

Docket #6.1, 6.2

CD-CPC-2024-00100

Rezoning

CD-CPC-2024-00101

Development Plan

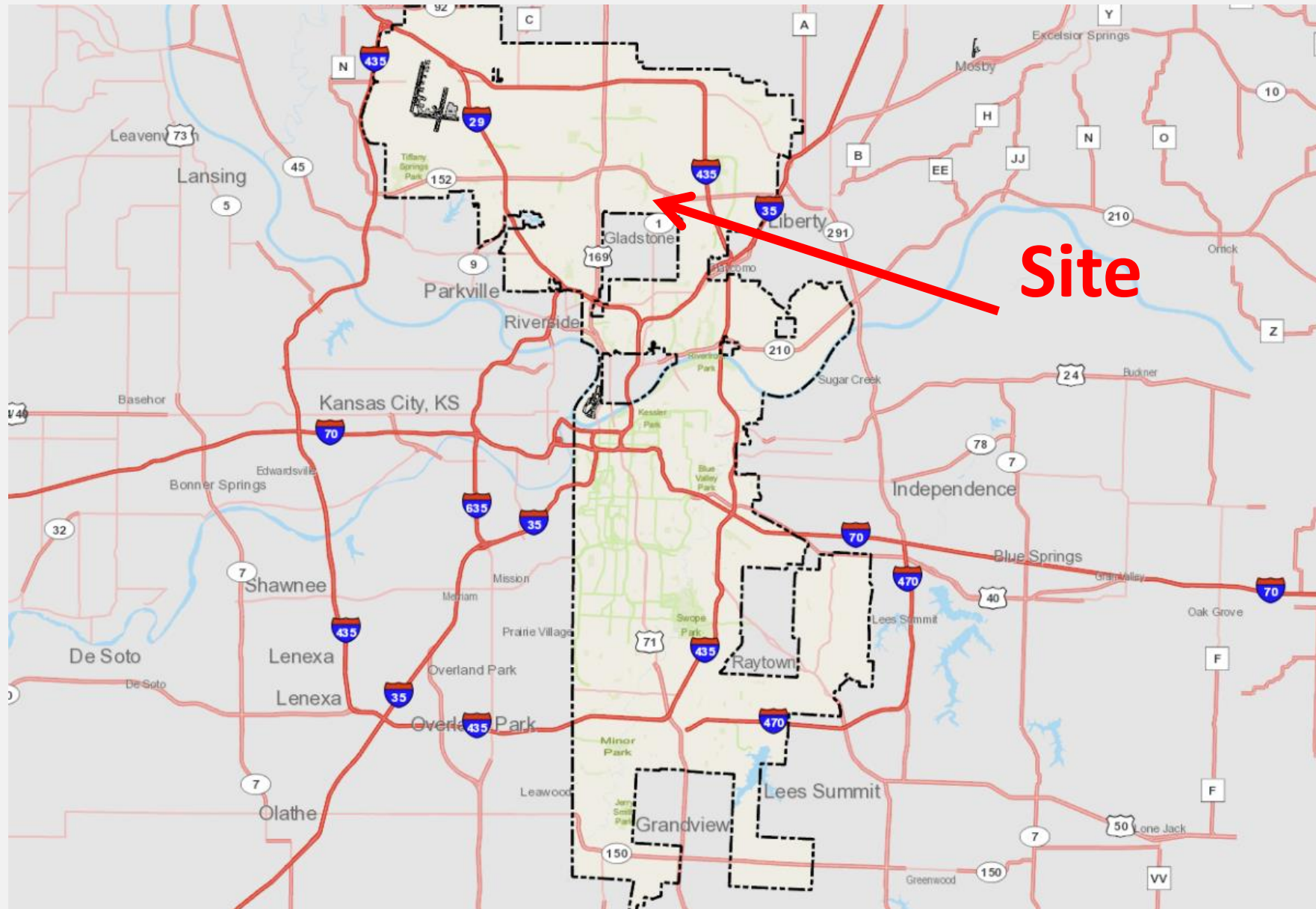
Maple Woods Mixed Use – City PIN 88319, 88318

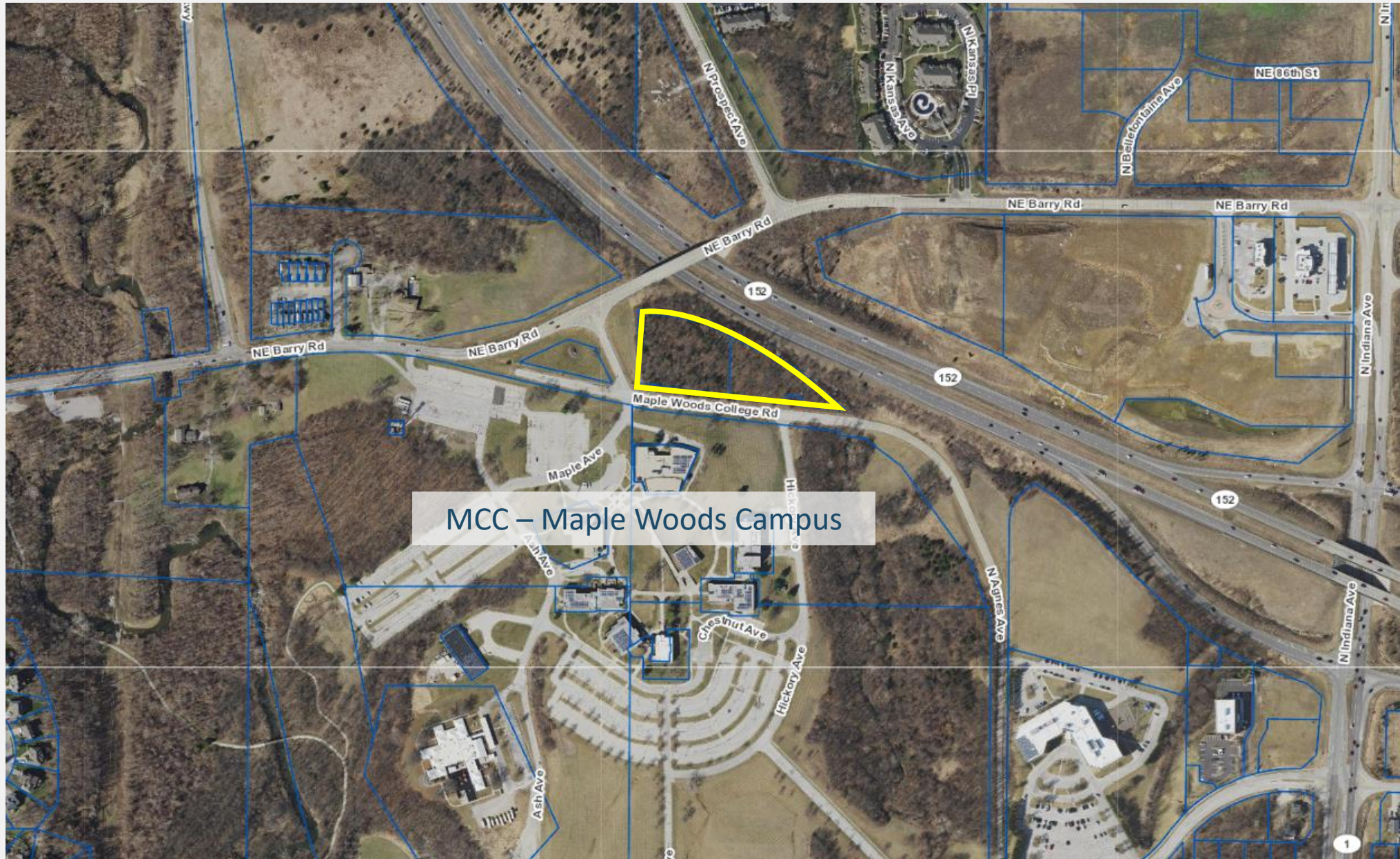
September 4, 2024

Prepared for

City Plan Commission

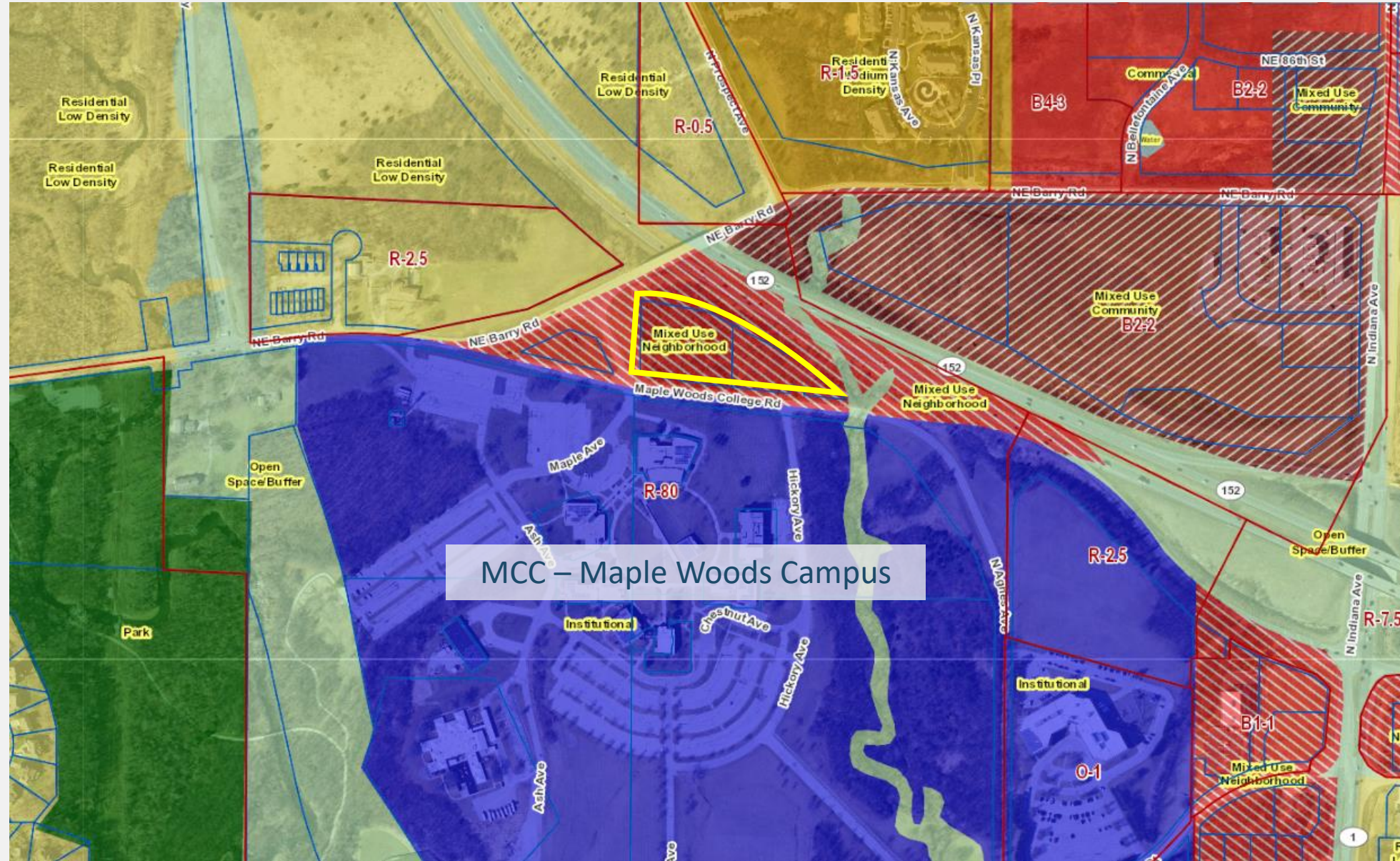






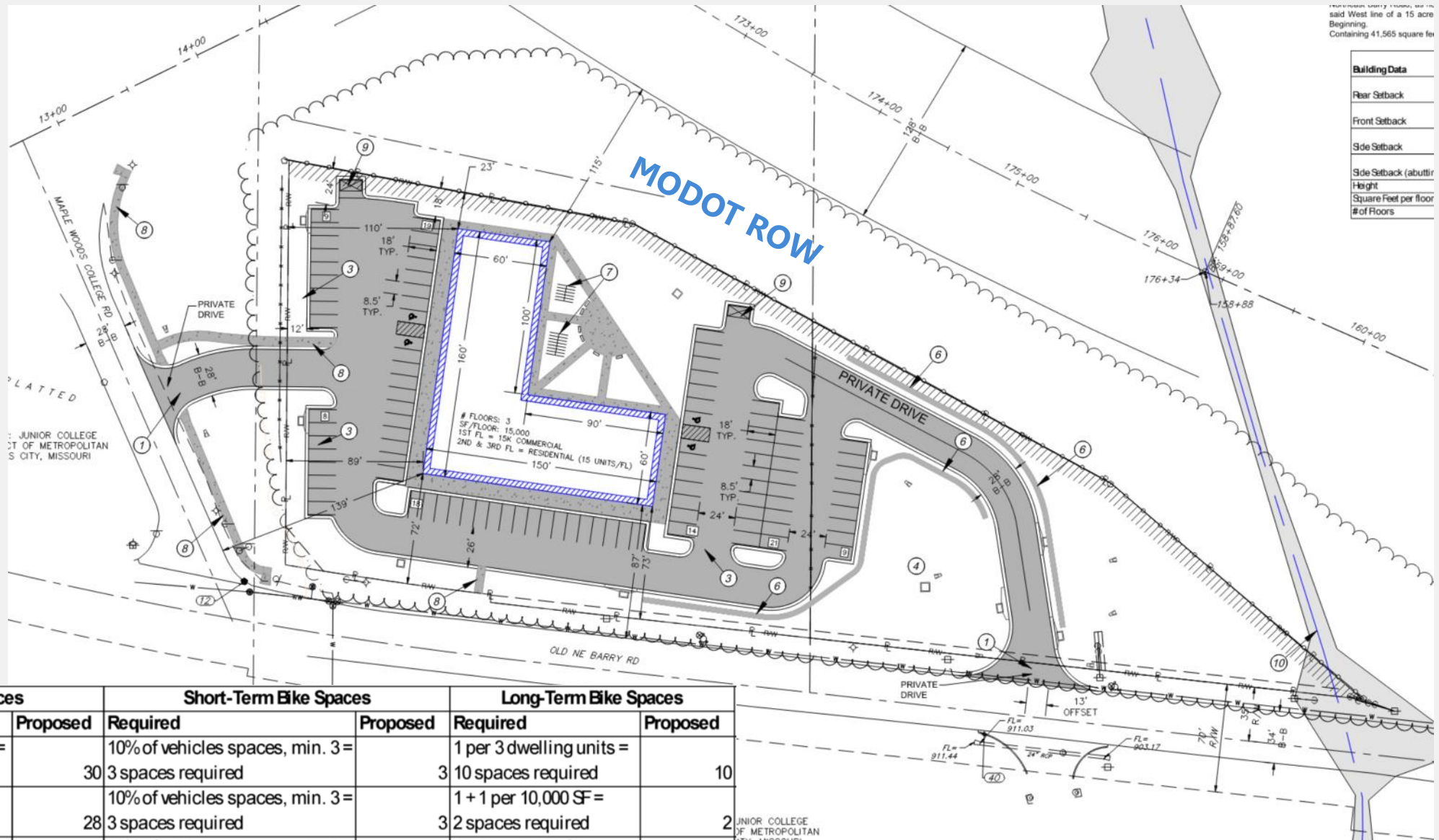
Existing Zoning: R-80

Future Land Use:
Mixed Use Neighborhood



Gashland/Nashua Area Plan

Mixed-Use Neighborhood: Primarily intended to accommodate and promote neighborhood serving retail sales or service uses, as well as mixed-use development consisting of business uses on a building's lower floors and residential uses on upper floors. This type of vertical, mixed-use development includes a variety of business and residential choices and should enhance the pedestrian environment of the community. Encouraging residential development in mixed-use areas provides increased housing choice and promotes higher density housing. This land use classification corresponds with the "B1" and "B2" zoning categories.



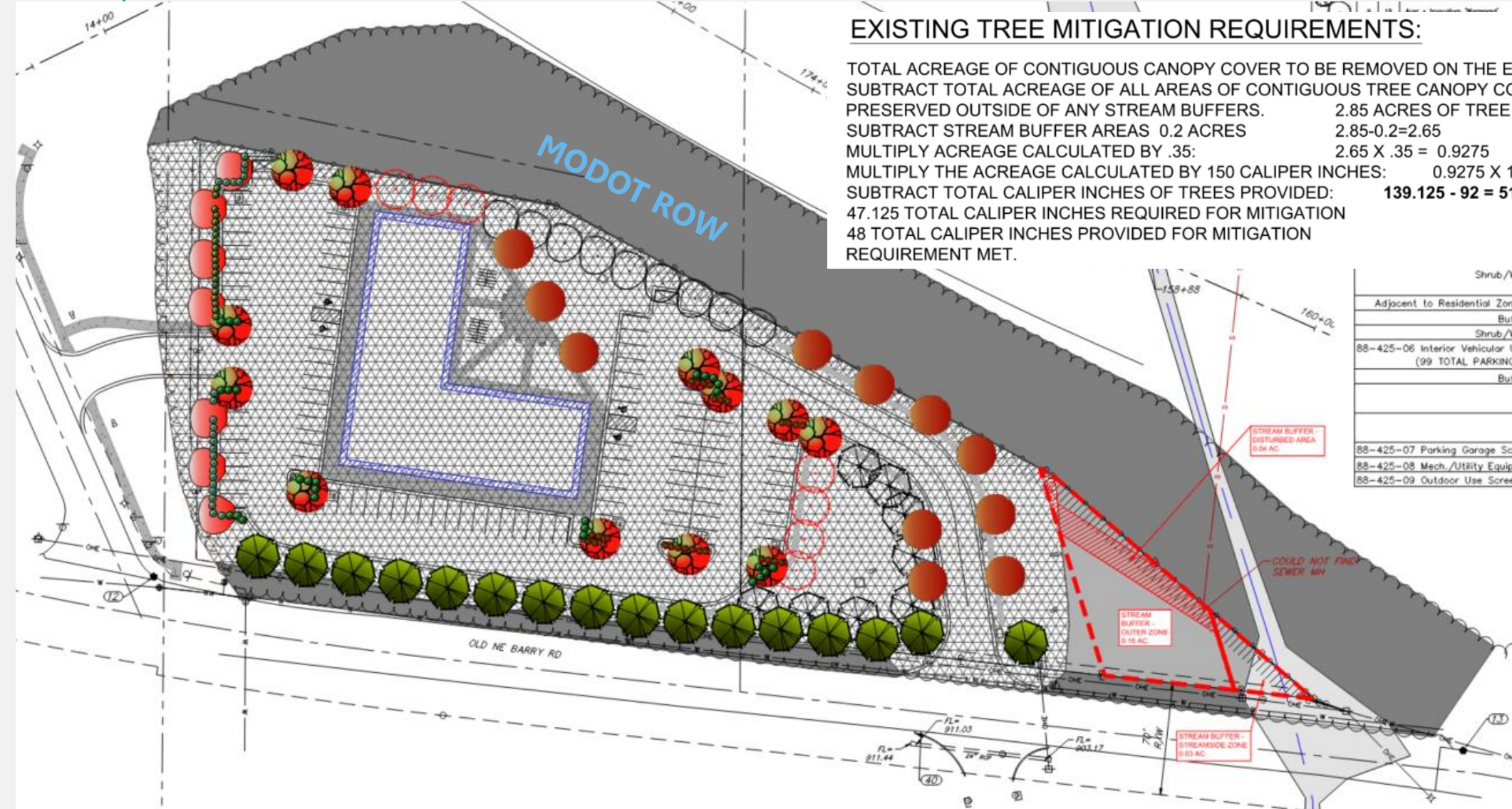
Site Plan



Call before you dig

EXISTING TREE MITIGATION REQUIREMENTS:

TOTAL ACREAGE OF CONTIGUOUS CANOPY COVER TO BE REMOVED ON THE ENTIRE DEVELOPMENT SITE.
SUBTRACT TOTAL ACREAGE OF ALL AREAS OF CONTIGUOUS TREE CANOPY COVER OF ONE ACRE OR MORE PRESERVED OUTSIDE OF ANY STREAM BUFFERS. 2.85 ACRES OF TREE COVER TO BE REMOVED.
SUBTRACT STREAM BUFFER AREAS 0.2 ACRES $2.85 - 0.2 = 2.65$
MULTIPLY ACREAGE CALCULATED BY .35: $2.65 \times .35 = 0.9275$
MULTIPLY THE ACREAGE CALCULATED BY 150 CALIPER INCHES: $0.9275 \times 150 = 139.125$
SUBTRACT TOTAL CALIPER INCHES OF TREES PROVIDED: **$139.125 - 92 = 51.125$**
47.125 TOTAL CALIPER INCHES REQUIRED FOR MITIGATION
48 TOTAL CALIPER INCHES PROVIDED FOR MITIGATION
REQUIREMENT MET.





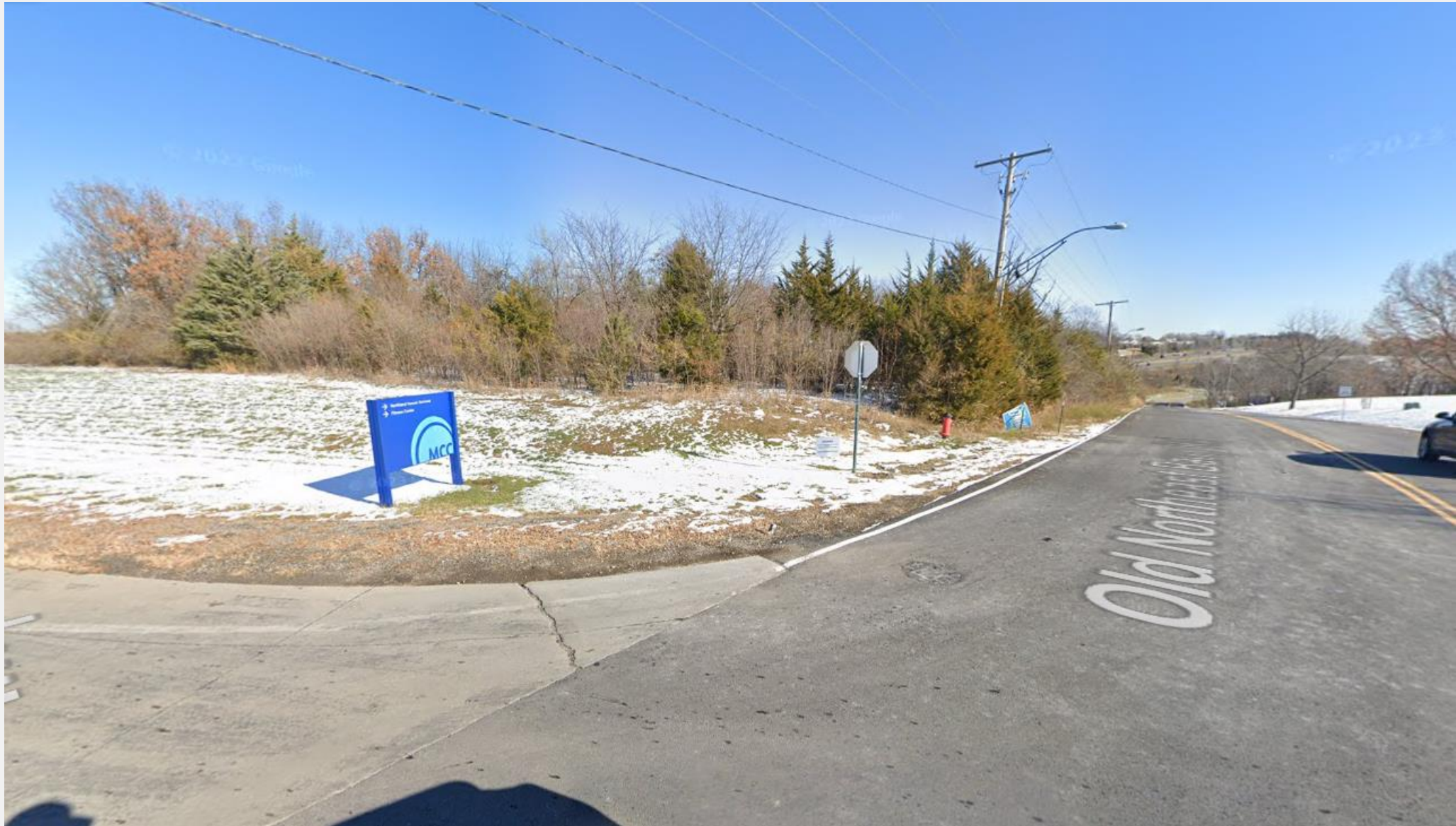
South Elevation



West Elevation



Interior Elevation



View towards site from the intersection of Maple Woods College Rd and Old NE Barry Rd (Nov 2023)



View of subject site looking northwest on Old NE Barry Rd (Nov 2023)



View towards subject site from HWY 152 (Dec 2023)

Outstanding Corrections

Plan Corrections

Correction(s) by Development Management of the City Planning and Development Department. Contact Genevieve Kohn at (816) 513-8808 / Genevieve.Kohn@kcmo.org with questions.

1. In the building data table on sheet C-1, list all proposed setbacks based on the proposed building and vehicular use areas.
UPDATE 8/21/24: No changes made to the proposed setbacks on the Building Data table. The drawing is not showing setbacks of 0 ft. (8/16/2024)
2. Show all plantings/quantities on the drawing. UPDATE 8/21/24: Vehicular use area must be screened with a continuous evergreen shrubs along the south side of the site. The continuous shrub line must be shown on the plan. (8/16/2024)

Correction(s) by Mobility of the Public Works Department. Contact Bailey Waters at (816) 513-2791 / bailey.waters@kcmo.org with questions.

3. Continue the sidewalk all the way to the intersection of College Rd and Maplewoods College Rd. (8/16/2024)

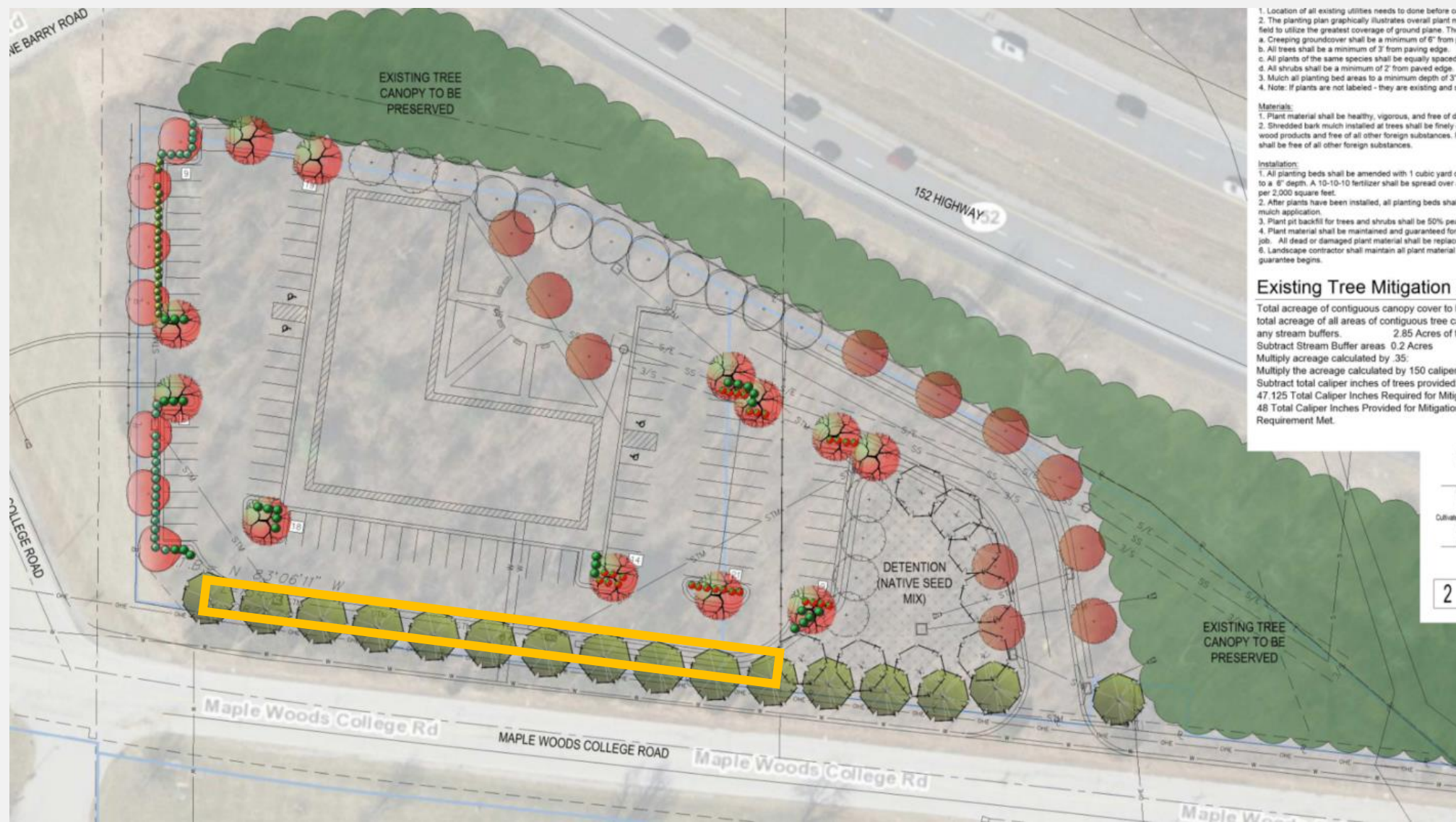
Correction(s) by Police of the KCPD. Contact Jeffrey Krebs at (816)234-5530 / Jeffrey.Krebs@kcmo.org with questions.

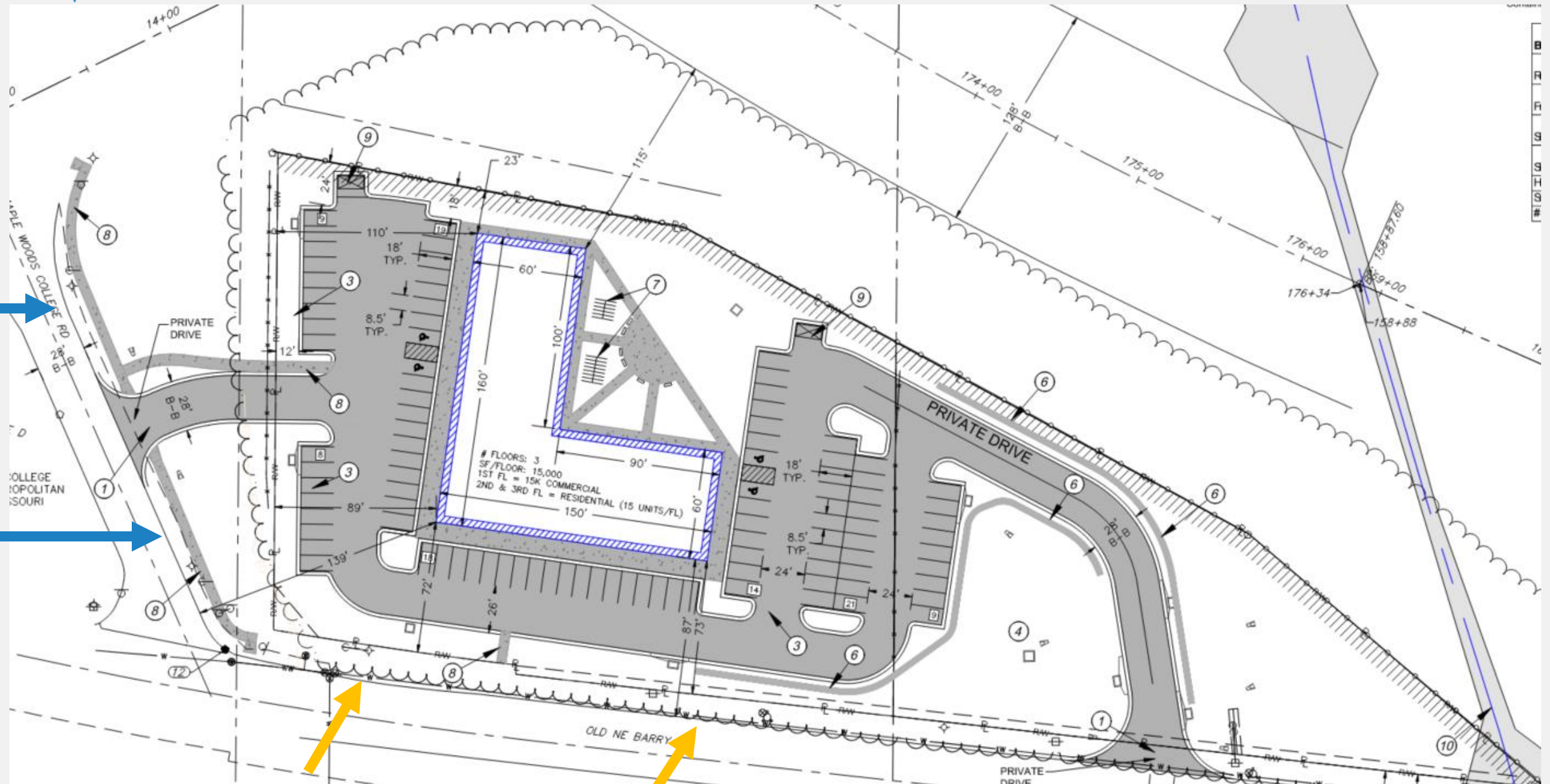
- ~~4. Consider adding or changing light fixtures near courtyard to increase illumination in the area. Update 08-22-2024 (8/16/2024)~~

Correction #1

Building Data	Required	Proposed	Deviation Requested?	Approved
Rear Setback	Abutting Residential: 25% of lot depth, Max = 30' Abutting Other: None	0'		
Front Setback	Abutting Residential: Match Residential setback Abutting Other: None	0'		
Side Setback	Abutting Residential: 10% of lot width, Max = 8' Abutting Other: None	0'		
Side Setback (abutting street)	Abutting Residential: 15' Abutting Other: None	0'		
Height	50' (Max.)	48'		
Square Feet per floor	25,000 (Max.)	15,000		
# of Floors	N/A	3		

Correction #2





Staff Recommendation

Case No. CD-CPC-2024-00100

Approval

Case No. CD-CPC-2024-00101

Approval with Conditions