / POST OAK
	QA	QUERCUS ALBA / WHITE OAK
SEED	CODE	BOTANICAL / COMMON NAME
	FW	WET FOREST SEED MIX
SOD	CODE	BOTANICAL / COMMON NAME
	SOD	BOUTELLOUA DACTYLOIDES / BUFFALOGRASS

**NOTE:** SEE SHEET L16 FOR FULL PLANT SCHEDULE.

SCALE: AS NOTED

DESIGNED BY: AMS

DRAWN BY: CMS

NOT FOR  
CONSTRUCTION

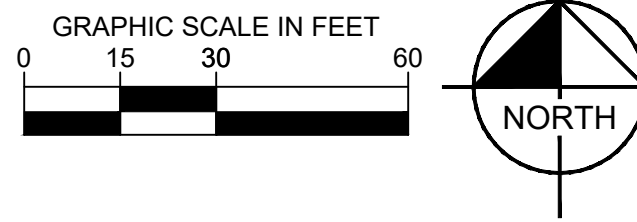
LANDSCAPE  
STREETSCAPE  
PLAN

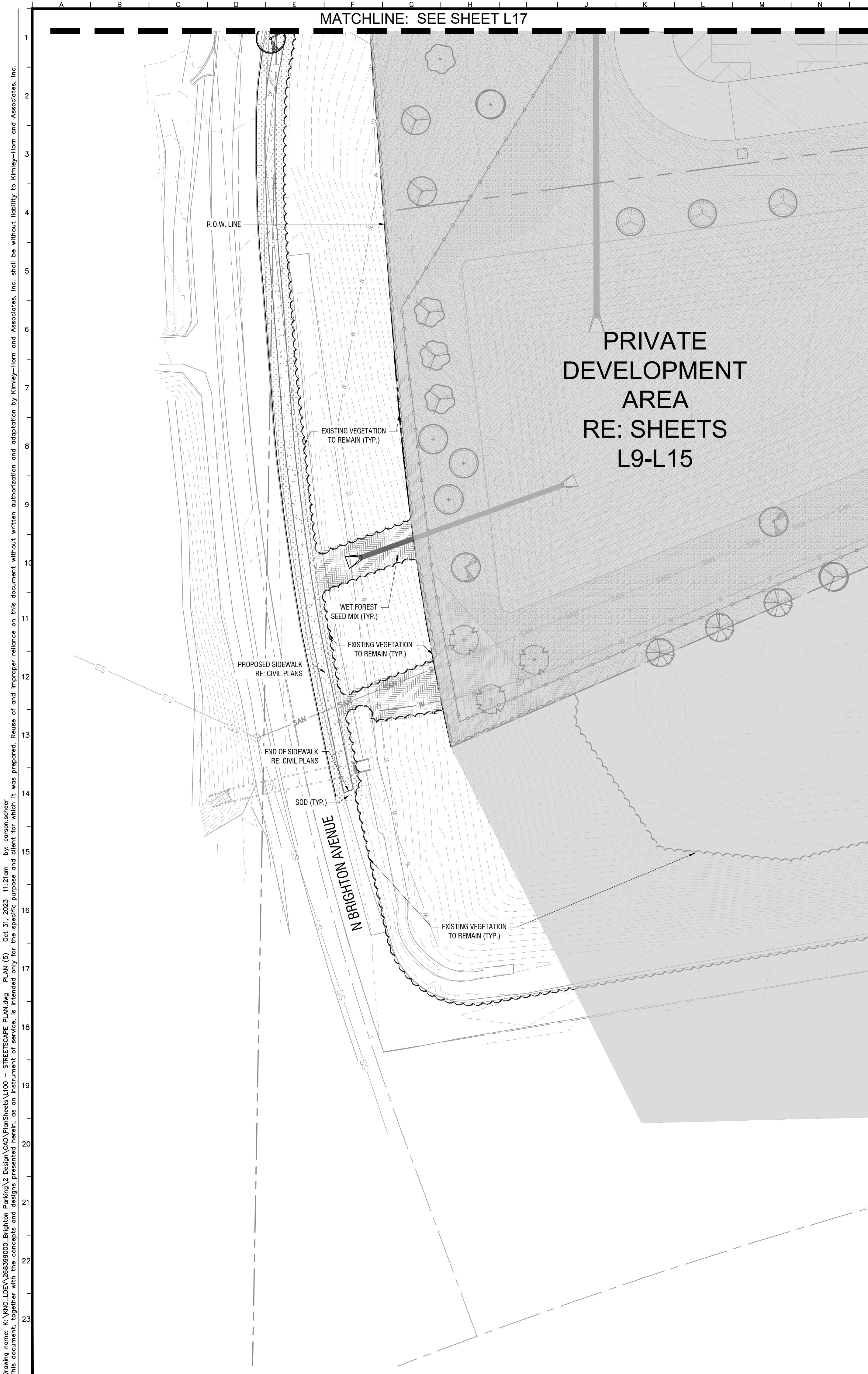
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VEHICLE LOGISTICS  
CENTER**  
3363 N. BRIGHTON AVE.  
KANSAS CITY, MO 64119

ORIGINAL ISSUE  
10/31/2023

KHA PROJECT N  
268399000

L17

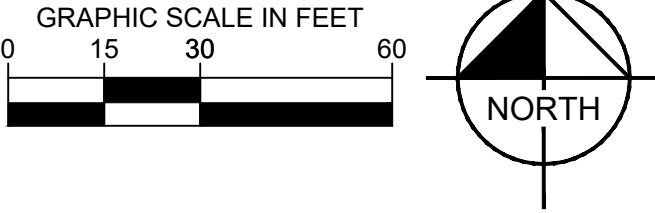




PLANT SCHEDULE (STREETSCAPE)

SHADE TREES	CODE	BOTANICAL / COMMON NAME
	QP	QUERCUS PAGODA / CHERRYBARK OAK
	QL	QUERCUS LYRATA / OVERCUP OAK
	QS	QUERCUS STELLATA / POST OAK
	QA	QUERCUS ALBA / WHITE OAK
SEED	CODE	BOTANICAL / COMMON NAME
	FW	WET FOREST SEED MIX
SOD	CODE	BOTANICAL / COMMON NAME
	SOD	BOUTELOUA DACTYLOIDES / BUFFALOGRASS

NOTE: SEE SHEET L16 FOR FULL PLANT SCHEDULE.



BRIGHTON VEHICLE LOGISTICS CENTER 3363 N. BRIGHTON AVE. KANSAS CITY, MO 64117	LANDSCAPE STREETSCAPE PLAN			NOT FOR CONSTRUCTION	SCALE: AS NOTED DESIGNED BY: AMS DRAWN BY: CMS CHECKED BY: SAR	 © 2023 KIMLEY-HORN AND ASSOCIATES, INC. PENNSYLVANIA AVE., SUITE 100 KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM KANSAS STATE LICENSE #001612 EXPIRES 12/31/25	NO.	REVISIONS	DATE	BY

ORIGINAL ISSUE:  
10/31/2023  
KHA PROJECT NO.  
268399000  
SHEET NUMBER

Drawing name: K:\KNC\_LDEA\268399000\_Brighton Parking\2 Design\CAD\PlanSheets\L100 - LANDSCAPE PLAN.dwg      Oct. 31, 2023 11:21am      By: coronascheer  
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A DETENTION BASIN SEED MIX

KS 643 RARE AND DECLINING HABITAT (CP42 WET-MESIC PRAIRIE — POLLINATOR 20/20)		
% seed psf	Botanical Name	Common Name
2.29%	Panicum virgatum	Switch grass
2.84%	Elymus canadensis	Canada wild rye
4.37%	Glyceria striata	Fowl manna grass
7.86%	Sorghastrum nutans	Indian grass
4.37%	Andropogon gerardii	Big bluestem
5.24%	Juncus dudleyi	Dudley's rush
7.10%	Carex vulpinoidea	Fox sedge, Brown fox sedge
0.45%	Spartina pectinata	Prairie cord grass
5.46%	Juncus effusus	Common rush
4.58%	Carex scoparia	Broom sedge
4.91%	Carex annectens	Yellow-fruited sedge
4.37%	Agalinis tenuifolia	Slenderleaf false foxglove
0.02%	Allium canadense	Wild garlic
0.11%	Anemone canadensis	Meadow anemone
0.07%	Chamaecrista fasciculata	Partridge pea
1.47%	Dalea purpurea	Purple prairie clover
0.15%	Desmodium canadense	Showy tick trefoil
1.05%	Eupatorium perfoliatum	Common boneset
0.85%	Helenium autumnale	Sneezeweed
4.97%	Penstemon digitalis	Beardtongue
5.19%	Hypericum ascyron	Great St. Johns wort
4.78%	Euthamia graminifolia	Common grass-leaved goldenrod
0.15%	Liatris pycnostachya	Prairie blazing star
3.27%	Lobelia siphilitica	Great blue lobelia
4.91%	Lythrum alatum	Winged loosestrife
1.15%	Monarda fistulosa	Wild bergamot
1.23%	Oenothera biennis	Common evening primrose
1.12%	Oligoneuron rigidum	Stiff goldenrod
2.06%	Pycnanthemum tenuifolium	Slender mountain mint
0.82%	Ratibida pinnata	Yellow coneflower
2.51%	Rudbeckia hirta	Black-eyed Susan
1.86%	Rudbeckia triloba	Brown-eyed susan
0.04%	Silphium perfoliatum	Cup plant
0.90%	Symphotrichum novae-angliae	New England aster
0.65%	Vernonia fasciculata	Common ironweed
6.55%	Veronicastrum virginicum	Culver's root
0.30%	Zizia aurea	Golden alexanders

B WET FOREST SEED MIX

KS 643 RARE AND DECLINING HABITAT (EASTERN KANSAS FORESTED WELAND 10/5)		
% seed psf	Botanical Name	Common Name
2.95%	Leersia oryzoides	Rice cut grass
2.96%	Elymus hystrix	Bottlebrush grass
9.36%	Glyceria striata	Fowl manna grass
2.64%	Elymus virginicus	Virginia wild rye
2.96%	Muhlenbergia mexicana	Leaty satin grass
2.93%	Carex normalis	Spreading oval sedge
8.89%	Juncus effusus	Common rush
7.37%	Carex vulpinoidea	Fox sedge, Brown fox sedge
5.83%	Carex scoparia	Broom sedge
5.91%	Carex cristatella	Crested sedge
0.87%	Carex molesta	Field oval sedge
2.95%	Carex shortiana	Short's sedge
0.55%	Zizia aurea	Golden alexanders
0.59%	Verbesina alternifolia	Wingstem
1.46%	Epilobium coloratum	Cinnamon willow herb
0.59%	Anemone canadensis	Meadow anemone
0.20%	Symphotrichum lanceolatum	Panicled aster
0.88%	Thalictrum dasycarpum	Purple meadow rue
0.28%	Solidago ulmifolia	Elm-leaved goldenrod
0.06%	Sanguinaria canadensis	Bloodroot
5.89%	Lobelia cardinalis	Cardinal flower
0.15%	Hydrophyllum virginianum*	Virginia waterleaf
2.93%	Lobelia siphilitica	Great blue lobelia
0.03%	Desmodium glutinosum	Pointed leaf tick trefoil
0.30%	Desmodium canadense	Showy tick trefoil
2.08%	Ageratina altissima	White snakeroot
1.52%	Eupatorium altissimum	Tall boneset
2.93%	Triodanis perfoliata	Venus's looking glass
0.88%	Dodecatheon meadia*	Shooting star
8.80%	Hypericum punctatum	Spotted St. John's wort
2.96%	Blephilia hirsuta	Hairy pagoda plant
0.01%	Silphium perfoliatum	Cup plant
0.57%	Claytonia virginica*	Spring beauty
0.03%	Allium canadense	Wild garlic
4.49%	Agastache nepetoides	Yellow giant hyssop
0.15%	Coreopsis tripteris	Tall coreopsis
0.15%	Rudbeckia laciniata	Wild golden glow
3.12%	Veronicastrum virginicum	Culver's root
0.60%	Physostegia virginiana	Prairie obedient plant
0.30%	Dicentra cucullaria	Dutchman's britches
0.88%	Eutrochium purpureum	Purple joe pye weed
0.30%	Dicentra cucullaria	Dutchman's britches
0.74%	Cephalanthus occidentalis	Buttonbush

C SAVANNA SEED MIX

KS 643 RARE AND DECLINING HABITAT (EASTERN KANSAS SAVANNA WET-MESIC 10/20)		
% seed psf	Botanical Name	Common Name
2.25%	Andropogon gerardii	Big bluestem
3.27%	Carex cristatella	Crested sedge
0.47%	Carex molesta	Field oval sedge
1.69%	Carex normalis	Spreading oval sedge
3.15%	Carex scoparia	Broom sedge
0.64%	Carex shortiana	Short's sedge
7.51%	Carex vulpinoidea	Fox sedge, Brown fox sedge
1.17%	Elymus canadensis	Canada wild rye
1.42%	Elymus virginicus	Virginia wild rye
6.00%	Juncus effusus	Common rush
0.32%	Panicum virgatum	Switch grass
3.38%	Schizachyrium scoparium	Little bluestem
1.80%	Sorghastrum nutans	Indian grass
2.03%	Agastache nepetoides	Yellow giant hyssop
0.25%	Allium cernuum	Nodding wild onion
0.08%	Anemone canadensis	Meadow anemone
0.06%	Aquilegia canadensis	Wild columbine
0.18%	Amoroglossum atriplicifolium	Pale Indian plantain
0.09%	Asclepias incarnata	Swamp milkweed
0.64%	Campanulastrum americanum	Tall bellflower
0.16%	Cephalanthus occidentalis	Buttonbush
0.41%	Chamaecrista fasciculata	Partridge pea
0.11%	Coreopsis tripteris	Tall coreopsis
3.04%	Dalea purpurea	Purple prairie clover
0.08%	Desmodium canadense	Showy tick trefoil
0.45%	Dodecatheon meadia*	Shooting star
1.88%	Epilobium coloratum	Cinnamon willow herb
1.13%	Eupatorium altissimum	Tall boneset
3.00%	Eupatorium perfoliatum	Common boneset
0.95%	Eutrochium purpureum	Purple joe pye weed
0.45%	Geum aleppicum strictum	Yellow avens
8.71%	Hypericum punctatum	Spotted St. John's wort
0.25%	Liatris pycnostachya	Prairie blazing star
4.50%	Lobelia cardinalis	Cardinal flower
5.63%	Lobelia siphilitica	Great blue lobelia
0.62%	Oligoneuron rigidum	Stiff goldenrod
5.67%	Pycnanthemum tenuifolium	Slender mountain mint
0.16%	Rudbeckia laciniata	Wild golden glow
0.02%	Silphium perfoliatum	Cup plant
0.71%	Solidago speciosa	Showy goldenrod
0.66%	Symphotrichum lanceolatum	Panicled aster
1.50%	Symphotrichum oolentangiense	Sky-blue aster
0.41%	Thalictrum dasycarpum	Purple meadow rue
4.50%	Triodanis perfoliata	Venus's looking glass
0.20%	Verbesina alternifolia	Wingstem
13.96%	Verbena hastata	Blue vervain
4.20%	Veronicastrum virginicum	Culver's root
0.25%	Zizia aurea	Golden alexanders

































D UPLAND POLLINATOR SEED MIX

KS 327 Rare and Declining Habitat (SAFE) (Upland CP42 Pollinator—Monarch 10/30)		
% seed psf	Botanical Name	Common Name
19.86%	Schizachyrium scoparium	Little bluestem
4.84%	Bouteloua curtipendula	Side oats grama
5.18%	Agastache nepetoides	Yellow giant hyssop
0.42%	Asclepias syriaca	Common milkweed
0.74%	Asclepias tuberosa	Butterfly weed
0.29%	Coreopsis palmata	Prairie coreopsis
4.15%	Dalea purpurea	Purple prairie clover
2.19%	Dalea candida	White prairie clover
0.60%	Echinacea pallida	Pale purple coneflower
0.43%	Eryngium yuccifolium	Rattlesnake master
4.84%	Heuchera richardsonii	Prairie alum root
4.43%	Monarda fistulosa	Wild bergamot
5.18%	Monarda punctata	Horse mint
5.47%	Solidago speciosa	Showy goldenrod
3.54%	Oligoneuron rigidum	Stiff goldenrod
11.92%	Rudbeckia hirta	Black-eyed Susan
5.07%	Symphotrichum oolentangiense	Sky-blue aster
0.46%	Tradescantia ohimensis	Spiderwort
6.45%	Verbena stricta	Hoary vervain
0.45%	Anemone cylindrica	Thimbleweed
5.61%	Penstemon digitalis	Beardtongue
5.30%	Potentilla arguta	Prairie cinquefoil
2.59%	Ratibida pinnata	Yellow coneflower

E NATIVE LAWN SEED MIX

Turf Alternative—Sun/Shade		
% seed psf	Botanical Name	Common Name
21.71%	Juncus tenuis	Poverty rush
15.00%	Bouteloua gracilis	Blue Grama
16.66%	Carex vulpinoidea	Fox sedge
21.71%	Poa palustris	Fowl bluegrass
2.78%	Carex brevior	Plains oval sedge
20.00%	Elymus trachycaulus	Slender wheatgrass
1.03%	Bouteloua dactyloides	Buffalograss
1.11%	Sporobolus heterolepis	Prairie dropseed

NOTE: COMPREHENSIVE PLANT SCHEDULE PROVIDED FOR SPECIES DIVERSITY CALCULATIONS ONLY. REFERENCE SHEET L9 FOR PRIVATE DEVELOPMENT PLANT SCHEDULE AND SHEET L16 FOR PUBLIC IMPROVEMENT PLANT SCHEDULE.

PLANT SCHEDULE (PUBLIC + PRIVATE) AND SHEET L16 FOR PUBLIC IMPROVEMENT			
SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME
	FG	12	FAGUS GRANDIFOLIA / AMERICAN BEECH
	TD	18	TAXODIUM DISTICHUM / BALDCYPRESS
	MM	13	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA
	MG	16	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S BROWN BEAUTY MAGNOLIA
	QP	23	QUERCUS PAGODA / CHERRYBARK OAK
	MA	19	MAGNOLIA ACUMINATA / CUCUMBERTREE
	GT	18	GLEDITSIA TRIACANTHOS / HONEYLOCUST
	GO	7	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE
	TA	17	TILIA AMERICANA 'WANDELL' / LEGEND® BASSWOOD
	GB	16	GINKGO BILOBA / MAIDENHAIR TREE
	QL	18	QUERCUS LYRATA / OVERCUP OAK
	CI	17	CARYA ILLINOENSIS / PECAN HICKORY
	QS	18	QUERCUS STELLATA / POST OAK
	UA	12	ULMUS AMERICANA LEWIS & CLARK / PRAIRIE EXPEDITION® AMERICAN ELM
	SA	13	SASSAPARILLA ALBIDUM / SASSAPARILLA
	CO	12	CARYA OVATA / SHAGBARK HICKORY
	PO	20	PLATANUS OCCIDENTALIS 'GREENICE' / SILVERWOOD™ AMERICAN SYCAMORE
	LT	18	LIRIODENDRON TULIPIFERA / TULIPTREE
	QA	20	QUERCUS ALBA / WHITE OAK
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CL	41	* CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS
	TP	31	THUJA PLICATA 'GROVELL' / SPRING GROVE® ARBORVITAE
	CS	9	CEDRUS LIBANOTICA STENOCCOMA / STENOCCOMA CEDAR OF LEBANON
	PG	29	PICEA GLAUCA VAR. DENSATA 'MONCHET' / SUNBURST™ BLACK HILLS SPRUCE
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	CP	234	CHAMAECYPARIS PROFIFERA 'DOV WHITING' / SOFT SERVICE® SAWARA FALSE CYPRESS
	TM	225	TAXUS * MEDIA 'SUNTHOCE' / STONEHENGER ANGL-O-JAPANESE YEW
	TO	243	THUJA OCCIDENTALIS 'SMITOMZ' / UPSTANDING™ EMERALD ARBORVITAE
SEED	CODE	QTY	BOTANICAL / COMMON NAME
	UP	70,133 SF	UPLAND POLLINATOR SEED MIX
	FW	5,916 SF	WET FOREST SEED MIX
	DB	70,329 SF	DETENTION BASIN SEED MIX
	NL	163,909 SF	NATIVE LAWN SEED MIX
	SV	279,335 SF	SAVANNA SEED MIX
SOD	CODE	QTY	BOTANICAL / COMMON NAME
	SOD	7,616 SF	BOUTELOUJA DACTYLOIDES / BUFFALOGRASS

Tree Species Diversity Calculator				
Total # trees to be planted = 414				
Genus	max # allowed in genus (30% of 414)	max # per species (20% of 414)	PROVIDED	
Fagus	124	82	12	IMPLICATIONS: No more than 82 trees of any one species may be planted.
Taxodium	124	82	18	
Magnolia	124	82	48	
Quercus	124	82	78	
Gleditsia	124	82	18	
Gymnocladus	124	82	7	
Tilia	124	82	17	
Ginkgo	124	82	14	
Carya	124	82	29	
Ulmus	124	82	12	
Sassafras	124	82	13	
Platanus	124	82	20	
Liriodendron	124	82	18	
× Cupressocyparis	124	82	41	
Thuja	124	82	31	
Cedrus	124	82	9	
Picea	124	82	29	

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KANSAS CITY, MO 64105  
WWW.KIMLEY-HORN.COM  
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EPA REG. STATE OF AUTHORITY #001512

SCALE: AS NOTED  
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VEHICLE LOGISTICS























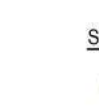

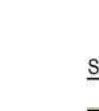







SPECIES  
DIVERSITY  
DATA

BRIGHTON  
VEHICLE LOGISTICS  
CENTER  
3363 N. BRIGHTON AVE.  
KANSAS CITY, MO 64117

ORIGINAL ISSUE:  
10/31/2023  
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SHEET NUMBER

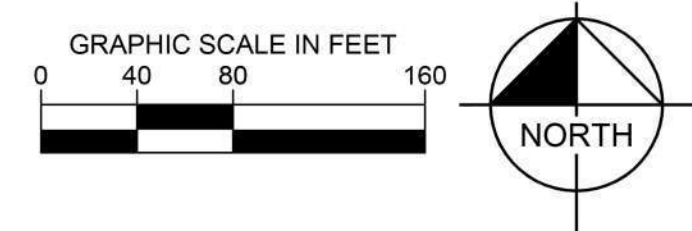
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PLANT SCHEDULE (PUBLIC + PRIVATE)			
SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME
	FG	12	FAGUS GRANDIFOLIA / AMERICAN BEECH
	TD	18	TAXODIUM DISTICHUM / BALDCYPRESS
	MM	13	MAGNOLIA MACROPHYLLA / BIGLEAF MAGNOLIA
	MG	16	MAGNOLIA GRANDIFLORA / BRACKENS BROWN BEAUTY / BRACKENS BROWN BEAUTY MAGNOLIA
	QP	23	QUERCUS PAGODA / CHERRYBARK OAK
	MA	19	MAGNOLIA ACUMINATA / CUCUMBERTREE
	GT	18	GLEDITSIA TRIACANTHOS / HONEYLOCUST
	GD	7	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE
	TA	17	TILIA AMERICANA 'WANDELL' / LEGEND® BASSWOOD
	GB	16	GINKGO BILOBA / MAIDENHAIR TREE
	QL	18	QUERCUS LYRATA / OVERCUP OAK
	CI	17	CARYA ILLINOENSIS / PECAN HICKORY
	QS	18	QUERCUS STELLATA / POST OAK
	UA	12	ULMUS AMERICANA 'LEWIS & CLARK' / PRAIRIE EXPEDITION® AMERICAN ELM
	SA	13	SASSAFRAS ALBIDUM / SASSAFRAS
	CO	12	CARYA OVATA / SHAGBARK HICKORY
	PO	20	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
	LT	18	LIRIODENDRON TULIPIFERA / TULIPTREE
	QA	20	QUERCUS ALBA / WHITE OAK
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CL	41	× CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS
	TP	31	THUJA PLICATA 'GROVEPLT' / SPRING GROVE® ARBORVITAE
	CS	9	CEDRUS LIBANOTICA STENOCOMA / STENOCOMA CEDAR OF LEBANON
	PG	29	PICEA GLAUCA VAR. DENSATA 'MONCHET' / SUNBURST™ BLACK HILLS SPRUCE
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	CP	234	CHAMAECYPARIS PISIFERA 'DOW WHITING' / SOFT SERVE® SAWARA FALSECYPRESS
	TM	225	TAXUS × MEDIA 'SMITHDC' / STONEHENGE® ANGLO-JAPANESE YEW
	TO	243	THUJA OCCIDENTALIS 'SMTOBMS' / UPSTANDING™ EMERALD ARBORVITAE
SEED	CODE	QTY	BOTANICAL / COMMON NAME
	UP	70,133 SF	UPLAND POLLINATOR SEED MIX
	FW	5,916 SF	WET FOREST SEED MIX
	DB	70,329 SF	DETENTION BASIN SEED MIX
	NL	163,909 SF	NATIVE LAWN SEED MIX
	SV	279,335 SF	SAVANNA SEED MIX
SOD	CODE	QTY	BOTANICAL / COMMON NAME
	SOD	7,619 SF	BOUTELOUA DACTYLOIDES / BUFFALOGRASS

NOTE: SEE SHEET L9 FOR FULL PLANT SCHEDULE.

NOTE: THIS PLAN IS NOT DESIGNED TO BE USED FOR  
CODE COMPLIANCE. SEE SHEETS L9 AND L16 FOR  
LANDSCAPE CALCULATIONS AND REQUIREMENTS.

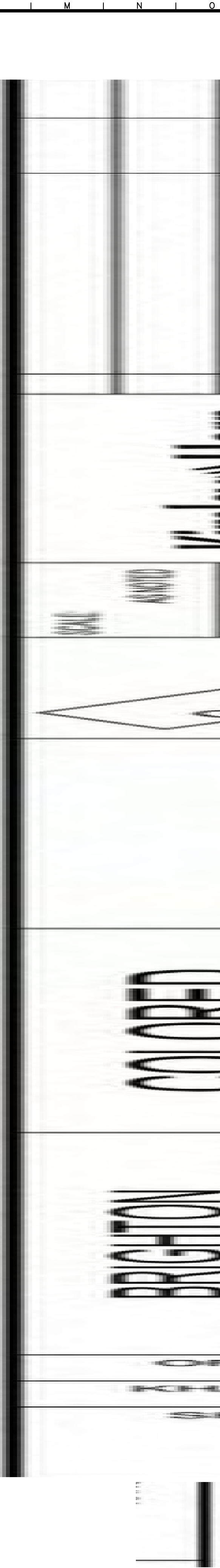


<p>ORIGINAL ISSUE: 10/31/2023</p>		<p><b>BRIGHTON VEHICLE LOGISTICS CENTER</b></p>		<p><b>COLORED LANDSCAPE PLAN</b></p>				<div style="border: 1px solid black; padding: 5px; transform: rotate(-45deg); text-align: center;"> NOT FOR CONSTRUCTION </div>		<p>SCALE: AS NOTED</p> <p>DESIGNED BY: AMS</p> <p>DRAWN BY: CMS</p> <p>CHECKED BY: SAR</p>		<p><b>Kimley»Horn</b></p> <p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM KANSAS PROJECT OF AUTHORITY #001512 EXPIRES 1/23/13</p>		<p>No.</p> <p>REVISIONS</p> <p>DATE</p> <p>BY</p>	
<p>SHEET NUMBER</p>		<p>L23</p>													

Drawing name: K:\KNC\LD\A\268399000\_Brighton Parking\2\_Design\CAD\PlanSheet\1100 - LANDSCAPE PLAN.dwg    VIEWS (1)    Oct 31, 2023    11:21am    by: cernon.sheer  
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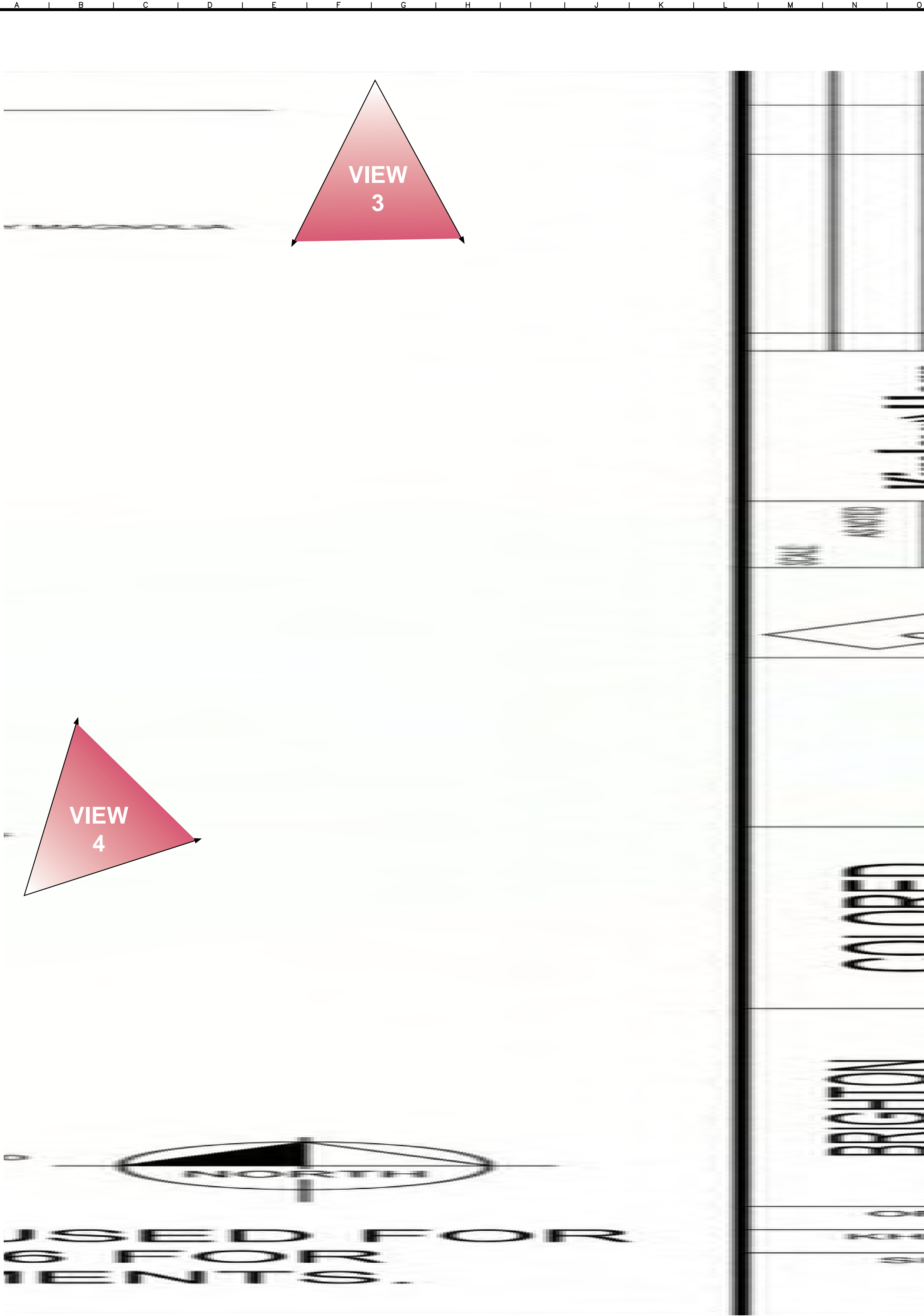
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VIEW 2  
FROM N BRIGHTON AVE. LOOKING S

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PLAN (NTS)



VIEW 3  
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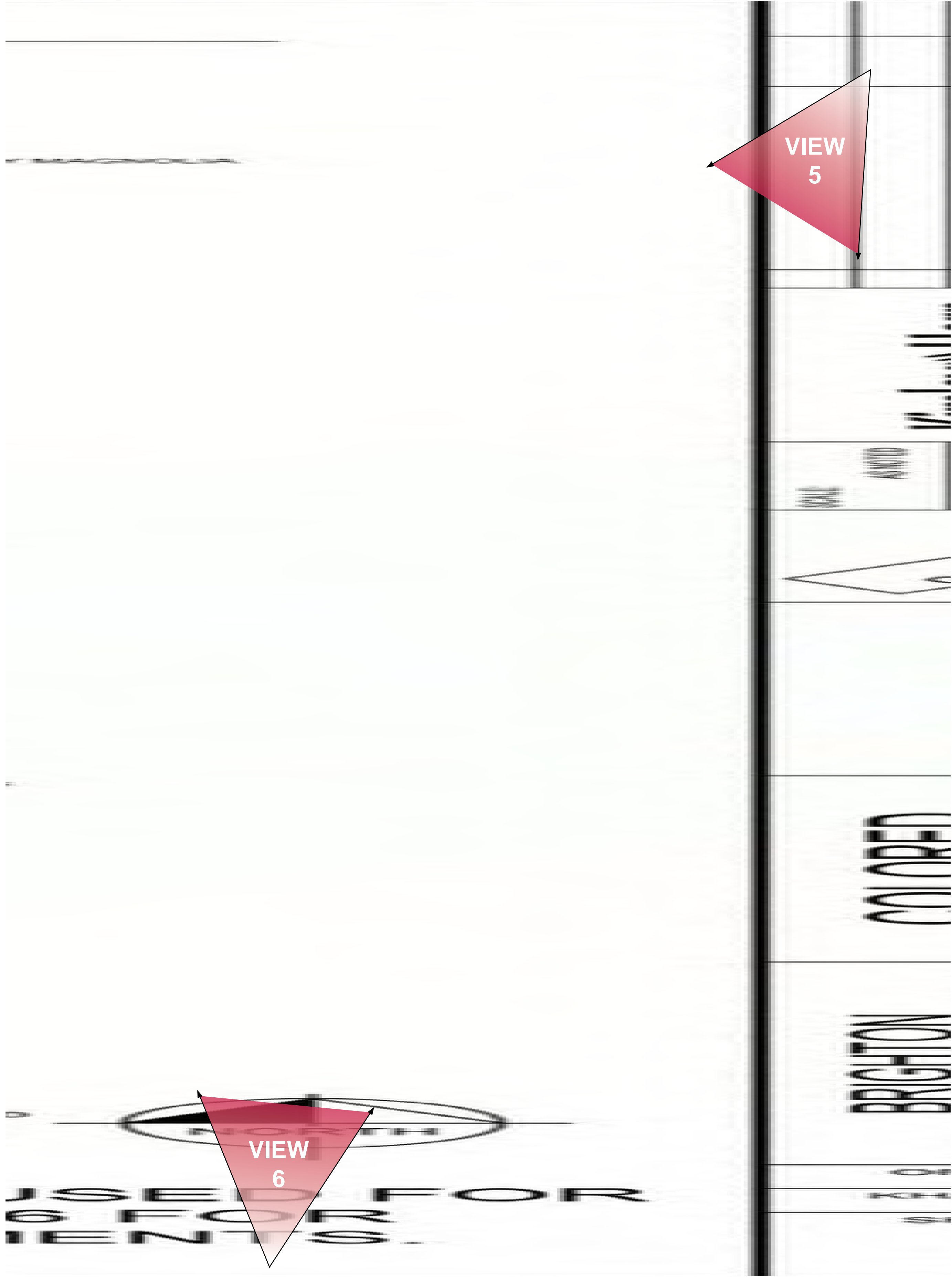
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Oct 31, 2023 11:21pm by: csonshaw

VIEWS (3)





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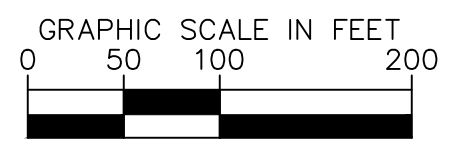


VIEW 5  
FROM SEARCY CREEK PKWY. LOOKING SW





VIEW 6  
FROM NE SERVICE RD. LOOKING N

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				<p>DESIGNED BY: AMS</p> <p>DRAWN BY: CMS</p> <p>CHECKED BY: SAR</p>				
<p>ORIGINAL ISSUE: 10/31/2023</p>								
<p>KHA PROJECT NO. 268399000</p>								
<p>SHEET NUMBER</p>								
<p><b>L26</b></p>								



### PHOTOMETRICS LEGEND



	<p>SINGLE LUMINAIRE MOUNTED AT 30' AFG INCLUDING WOODEN POLE AND FOUNDATION. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.</p>
	<p>DOUBLE LUMINAIRE MOUNTED AT 30' AFG INCLUDING WOODEN POLE AND FOUNDATION. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.</p>
<p style="font-size: 1.2em;">" X " X</p>	<p>CALCULATION POINT</p>

## PHOTOMETRICS NOTES

1. ALL PHOTOMETRIC VALUES SHOWN ON SITE PLAN IN TABLES ARE IN FOOTCANDLES (FC). 1 FC = 10.76 LUX.
2. CALCULATED VALUES ARE DERIVED THROUGH A COMPUTER BASED MODEL WITH LIGHT FIXTURE DATA AS SUPPLIED BY MANUFACTURERS THROUGH ITS FILES.
3. ANY DEVIATION FROM SPECIFIED FIXTURE MODELS AND MOUNTING HEIGHTS IN THIS EXHIBIT WILL DISCOUNT THE VALIDITY OF THE CALCULATIONS.
4. THE PHOTOMETRIC ANALYSIS EXCLUDES ALL EXISTING AND PROPOSED OFF SITE STREET LIGHTING, BUILDING LIGHTING AND LANDSCAPE LIGHTING.
5. CONTRACTOR TO FIELD COORDINATE EXACT LOCATION OF POLES WITH UNDERGROUND UTILITY AND OTHER OBSTRUCTIONS.
6. CONTRACTOR SHALL CONFIRM POLE AND FIXTURE FINISHES WITH OWNER PRIOR TO PURCHASE. ALL PROPOSED LUMINAIRE STYLES AND COLORS SHALL BE SUBMITTED AND APPROVED BY OWNER.
7. ALL LUMINAIRE SYMBOLS ARE DIAGRAMMATIC ONLY. EXACT LOCATION AND SETBACKS SHALL BE FIELD COORDINATED.
8. FINAL ELECTRICAL DESIGN AND POLE FOUNDATION DETAILS ON ELECTRICAL PLANS. ALL LUMINAIRE ACCESSORIES AND CONTROL PROVISIONS SHALL BE COORDINATED WITH ELECTRICAL PLANS AND SHALL BE ORDERED WITH LUMINAIRES.
9. LIGHTING DESIGN BASED ON OWNER STANDARDS AND THE KANSAS CITY, MO — CODE OF ORDINANCES CHAPTER 88-430 — OUTDOOR LIGHTING STANDARDS. THE MORE STRINGENT OF THE TWO REQUIREMENTS ARE OBSERVED.

PARKING LOT CALCULATION SUMMARY							
	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
IES TARGET VALUES	ILLUMINANCE	FC			0.20		20.00
BRIGHTON REQUIREMENTS	ILLUMINANCE	FC			2.00		
PARKING LOT	ILLUMINANCE	FC	4.32	12.5	2.00	2.16	6.25
DRIVING AISLE	ILLUMINANCE	FC	4.76	9.90	2.00	2.38	4.95

PERIMETER CALCULATION SUMMARY							
	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
KCMO REQUIREMENTS	ILLUMINANCE	FC		0.50			
BRIGHTON INDUSTRIAL ROW	ILLUMINANCE	FC	0.04	0.40	0.00	N/A	N/A

LIGHT FIXTURE SCHEDULE									
SYMBOL	TAG	QTY	LABEL	MANUFACTURER	LLF	LUMENS	WATTAGE	COLOR	DESCRIPTION
	P1	65	AR18-96N-MV-NW-5-BK-400	LEOTEK	0.900	40990	297	4000K	POLE MOUNTED, 35' POLE PLANTED 5' IN THE GROUND.
	P2	6	AR18-96N-MV-NW-3-BK-400	LEOTEK	0.900	40990	297	4000K	POLE MOUNTED, 35' POLE PLANTED 5' IN THE GROUND.

PH1	SHEET NUMBER	KHA PROJECT NO. 268399000	ORIGINAL ISSUE: 10/20/2023	<div>BRIGHTON VEHICLE LOGISTICS CENTER 3363 N. BRIGHT AVE. KANSAS CITY, MO 64117</div>	<div></div>	<div>NOT FOR CONSTRUCTION</div>	<div><div>Kimley»»Horn</div><div>© 2021 KIMLEY»»HORN AND ASSOCIATES, INC. 10000 W. 110TH AVENUE, SUITE 100 KANSAS CITY, MO 64116 WWW.KIMLEY-HORN.COM PROJECT # 2019-001 EXP. DATE 12/31/23</div></div>	<div>SCALE: AS NOTED</div> <div>DESIGNED BY: CWH</div> <div>DRAWN BY: CWH</div> <div>CHECKED BY: RJW</div>	<table><thead><tr><th>NO.</th><th>REVISIONS</th><th>DATE</th><th>BY</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></t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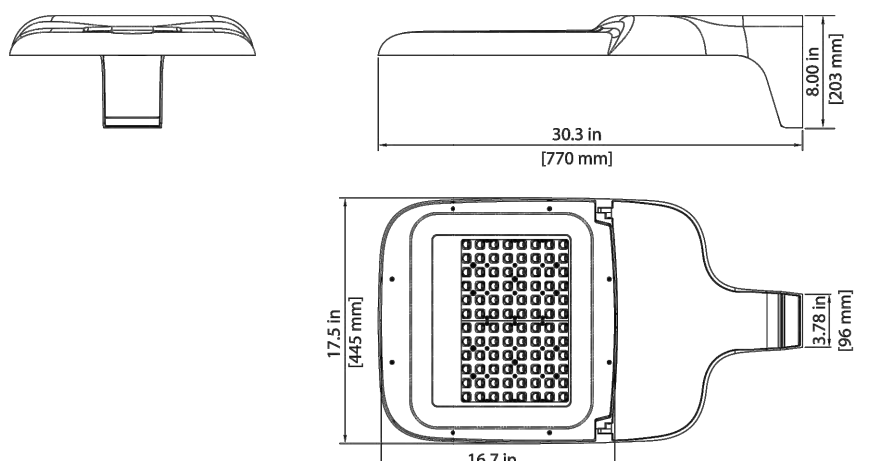
Drawing name: K:\VNC\_LDE\268399000\_Brighton Parking\2 Design\CAD\PlanSheets\0001 - LIGHTING PLAN.dwg PH2 Oct 31, 2023 9:34am  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



## ARIETA™ 18 Architectural LED Area Luminaire AR18 N-Series Specification Data Sheet

### Luminaire Data

**Weight** 24 lbs [10.9 kg]  
**EPA** 0.55 ft²



### Ordering Information

Sample Catalog No. AR18 96N MV NW 3 DB 400 BLS

Product	LED Code	Voltage	Nominal Color Temperature	Distribution	Finish¹	Output Code²	Options
AR18	96N	MV 120-277V HV 347-480V	WW 3000K	2 Type 2 3 Type 3 4 Type 4 5 Type 5 AFR Auto Front Row	BK Black DB Dark Bronze WH White GY Gray NA Natural Aluminum	WW -3000K	BLS³ Back Light Shield (Factory Installed)
						140	FOC⁴ Fixed Output Code
						180	NEMA Photocontrol
						210	Receptacle
						240	ANSI 7-wire Photocontrol
						270	Receptacle
						300	Control Ready 7-wire
						340	Photocontrol Receptacle
						380	Motion Sensor with L7 Lens
						400	20kV/10kA Surge Protector
			NW 4000K CW 5000K			NW -4000K	MSL7³ Motion Sensor with L7 Lens
						CW -5000K	MSL3³ Motion Sensor with L3 Lens
						150	SP2 20kV/10kA Surge Protector
						190	PND1¹ Part-Night Dimming
						220	PND2² Part-Night Dimming
						250	PND3³ Part-Night Dimming
						290	ORR Optics Rotated Right
						330	ORL Optics Rotated Left
						380	WL Utility Wattage Label
						400	DS⁵ Dual Switching

- 1 Black, Dark Bronze, White, Gray, or Natural Aluminum standard. Consult factory for other finishes. See page 2 for specifications.
- 2 Specified output code set at the factory set. Includes fixture mounted output selector that enables field adjustable light levels.
- 3 Flush mounted enhanced back light shield, factory installed.
- 4 No field adjustable output. Specified output code set at the factory.
- 5 Includes output selector that enables field adjustability of light levels. Field changeable connectors included to enable dimming connection to PCR7 (wireless node dimming is disabled by default).
- 6 Control-ready wired at factory for wireless node dimming. Output selector not included in fixture. Not able to adjust above specified drive current.
- 7 See L7 or L3 Lens coverage details on page 4. Consult factory for M5 specified with ANSI 7-wire Photocontrol Receptacle. PCR option is required for On/Off control using light detection.
- 8 For PND profile options see page 5. Only available with MV (120-277V).
- 9 Specify Color (GY, DB, BK, WH, NA).
- 10 Specify MV (120-277V) or HV (347V-480V).
- 11 Provides 50/50 fixture operation via two independent drivers. Requires two separately switched circuits. Not available with PCR3 or PCR7.

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Accessories⁶	
BLS	Enhanced Back Light Shield
RPA⁷	Round Pole Adapter
PTF1¹	Square Pole Top Fitter Single
PTF2¹	Square Pole Top Fitter Twin at 180°
PTF4¹	Square Pole Top Fitter Quad
WM¹	Wall Mount
BSK	Bird Deterrent Spider Kit
LLPC⁸	Long-Life Twist Lock Photocontrol
SC	Twist Lock Shorting Cap
FSIR100	Motion Sensor Configuration Tool



Page 1



## ARIETA™ 18 Architectural LED Area Luminaire AR18 N-Series Specification Data Sheet

### Luminaire Specifications

#### Housing

Die cast aluminum housing with universal mounting design allows for attachment to existing pole without re-drilling for retrofit applications. Aluminum housing provides passive heat-sinking of the LEDs and has upper surfaces that shed precipitation. Mounting provisions meet 3G vibration per ANSI C136.31-2010 Normal Application, Bridge & Overpass. Electrical components are accessed without tools and are mounted on removable power door.

#### Light Emitting Diodes

Hi-flux/HI-power white LEDs produce a minimum of 90% of initial intensity at 100,000 hours of life based on IES TM-21. LEDs are tested in accordance with IES LM-80 testing procedures. LEDs have correlated color temperature of 3000K, 4000K, or 5000K and 70 CRI minimum. LEDs are 100% mercury and lead free.

#### Field Adjustability

An output selector is supplied to adjust light output for local conditions (not available with PCR7-CR option). The specified output code will be factory set.

#### Quality Control

Every luminaire is performance tested before and after a 2-hour burn-in period. Assembled in the USA.

#### Optical Systems

Micro-lens optical systems are fully sealed to maintain an IP66 rating. Luminaire produces 0% total lumens above 90° (BUG Rating, Un0). Auto Front Row (AFR) optics are designed to enhance light levels at site perimeter while minimizing wattage and backlight. Optional enhanced Back Light Shield (BLS) is designed to meet strict light trespass and LEED requirements. Optics may be rotated right or left with options ORR/ORL, respectively.

#### Electrical

Rated life of electrical components is 100,000 hours. Uses isolated power supply that is 1-10V dimmable. Power supply is wired with quick-disconnect terminals. Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Terminal block accommodates 6 to 14 gauge wire. Standard surge protection complies with IEEE/ANSI C62.41 and ANSI C136.2-2015, Enhanced (10kV/5kA). SP2 option provides Extreme level (20kV/10kA).

#### Controls

3-Wire photocontrol receptacle (PCR) is available. ANSI C136.41 7-wire (PCR7) photocontrol receptacles are available. All photocontrol receptacles have tool-less rotatable bases. Wireless control module is provided by others.

#### Finish

Housing receives a fade and abrasion resistant polyester powder coat finish with 3.0 mil nominal thickness. Finish tested to withstand 5000 hours in salt spray exposure per ASTM B117. Finish meets scribe creepage rating 8 per ASTM D1654. Finish tested 500 hours in UV exposure per ASTM G154 and meets ASTM D523 gloss retention.

#### Listings/Ratings/Labels

Luminaires are UL listed for use in wet locations in the United States and Canada. DesignLights Consortium™ Premium Classification qualified product. International Dark Sky Association listed. Luminaire is qualified to operate at ambient temperatures of -40°C to 40°C.

#### Photometry

Luminaires photometrics are tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

#### Warranty

10-year limited warranty is standard on luminaire and components. 5-year limited warranty on luminaires and components with a motion sensor.

#### Standards

Luminaire complies with:  
ANSI: C136.2, C136.3, C136.10, C136.13, C136.15, C136.22, C136.31, C136.35, C136.37, C136.41, C62.41, C78.377, C82.77  
Other: FCC 47 CFR, IEC 60598, ROHS II, UL 1449, UL 1598

### Color Specifications

Order Code	Color	RAL #	Pantone Equivalent
GY	Gray	7040	429C
BK	Black	9004	426C
DB	Dark Bronze	6022	BLACK 2C
WH	White	9003	11-0601
NA	Natural Aluminum	9006	N/A

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## ARIETA™ 18 Architectural LED Area Luminaire AR18 N-Series Specification Data Sheet

### Performance Data 3000K

All data nominal. IES files are available at leotek.com.

LED Code	Output Code	Drive Current (mA)	System Wattage (W)	Delivered Lumens (Lm)¹	Efficacy (Lm/W)	Field Adjustable Output Range²
96N	140	350	103	14600	142	↑
	180	450	129	18170	141	
	210	540	150	20940	140	
	240	600	170	23620	139	
	270	750	207	27400	132	↑
	300	820	234	30300	129	
	340	930	268	34010	127	
	380	1050	299	37780	126	

### Performance Data 4000K & 5000K

All data nominal. IES files are available at leotek.com.

LED Code	Output Code	Drive Current (mA)	System Wattage (W)	Delivered Lumens (Lm)¹	Efficacy (Lm/W)	Field Adjustable Output Range²
96N	150	350	104	15650	150	↑
	190	450	130	19330	149	
	220	540	152	22900	151	
	250	600	170	25670	151	
	290	750	206	29770	145	↑
	330	820	235	33830	144	
	380	930	272	38070	140	
	400	1050	297	40990	138	

Notes:  
1 Normal tolerance ± 10% due to factors including distribution type, LED bin variance, driver variance, and ambient temperatures.  
2 Performance codes available in two ranges for adjustable output as shown in performance data tables. Output set at factory to specified performance code.

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## ARIETA™ 18 Architectural LED Area Luminaire AR18 N-Series Specification Data Sheet

### Motion Sensor (Optional) Specifications

#### Description

Digital passive infrared luminaire integrated outdoor occupancy sensor provides high/low/off control based on motion detection. Initial setup and subsequent sensor adjustments are made using a handheld configuration tool. PCR option is required for On/Off control using light detection. Available with both MV or HV input voltage options.

#### Operation

Standard factory setting will dim the luminaire to 50% until motion is sensed and then it will power to 100%. When motion is not detected for five minutes, the luminaire will dim back to 50%. Ramp up and fade down times are adjustable, but initially set to NONE. The percent dimming and time durations may be field adjusted as required using FSIR-100 configuration tool. FSIR-100 user guide available at: www.wattstopper.com.

#### Optical System

Multi-cell, multi-tier Fresnel lens with a 360 degree view detects unobstructed motion within one mounting height, up to 20 ft. maximum (MSL3) or 40 ft. maximum (MSL7). Consult factory for higher mounting height requirements.

#### Finish

Sensor exterior ring and lens are white polycarbonate, UV and impact resistant.

#### Listings/Ratings

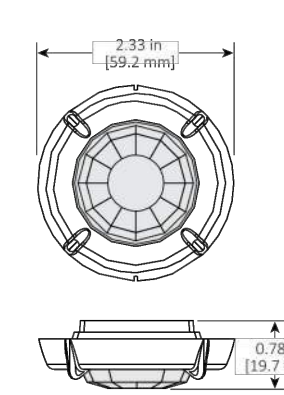
Sensor is TUV, UL and cUL listed, IP66 rated and CE compliant.

#### Warranty

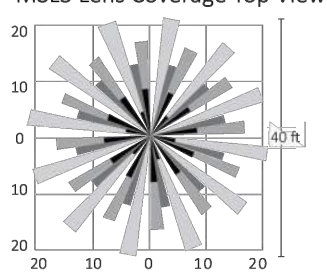
5-year limited warranty on luminaires and components with a motion sensor.

### Motion Sensor (Optional) Data

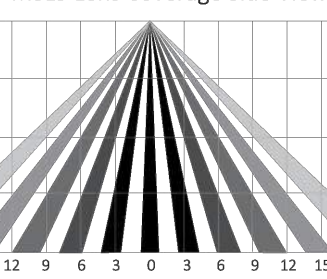
#### MSL3 Lens Dimensions



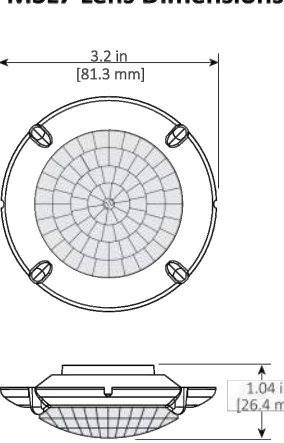
#### MSL3 Lens Coverage Top View



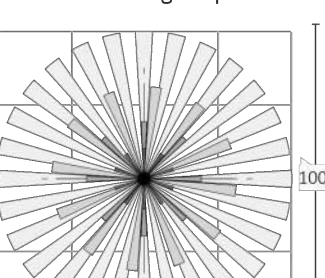
#### MSL3 Lens Coverage Side View



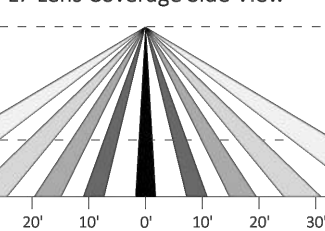
#### MSL7 Lens Dimensions



#### L7 Lens Coverage Top View



#### L7 Lens Coverage Side View



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## ARIETA™ 18 Architectural LED Area Luminaire AR18 N-Series Specification Data Sheet

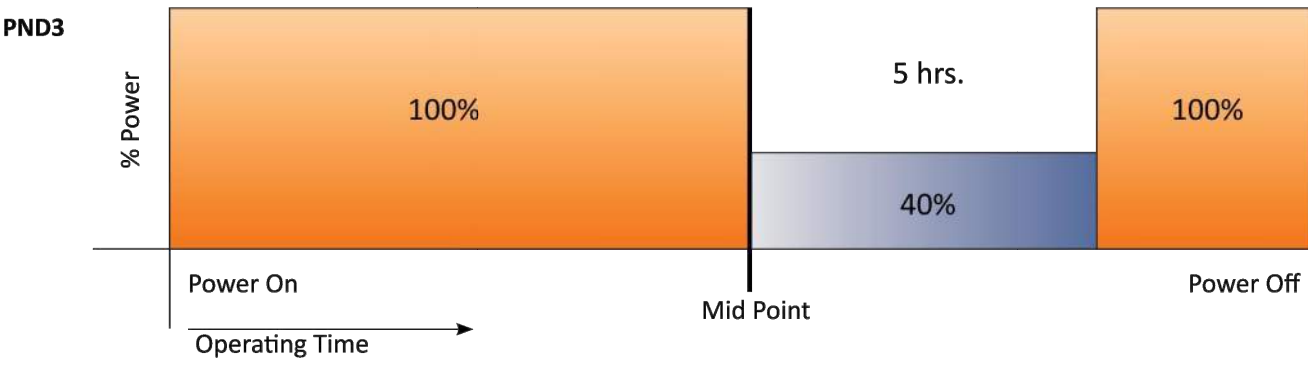
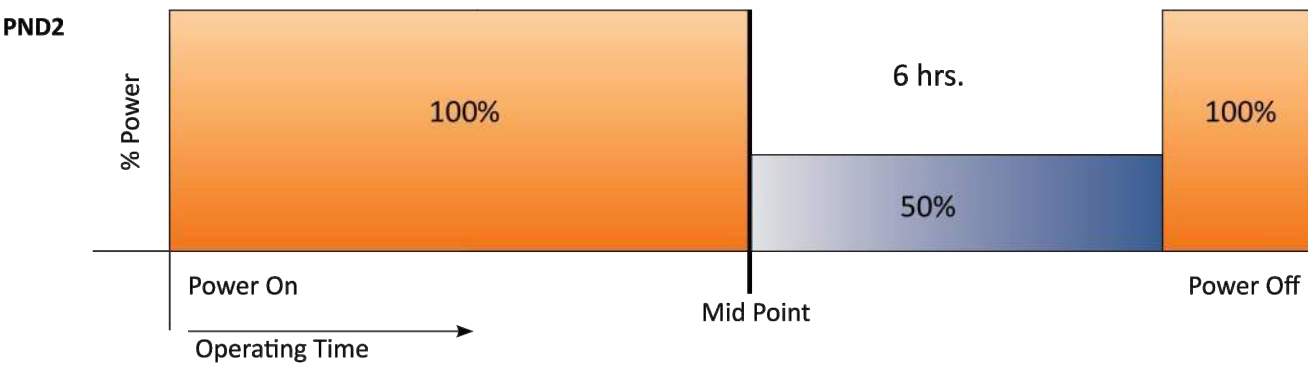
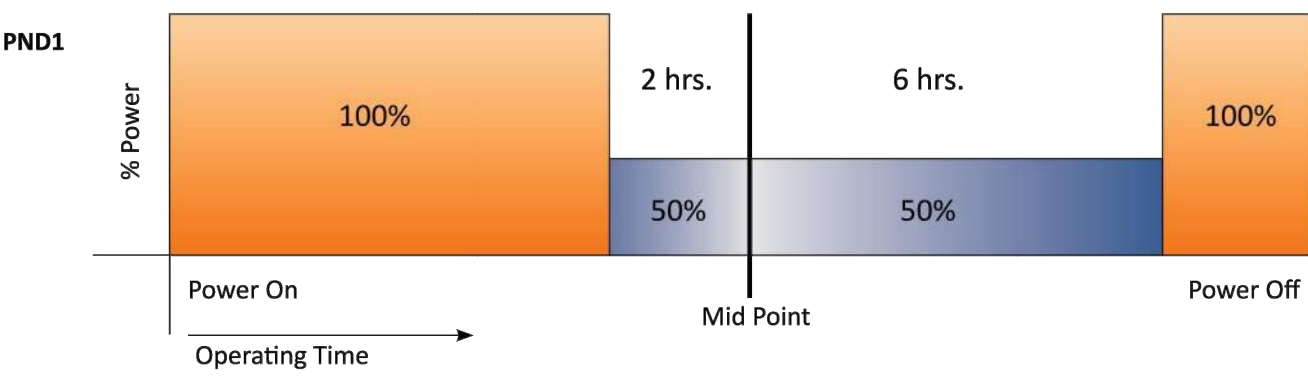
### Part-Night Dimming Specifications

#### Description

Arieta's Part-Night Dimming (PND) option enables significant energy savings by automatically dimming the luminaire during early morning hours when infrequent use is expected. Factory programmed dimming profiles automatically take into account seasonal changes based on geographical location by continuously monitoring the nighttime midpoint. PND does not provide power on/off control which is provided by external controls (example: time clock) or a photocontrol using PCR3 or PCR7 option. Dimming profile of PND option is not field adjustable.

#### Operation

Based on the PND profile that is selected, the luminaire dims to the corresponding % power for the corresponding length of time (based on the nighttime mid-point) as shown below. Mid-point is continuously recalculated in the luminaire by monitoring the average length of time between when the light turns on (power on) and turns off (power off) over the previous two days. In effect, this functionality will take two days to initialize after installation before any dimming will occur. Power interruptions are ignored and do not affect the determination of mid-point. A motion sensor (MSL3 or MSL7) can be used with PND to temporarily override the dimming profile when motion is detected. Three factory programmed PND profiles are available for selection:



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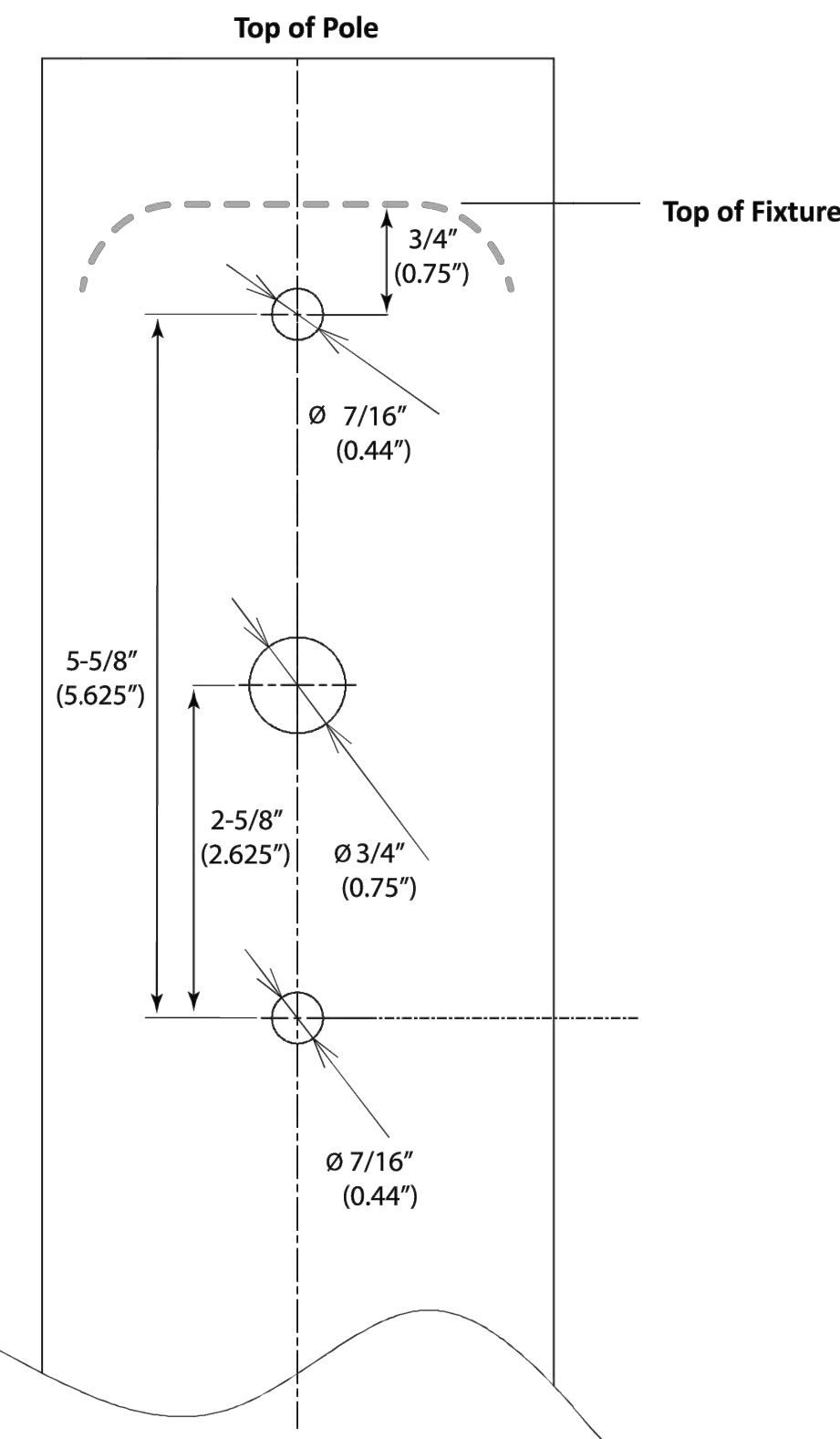
Page 5



## ARIETA™ 18 Architectural LED Area Luminaire AR18 N-Series Specification Data Sheet

### Pole Mount Drilling Dimensions for New Construction

For more details, consult the Arieta Installation Guide



Mounting Pole Drilling Dimensions for New Construction

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Page 6

Kimley»Horn

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PHILADELPHIA, PA 19102  
WWW.KIMLEY-HORN.COM  
PHONE 815-625-0350  
FAX 815-625-0351  
EXPRES 12/31/23

SCALE: AS NOTED  
DESIGNED BY: C/W  
DRAWN BY: C/W  
CHECKED BY: R/W

NOT FOR CONSTRUCTION

PRECISION  
VEHICLE LOGISTICS

SITE  
PHOTOMETRIC  
PLAN

BRIGHTON  
VEHICLE LOGISTICS  
CENTER  
3963 N. BRIGHTON AVE.  
KANSAS CITY, MO 64117

ORIGINAL ISSUE:  
10/20/2023  
KHA PROJECT NO.  
268399000  
SHEET NUMBER

PH2

## **Proposed New Vehicle Production Storage & Loading Facility**

**About Precision:** Precision is a customer service organization currently committed to service excellence in finished vehicle logistics. We want to be the world's best finished logistics solution provider.

Bret Griffin and Darrin McElroy (Mac) founded Precision in 2014 because we had a clear vision of what great vehicle processing could be and just didn't see it in the marketplace – not where we had been, not where we were, and not anywhere else. We partnered with River Trading Company (now called Liberty Hill Equity Partners).

Liberty Hill, of Cincinnati, Ohio are a family owned (4<sup>th</sup> generation) energy solutions and industrial services company that traces its roots to 1882. Its core business includes logistics and terminal operations. They are active partners, providing critical strategic, financial, and administrative support to the Precision team. They provide the crucial behind-the-scenes items that allow our operations and people teams to focus on the customer. They have provided a great balance of standing behind us without standing on our shoulder.

Liberty Hill is not a typical private equity group as they look to acquire companies and hold them forever, they do not seek outside investors, and they do not utilize any financial leverage. They are well capitalized and well positioned to be successful for the next 100 years and beyond.

**Site Access and Traffic.** Access to the subject property will be provided off Highway 210. There will be no access to the site from either N. Brighton Avenue or Searcy Creek Parkway. The vehicles will be brought on site by either car carrier onto the site or individually driven.

**Employees:** 20 employees maximum will be assigned to the site. We estimate that there will be 6 to 7 employees there during each shift.

**Security.** In addition to 24/7 on-site security, the facility will have 24/7 video camera surveillance throughout the Facility. Security guards will be one at the gate to the site, one roaming the site and one in the security booth at all times.

**Hours of Operation:** Brighton Parking will be operated 24 hours a day, 7 days a week.



CITY OF  
KANSAS CITY,  
MISSOURI

## CITY PLANNING & DEVELOPMENT

### Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

## Meeting Sign-In Sheet

## Project Name and Address

---

[illegible]

# Public Comments

## Chambi, Larisa

---

**From:** jmormino15@gmail.com  
**Sent:** Wednesday, November 1, 2023 1:27 PM  
**To:** French, Lindsay; Minardi, Lisa; Rogers, Wes; Justis, Amy  
**Cc:** Chambi, Larisa; Public Engagement  
**Subject:** RE: Concerns and objection to City Planning Commission CD-CPC-2023-00151  
Brighton Parking (formerly Brighton Industrial Park at 3363 North Brighton, Kansas City, MO 64117  
**Attachments:** Parking lot.docx; Distance between property line and our backyards they butt right up.jpg; out my back window.jpg; It used to look like this on the entire lot not much room between the lot and my home.jpg; big ugly hole.jpg

**EXTERNAL: This email originated from outside the kcmo.org organization. Use caution and examine the sender address before replying or clicking links.**

**RE: Concerns and objection to City Planning Commission CD-CPC-2023-00151  
Brighton Parking (formerly Brighton Industrial Park and formerly 2 other prior rejected projects)  
3363 North Brighton, Kansas City, MO 64117 – Asking for project to be denied**

Dear Councilmember French, Councilmember Rogers and Planning Commission,

Please stop the parking lot from being put in at this site, our community does not need a giant parking lot. I have lived at my residence at the North Brighton Townhouse complex of (350 + units) since the early 1990's. My unit backs up to and is less than 300 feet from the proposed parking lot. I found out about the parking lot with a note on my door. (See attachment of notification). I can't even read the fine print it's so small.

They tore down an old growth tree stand bluff for a warehouse, and now they want to put in a parking lot to stage cars 24 hours a day 7 days a week. We've been dealing with these people and their "stories and promises" for several years. The entire time they told us they would leave the stands of trees at the property line to give us some shade and a wind break since they had torn down the old trees and dug massive quantities of dirt out of the bluff.

**We desperately need a wind break as the wind off the river can pick up 50 – 100 lb pots and sling them into the air and common grounds, save the old growth trees and bluffs along Searcy Creek Parkway so we can at least try to control the microenvironment in the area? Try to limit the destruction for our health and safety.**

Two years ago, when they were talking about the warehouses, they said again they would leave the trees on the property line. The warehouses were barely approved when they started to tear down all the trees along the property line, just culling them after I called the owner.

Last fall they tore down the rest of the trees and left a giant pile of dirt. (See Attached Pictures)  
It's like they tore out my soul watching them destroy something we loved so much.

- How can they be allowed to run a massive parking lot 24 hours 7 days a week, inside a residential area?  
We will never get any rest, our lives will cease to exist as we know them.  
What exactly will they do and how is a 6-foot fence and some cheap landscaping going to drown out the lights, noises, smells and pollution of a 43 acres heavy duty asphalt parking lot. This project needs to be halted, if not, we need to have significant specifics in place regarding what will be done to protect our neighborhood and they need to be held accountable for completing those as well as maintaining them.
- The asphalt smell, exhaust smell and the tire particulates are all dangerous to everyone in the neighborhood, especially the children, with an elementary and middle school not too far away.
- **Asphalt will cause the temperatures in the summer to be 25 - 80 degrees hotter.**

For example, if it's 85 degrees, then the blacktop temperature is 110. If the air temperature is over 100 degrees, then the blacktop can reach **160 to 180 degrees** causing urban heatwave effect.

<https://www.cnn.com/2021/07/14/weather/worst-urban-heat-island-cities>

- **Tire study from Yale** <https://e360.yale.edu/features/tire-pollution-toxic-chemicals#:~:text=According%20to%20a%20recent%20report,reproductive%2C%20and%20cancer%20outcomes.%E2%80%9D> **9D Each tire releases 100 times the amount of volatile organic compounds as a modern tailpipe.**

The particulates are so small they can pass through lung tissue into the bloodstream and cross the blood-brain barrier or be breathed in and travel directly to the brain, causing a range of problems.

- Engine exhaust – well that just speaks for itself.

We would appreciate your help with his matter

Thank you in advance for your time and consideration.

Jeannette Mormino –  
jmormino15@gmail.com  
5307 NE 36th Street, Kansas City, MO 64117









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5057 N.E. 37TH STREET • KANSAS CITY, MISSOURI 64117 • (816) 454-2500 • FAX (816) 454-2459

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October 26, 2023

City Plan Commission  
ATTN: Larisa Chambi  
414 E 12<sup>th</sup> Street  
Kansas City, MO 64113

RE: Case Nos. CD-CPC-2023-00151, letter to be addressed at hearing.

Dear City Plan Commission & Larisa Chambi,

This letter is being written to you on behalf of the Board of Directors and Members of North Brighton Townhouses, Inc. Our property is 56 acres with 382 townhomes residing on the property, established in 1968. We are writing to you with concerns regarding an application that will be presented to you on November 7, 2023, regarding Brighton Parking, Case Nos. CD-CPC-2023-00151. We would also like this letter to be addressed at the application hearing.

Attorney Patricia R. Jenson with Rouse Frets White Goss Gentile Rhodes, P.C. representing Precision Vehicle Holdings was kind enough to hold a zoom meeting on October 24, 2023, that we participated in. During this zoom meeting, some concerns were raised regarding the property located at the northeast corner of Highway 210 and N. Brighton Avenue. As you may recall, two (2) years ago, The City Plan Commission approved a Master Planned Development Plan for two industrial buildings for storage/distribution businesses. The new application that will be proposed to you on November 7, 2023, is for a parking facility for Ford Transit Vehicles.

North Brighton Townhouses, Inc. is the immediate neighbor to the north of said property. Two years ago, the previous plan removed all forty (40) year old trees and sound barriers bordering the property line. The removing of the trees not only removed any shade or buffering of noise from 210 Highway, but it also caused an excessive amount of dirt and dust. During the zoom meeting, Ms. Jensen provided a visual PowerPoint presentation, containing pictures of a sound barrier with trees, which do not exist at this time, all that remains is dirt and cliffs.

When we brought this to her attention, she stated a six (6) foot wood fence would be provided with landscaping. We do not believe a six (6) foot wood fence would help buffer any sounds. When we questioned the issue regarding the sound barrier, we were informed that the fence would block the visual of the parking lot and the landscaping would help buffer the sound.

In this meeting, we were also informed that this operation would be twenty-four hours, seven days a week. Our concern for our property is the continuous noise in relation to the Kansas City Noise Ordinance, Chapter 46 regarding the residential neighbors. We understand that we have no control over who owns and controls the land. If we are unable to control the noise, with consideration for residential neighbors during their hours of operation, we would like to see in their planned proposal, when it comes to the fencing and landscaping, perhaps a wall or barrier made for sound proofing and noise buffering along with plants/trees of mature age to replace what was demolished previously.

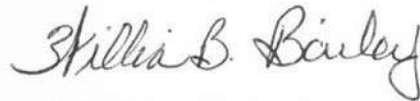
We have included a petition regarding the change of operation of the industrial park with members' signatures, as well as present day pictures of the industrial property residing next to North Brighton Townhouses, Inc. Again, we would like this letter to be addressed at the application hearing on November 7, 2023. Thank you for your time and consideration.

On behalf of North Brighton Townhouses, Inc.

Cooperatively yours,



Elizabeth Tharp, On-site Manager  
North Brighton Townhouses, Inc.  
5057 NE 37<sup>th</sup> Street  
Kansas City, MO 64117  
Phone: 816-454-2500



Willia Bailey, President  
North Brighton Townhouses, Inc.  
5330 NE 36<sup>th</sup> Street  
Kansas City, MO 64117















# PETITION

Date: 10/27/2023

To the Council of the City of Kansas City – City Plan Commission

**Petition Summary:** Our concern for our property is the continuous noise in relation to the Kansas City Noise Ordinance, Chapter 46 regarding the residential neighbors. We understand that we have no control over who owns and controls the land. If we are unable to control the noise, with consideration for residential neighbors during their hours of operation, we would like to see in their planned proposal, when it comes to the fencing and landscaping, perhaps a wall or barrier made for sound proofing and noise buffing along with plants/trees of mature age to replace what was demolished previously.

**Action Petitioned for:** We, the undersigned residents of the North Brighton Townhouses, Inc. petition the City Plan Commission and ask that the hours of operation coincide with the Kansas City Noise Ordinance, a noise buffering/sound proofing wall & mature trees planted.

The contact person for this petition is:

North Brighton Townhouses, Inc.

5057 NE 37<sup>th</sup> Street, KCMO 64117

816-454-2500

Name

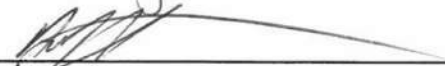
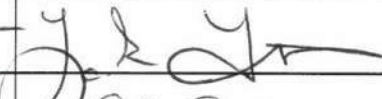
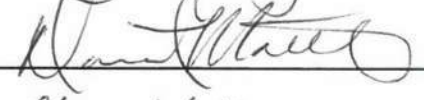
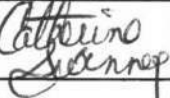
Address

Phone

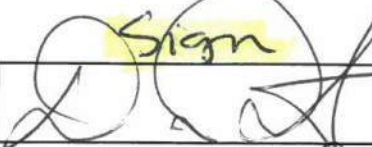
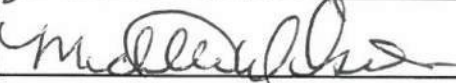
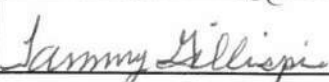
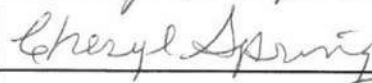

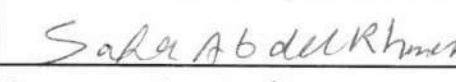
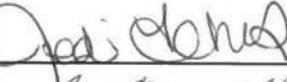
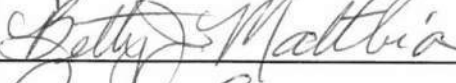
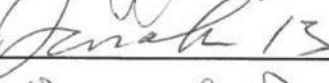
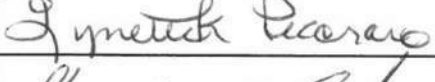

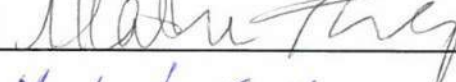
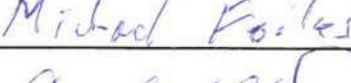

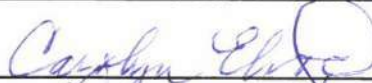
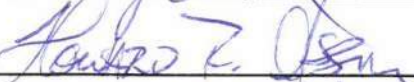
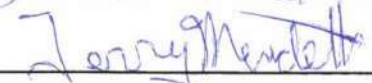

We note that any petition received maybe publicly available by the Council, unless we specifically advise otherwise.

	NAME	ADDRESS	PHONE NUMBER	SIGNATURE
1	Kathy Delightly	5218 NE 36 <sup>th</sup>	816-454-7195	Kathy Delightly
2	Patricia A. Rader	5163 NE 37 <sup>th</sup> St	816-582-8400	P. Rader
3	Harna Kern	4921 NE 38 <sup>th</sup> St <sup>B</sup>	816-730-4109	Harna Kern
4	Timothy CATES	5016 NE 37 <sup>th</sup> St APT A	816-812-8202	Timothy Cates
5	Abdifatah Osman	5030 NE 37 <sup>th</sup> St	816-209-5810	Abdifatah Osman
6	Cathy Monahan	5331 NE 36 <sup>th</sup> St	816-433-0091	Cathy Monahan
7	Anne M. Jones	5008 NE 37 <sup>th</sup> St <sup>APT A</sup>	816-868-3129	Anne M. Jones

8	NEAL K. DAKE	5010 NE 37th ST APT A	(716) 561-1602	MU 15 Dake
9	Emmylou Guillory	4979 NE 37th St	816 745 9372	Emmylou
10	Jerrusha Keesee	5110 NE 37th St	816-878-2986	Jerrusha Keesee
11	ALLEN A CAMMACK	5155 NE 37th St	816-452-5928	Allen Cammack
12	Sarah Osiek	5237 NE 37th St	816-838-1855	Sarah L Osiek
13	Federico De La Rosa	5100 NE 36th ST	816-659-2914 816-454-5344	Federico De La Rosa
14	Elena Arencibia	5177 NE 37th St	816-560-6480	Elena Arencibia
15	ALFREDO J. ARENCIBIA	5004B NE 37th St	816-803-0891	Alfredo Arencibia
16	Michael Starlinger	4906 NE 37th St	816 489 9887	Michael Starlinger
17	Kyle Thompson	5167 NE 37th St	816-675-8611	Kyle Thompson
18	Elizabeth Thayer	4900 NE 37th St	816 698 9634	Elizabeth Thayer
19	Jesse Lopez	4967 NE 37th St	816-599-7056	Jesse Lopez
20	Timothy J Forbes	5302 NE 36th St	816-454-0917	Timothy Forbes
21	Steven Cray	4915 NE 37th St	913-314-4700	Steven Cray
22	William B. Bailey	5330 NE 36th St	816-456-0534	William B. Bailey
23	Rosemarie Gilmore	5301 NE 36th St	816-706-7732	Rosemarie Gilmore
24	Lindsey Carpenter	5375 NE 37th St	816-419-1114	Lindsey Carpenter
25	JAMES FRANKLIN	5371 NE 37th St	816-719-3667	James Franklin
26	Francis B. Benson	5047 NE 37th St	816-489-3240	Francis Benson

	Print	Address	Phone	Sign
27	Deborah Wiegand	5212 NE 37 <sup>th</sup> St	KCMO 64117	816-868-8163
28	Florencia Alvarenga	4937 NE 37 <sup>th</sup> St	KC MO. 64117	816-522-4005
29	Aileen Amadorin	5019 NE 37 <sup>th</sup> St	KC MO 64117	
30	Andrea Darling	5124 NE 36 <sup>th</sup> St	KCMO 64117	816-807-1992
31	MONA SARMAN	5311 NE 36 <sup>th</sup> St	816-806 1811	Mona Sarman
32	ANTHONY GONZALEZ	5069 NE 37 <sup>th</sup> St	KC. 816-812-6361	
33	Sierra Stawicki	5065 NE 37 <sup>th</sup> St	816-701-8668	Sierra Stawicki
34	LaShonda Grether	5332 NE 36 <sup>th</sup> St	816 876 5705	
35	Linda Mathys	5180 NE 37 <sup>th</sup> St	816-294-3480	Linda Mathys
36	Nancy Mattys	5180 NE 37 <sup>th</sup> St	816-294-8952	
37	Graciela Duran <del>Graciela Duran</del>	5112 NE 37 <sup>th</sup> St	816-517-5241	Graciela Duran
38	Catherine Swinney	4911 NE 38 <sup>th</sup> Street	KCMO 64117	816 588 7417 
39	Judith A. James	4883 NE 37 <sup>th</sup> St	816-621-1149	Judith A. James
40	Connie Kanatkar	4975 NE 37 <sup>th</sup> St.	(816) 615-1552	Connie Kanatkar
41	Alpha Jo Jett	5120 NE 36 <sup>th</sup> St	816 810-1351	Alpha Jo Jett
42	Margaret Morgan	5122 N.E. 36 <sup>th</sup> St	816-459-9991	Margaret Morgan
43	Lisa Bastob	5343 NE 36 <sup>th</sup> St	816-645-5698	Lisa A Bastob
44	Luana McGinnis	5055 NE 37 <sup>th</sup> St	816-807-5493	Luana Mc Ginnis
45	Valerie Clark	5314 NE 36 <sup>th</sup> St	816 352 7878	V Clark

	Print	Address	Phone	Sign
46	John W. Darling	5124 N.E. KC. MO	516-809-4247	John W. Darling
47	Samantha Runyon	4929 NE 37 <sup>th</sup> St <sup>KC MO</sup> 64117	913-433-4244	Samantha Runyon
48	Brenda DaMitz	5041 N.E. 37 <sup>th</sup> St. KC. MO. 64117	816-878-1789	Brenda DaMitz
49	Susan Friend	5128 NE 36 <sup>th</sup> St	816-520-3906	Sue Friend
50	V Logan	5206 NE 36 <sup>th</sup> St	913-671-8001	V Logan
51	Ahmed Yusuf	4887 NE 37 <sup>th</sup> St	816-4336895	Ahmed Yusuf
52	PATRICIA DENNECKE	5165 NE 37 <sup>th</sup> ST.	816-454-7008	Patricia A. Dennecke
53	Walter Salmeron	4949 NE 37 <sup>th</sup> St	(816) 519-1465	Walter Salmeron
54	Bea Brown	5308 NE 37 <sup>th</sup> St	713-244-9932	Bea Brown
55	Scott Watkins	5059 NE 37 <sup>th</sup> St	816-824-3871	Scott Watkins
56	Calli Wynne	5157 NE 37 <sup>th</sup> St	816-516-7096	CALLI WYNNE
57	Mindy Saucedo	5151 NE 37 <sup>th</sup> St	816-805-8768	Mindy Saucedo
58	BOB SAUCEDA	5151 NE 37 <sup>th</sup> St	816-359-9974	Bob Saucedo
59	DENISE Ciliberti	4969 NE 37 <sup>th</sup> St	816-405-6033	Denise Ciliberti
60	Denise Miller	5349 N.E. 37 <sup>th</sup> St	816-896-8707	Denise A. Miller
61	AUTUMN GABRIEL	5367 N.E. 37 <sup>th</sup> ST.	(816) 716-7776	Autumn Gabriel
62	Abdelhamed Abdelhamed	5004 N.E. 37 <sup>th</sup> St	(816)-316-9288	Abdelhamed Abdelhamed
63	Jeannette Mormino	5307 NE 36 <sup>th</sup> St	816-996-1178	Jeannette Mormino
64	David Smith	5055 NE 37 <sup>th</sup> St	816-805-1144	David Smith

	Print	Address	Phone	Sign
65	Danivan Best	5172 NE 37 <sup>th</sup> St	816-365-3651	
66	Michelle Wilson	5022 NE 37 <sup>th</sup> Apt B	(816) 206-0701	
67	Tammy Gillispie	5148 NE 37 <sup>th</sup> St	816-820-9913	
68	Cheryl Spring	5203 NE 37 <sup>th</sup>	816-452-1220	
69	Ethan Abdelhamed	5018 A NE 37 <sup>th</sup> St	816-277-4207	
70	Sara Abdel Rhman	5355 NE 37 <sup>th</sup> St	816-768-1951	
71	Jodi GERS	5305 NE 36 <sup>th</sup> St	816-377-4281	
72	Betty MALTBI	5229 NE 37 <sup>th</sup> St	816-260-1559	
73	Mohamud Farah	4902 NE 37 <sup>th</sup> St	816-682-7617	
74	LYNETTE PECORARO	5176 N 33 <sup>rd</sup> St	816-877-6665	
75	Gordon Clark	5149 NE 37 <sup>th</sup> St	(816) 734-7340	
76	Heather Tharp	5201 NE 37 <sup>th</sup> St	816-582-7563	
77	Michael Foiles	5160 NE 37 <sup>th</sup> St	816-589-2286	
78		5120 NE 37 <sup>th</sup> St	816-868-2144	
79	Howard R. Jossin	5040 N.E. 37 <sup>th</sup> St.	816-663-3134	
80	Tenny Meredith	5204 NE 36 <sup>th</sup>	816-797-6044	
81	mehonze	5210 36 St	913 605 6765	
82				
83				