

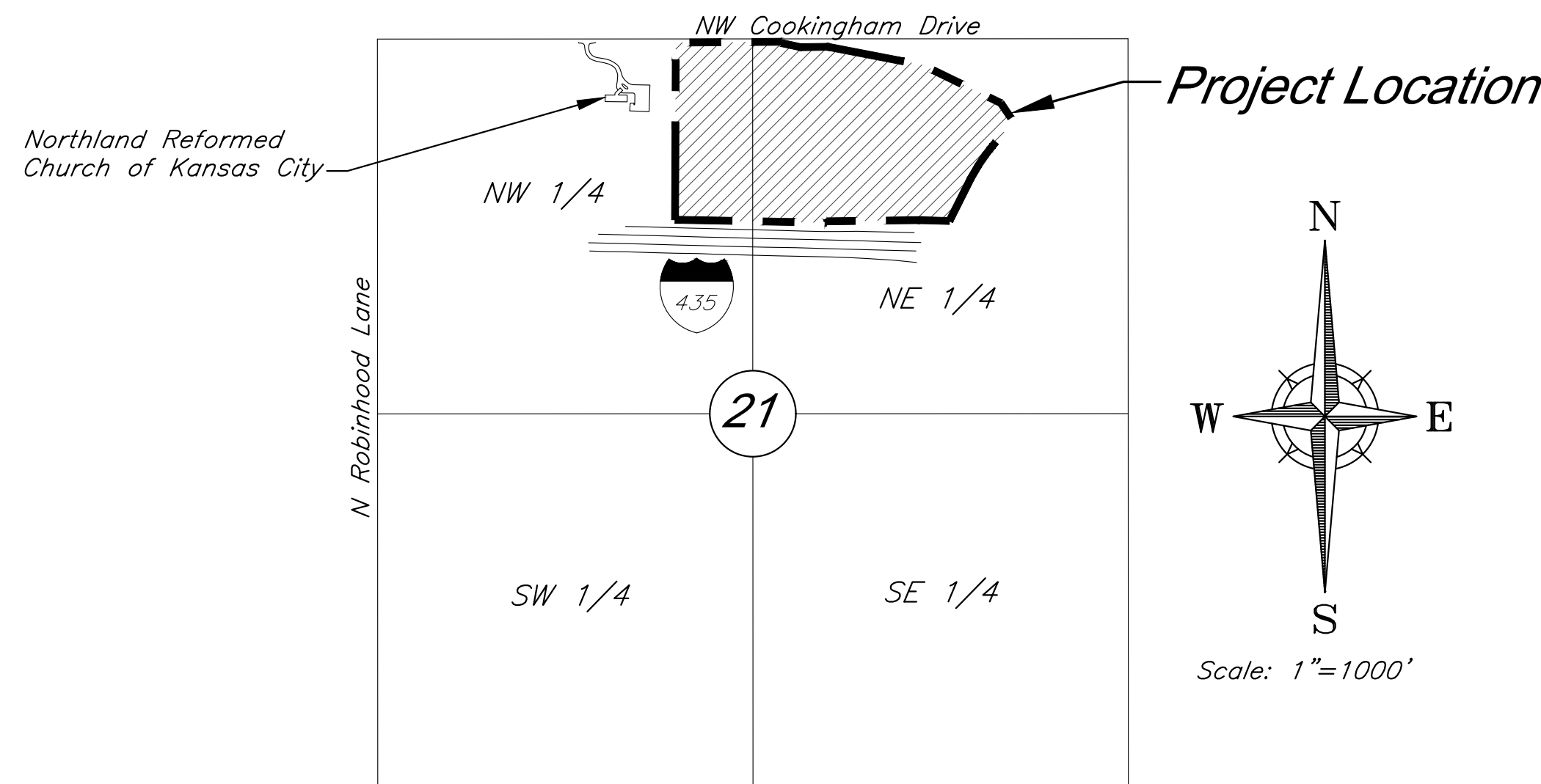
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City Plan Commission
Approved Subject to Conditions
of Case No. CD-CPC-2024-00032 on 06-05-2024

Diane Binkckley
Diane Binkckley, AICP
Secretary of the City Plan Commission

PRELIMINARY DEVELOPMENT PLAN & PRELIMINARY PLAT
FOR
COOKINGHAM DEVELOPMENT
Part of the NW & NE 1/4
Section 21-Township 52S-Range 33E
in the
City of Kansas City
Platte County, Missouri



VICINITY MAP
Part of the NW & NE 1/4
Section 21-Township 52-Range 33

INDEX OF SHEETS

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2	General Layout
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5	Landscape Plan
6	Street Tree Plan
7	Planting Details
8-9	Grading Plan
10-11	Utility Plan
12	Tree Removal & Tree Preservation Plan
13	Preliminary Plat
14	Stream Buffer Plan
E1.1	Lighting Plan
E1.2	Lighting Plan
A4.1 - Color	Partial Building Elevations
A4.2 - Color	Partial Building Elevations
A4.3 - Color	Partial Building Elevations

PREPARED FOR:
GBA REALTY LLC
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 816-876-3893
CONTACT: GRAHAM JONES LEED AP
EMAIL: gjones@gbabuilders.com

PREPARED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
CONTACT: CLINT LOUMASTER P.E.
EMAIL: cloumaster@gbateam.com

FLOODPLAIN:

According to the Flood Insurance Rate Maps (FIRMs) for the city of Kansas City, Missouri (29095C0061G, dated January 20th, 2017), the site is situated mainly within Zone X, areas determined to be outside the 0.2% annual chance floodplain. A channel on the site contains Zone AE, special flood hazard areas.

DEVIATIONS REQUESTED:

1. A deviation is requested to allow facilities up to 70 feet in height on each of the proposed lots.

PROJECT ENGINEER: CLINT LOUMASTER, P.E.

DATE:

APPROVED BY:

MANAGER, ENGINEERING SERVICES DIVISION:

DATE:



9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com

C:\15410.1\Civil 3D\Production Drawings\Rezoning & Preliminary Development Plans\15410.1\020200.dwg Layout: 2 General Layout -- Friday, April 19, 2024, 1:47pm -- Copyright 2024, George Butler Associates, Inc. Archived 2024, Professional Engineer 000133, Professional Land Surveyor 000259

LEGAL DESCRIPTION

ALL THAT PART OF THE EAST 32 ACRES OF THE NORTHWEST 1/4 TOGETHER WITH THAT PART OF THE WEST 32.29 ACRES OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO.291 AND NORTHERLY OF INTERSTATE HIGHWAY NO.435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON THE NORTH LINE OF SAID NORTHWEST 1/4, 2644.88 FEET TO AN AXLE AT THE APPARENT NORTHEAST CORNER OF SAID NORTHWEST 1/4; THENCE S0° 14' 35" W ON THE EAST LINE OF SAID NORTHWEST 1/4, 25.00 FEET TO THE POINT OF BEGINNING ON THE SOUTH RIGHT-OF-WAY LINE OF COOKINGHAM DRIVE; THENCE N89° 24' 05" E ON SAID SOUTH RIGHT-OF-WAY LINE, 208.70 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF MISSOURI HIGHWAY ROUTE 291; THENCE S0° 47' 11" E ON SAID SOUTH RIGHT-OF-WAY LINE, 9.53 FEET TO A POINT 30.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 665+00; THENCE S77° 57' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 135.17 FEET TO A POINT 60.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 664+10 BACK = 663+68.2 AHEAD; THENCE N89° 12' 49" E ON SAID SOUTH RIGHT-OF-WAY LINE, 185.61 FEET TO THE EAST LINE OF SAID WEST 32.29 ACRES; THENCE S0° 08' 10" W ON SAID EAST LINE, 1233.67 FEET TO THE NORTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY ROUTE 435; THENCE N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.24 FEET TO THE EAST LINE OF SAID NORTHWEST 1/4; THENCE CONTINUING N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.24 FEET TO THE WEST LINE OF SAID EAST 32 ACRES; THENCE N0° 08' 21" E ON SAID EAST LINE, 1243.85 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID COOKINGHAM DRIVE BEING 25.00 FEET SOUTH FROM, AS MEASURED PERPENDICULAR TO, THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 531.49 FEET TO THE POINT OF BEGINNING.

AND

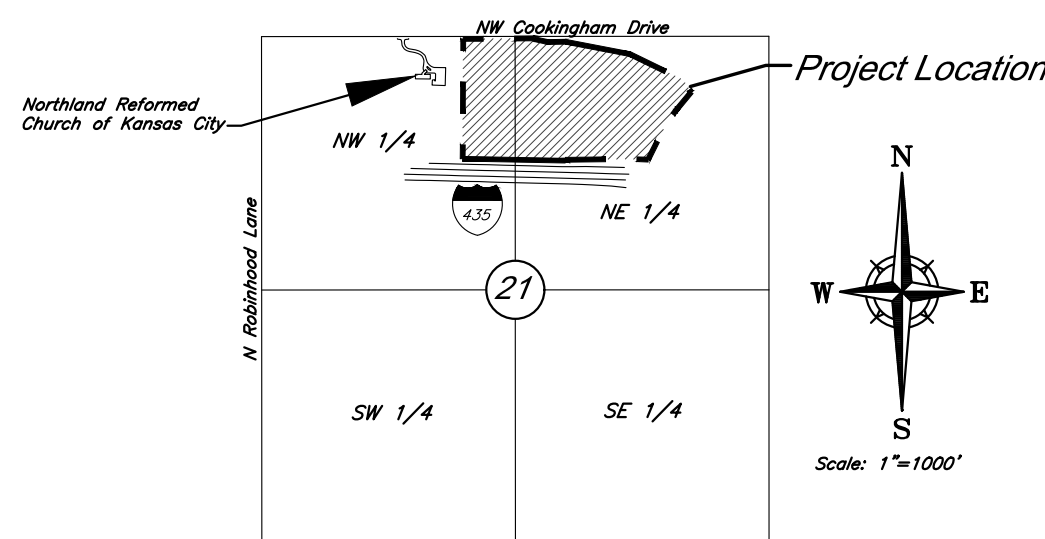
ALL THAT PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO.291 AND NORTHERLY OF INTERSTATE HIGHWAY NO.435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

COMMENCING AT THE NORTH CORNER OF SAID SECTION 21; THENCE N89°24'10"E ON THE NORTH LINE OF SAID SECTION 21, A DISTANCE OF 527.78 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367; THENCE S00°08'57"W ON SAID EXTENDED LINE, A DISTANCE OF 63.48 FEET TO A FOUND 1/2" REBAR, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY ROUTE 291, THE POINT OF BEGINNING; THENCE N89°13'23"E, ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 26.52 FEET, TO A POINT BEING 60 FEET SOUTH OF ROUTE NO.291 CENTERLINE STATION 661+98.40; THENCE S81°17'47"E ON SAID SOUTH LINE, A DISTANCE OF 95.57 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 661+00.00, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE; THENCE ON SAID CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT OF N87°49'27"W, A RADIUS OF 1839.86, THROUGH A CENTRAL ANGLE OF 10°00'03", AND AN ARC LENGTH OF 321.63 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 657+66.62, AND THE MOST WESTERLY CORNER OF WARRANTY DEED 40803 BOOK 559 PG 708; THENCE S63°31'08"E, DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, ON THE SOUTH LINE OF SAID DEED, A DISTANCE OF 879.52 FEET TO THE MOST SOUTHEASTLY CORNER OF SAID DEED, ALSO BEING 76.89 FEET LEFT/SOUTHWEST OF STATION 648+42.49; THENCE S34°01'46"E, ON THE SOUTH RIGHT-OF-WAY LINE OF SAID ROUTE 291, SHOWN ON THE HIGHWAY NO 435 PLANS, A DISTANCE OF 91.18 FEET, TO A POINT, 100.0 FEET, LEFT/SOUTHWEST, OF STATION 647+50; THENCE S68°28'48"E ON SAID RIGHT OF WAY LINE, A DISTANCE OF 10.61 FEET, TO A POINT ON THE WEST LINE OF WARRANTY DEED 40803 BOOK 559 PG 708; THENCE S41°01'39"W, DEPARTING SAID RIGHT-OF-WAY LINE, ON SAID WEST LINE, A DISTANCE OF 165.49 FEET TO A POINT OF CURVATURE; THENCE ON SAID CURVE TO THE LEFT, AND ON SAID WEST LINE, HAVING A RADIUS OF 1367.39 FEET, THROUGH A CENTRAL ANGLE OF 15°00'00" AN ARC LENGTH OF 357.98 FEET, TO A POINT OF TANGENCY; THENCE S26°01'39"W ON SAID WEST LINE, A DISTANCE OF 293.70 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY NO. 435, 175.00 FEET NORTH OF STATION 931+88.32; THENCE N88°58'21"W ON SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 212.32 FEET, TO A POINT BEING 175.00 FEET NORTH OF STATION 729+76.00; THENCE S88°45'19"W ON SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 630.55 FEET, TO A FOUND 1/2" REBAR, ALSO BEING 150.00 FEET NORTH OF STATION 924+50.00; THENCE N0°08'57"E, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, ON THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367, A DISTANCE OF 1233.92 FEET, TO THE POINT OF BEGINNING.

CONTAINING 26.82 ACRES- 1,168,062.44 SQ FEET AND BEING SUBJECT TO THAT PART IN ROAD RIGHT-OF-WAY IF ANY.

Legend

- Proposed Building
- Concrete Sidewalk
- Proposed Asphalt Pavement
- Existing Tree Line
- Emergency Entrance Pending City Approval
- Property Boundary
- Proposed Right-of-Way
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Security Fence
- Proposed Water Line
- SWS Proposed Storm Sewer
- SAN Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant



VICINITY MAP
Part of the NW & NE 1/4
Section 21-Township 52-Range 33

GBA

9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

DATE: 3/15/2024
DESIGN BY: CEL
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11

SHEET NUMBER
2

Clint Loumaster
Professional Engineer
License No. PB-2011009651

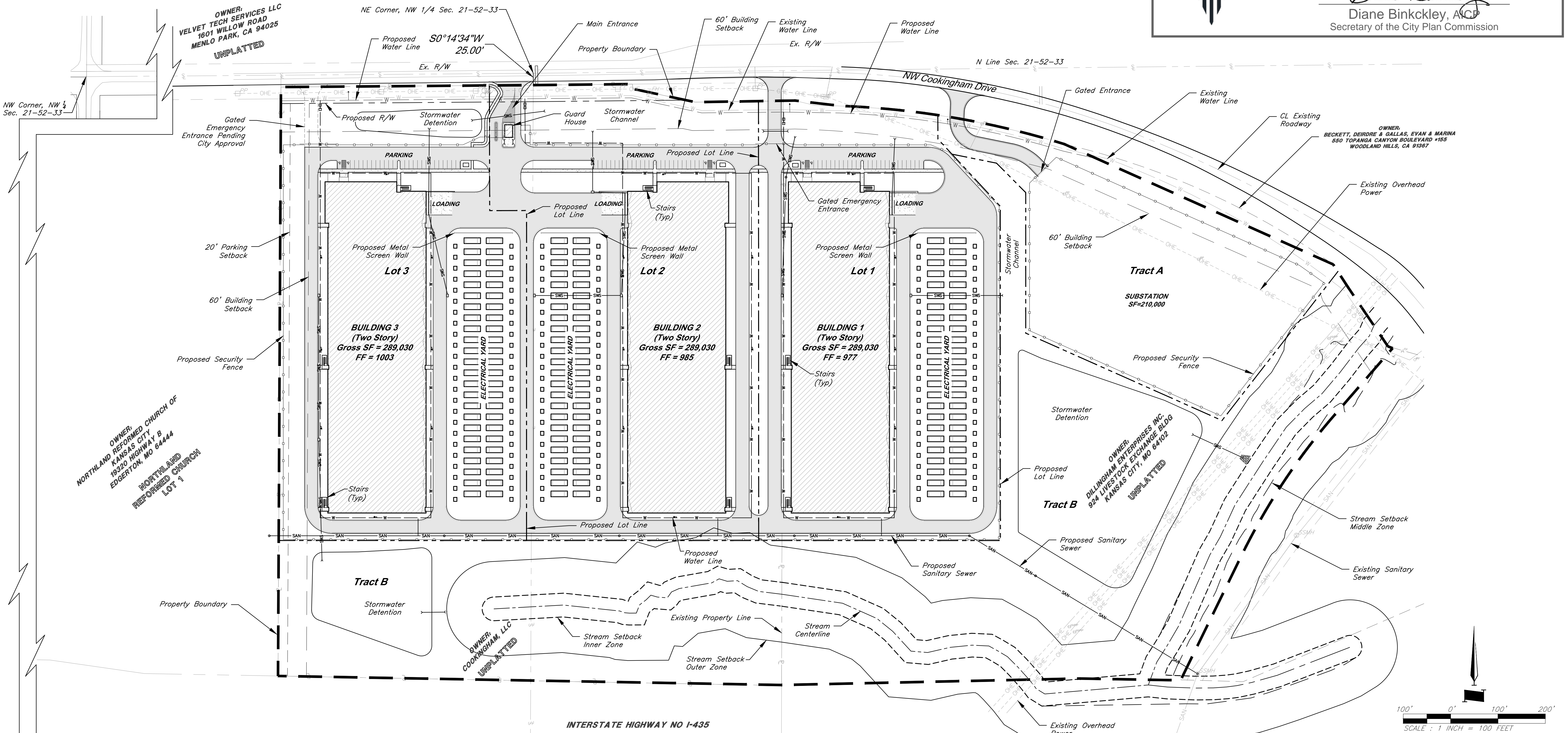
M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	



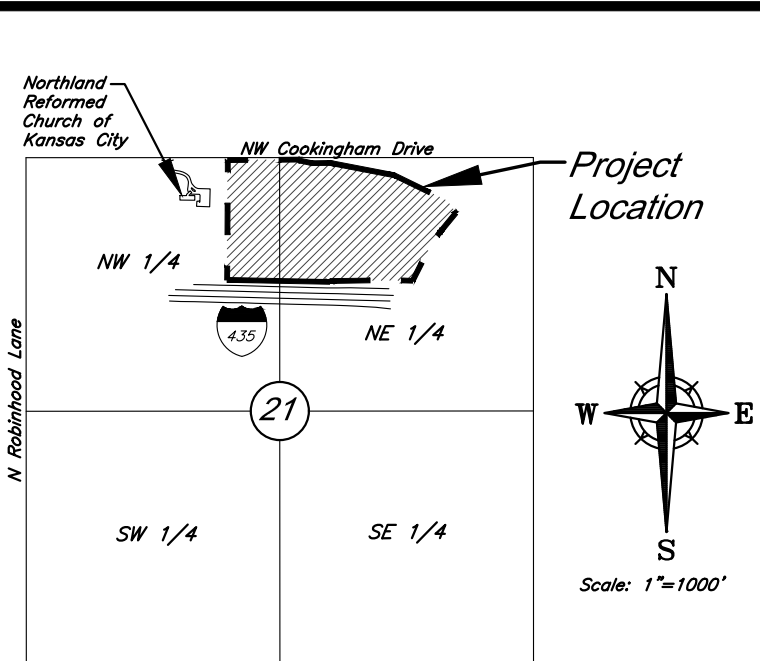
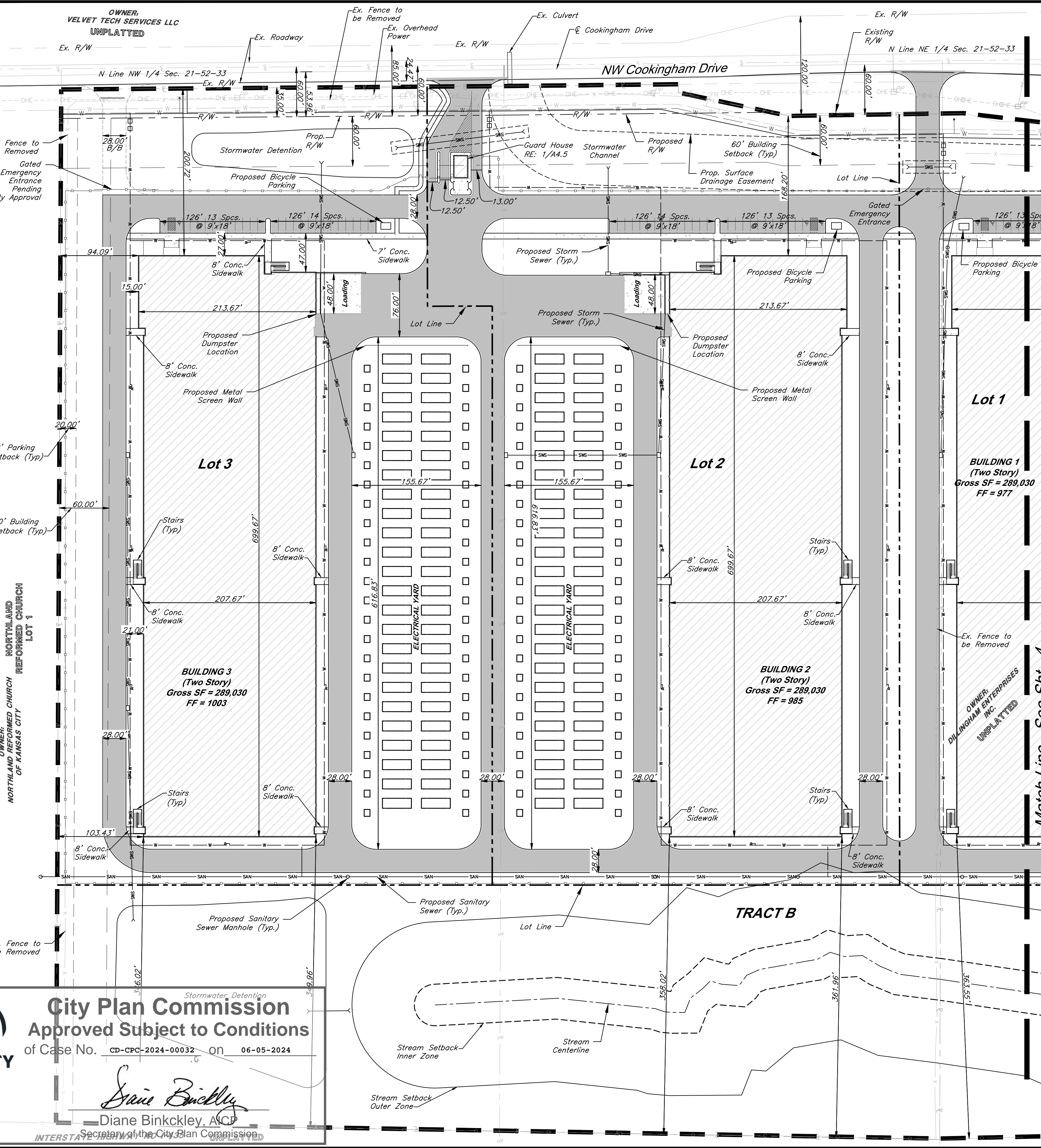
City Plan Commission
Approved Subject to Conditions
of Case No. **CD-CPC-2024-00032** on **06-05-2024**

Diane Binkckley
Diane Binkckley, AICP
Secretary of the City Plan Commission



General Layout

Architect 00212, Professional Engineer 000133, Professional Land Surveyor 000259
Preliminary Development Plan 15410.1102000.dwg Layout: 3 Site Plan --- Friday April 19, 2024, 1:48pm --- Copyright 2024, George Butler Associates, Inc.



OWNER: VELVET TECH SERVICES LLC UNPLATTED		DATE: 3/15/2024 DESIGN BY: CEL DRAWN BY: DRV/ELS PROJECT NO.: 15410.11 SHEET NUMBER 3	
Clint Loumaster Professional Engineer License No. PB-2011009651		M2-3 Rezoning - Pre. Development Plan & Pre. Plat COOKINGHAM DEVELOPMENT Kansas City, Missouri	
NO.	DATE	REVISIONS	BY
1	4/19/24	City Comments	ELS

Allowable Uses:

The Uses allowed as of right under zoning district M-2 shall be permitted within this Preliminary Development Plan including, but not limited to: Utilities and Services, Building Maintenance Services, Business Equipment Sales and Service, Business Support Service, Parking (Accessory), Parking (Non-Accessory), Manufacturing, Production, and Industrial Service including: Artisan, Limited, General, Warehousing, Wholesaling, Storage, and Freight Movement including: Indoor, Outdoor, Wireless Communication Facility (Freestanding, Co-located Antenna), Communication Service Establishments, Office, Administrative, Professional, or General, and any and all related accessory uses thereto.

General Notes:

- All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass, and metal (when used in an incidental role). Specific materials which will be excluded include exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.
- All signage will comply with Section 88-445 of the zoning and development code and will be reviewed at time of sign permit.
- All rooftop mechanical equipment will be screened as required by 88-425-08 of the zoning and development code.
- Each security gate shall be provided with a siren sensor (Yelp Gate) for Fire Department access.
- Two way emergency radio communication system provided in accordance with NFPA 1221 and IFC Section 5. A minimum inbound/outbound -95db signal strength or as required by the authority having jurisdiction will be provided.
- Proposed address for each facility is to be located in a highly visible and prominent location.
- Facility will be secured by guards in two shifts, with overnight internal monitoring and CCTV cameras. Access gates to facility will be locked at night.

SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS

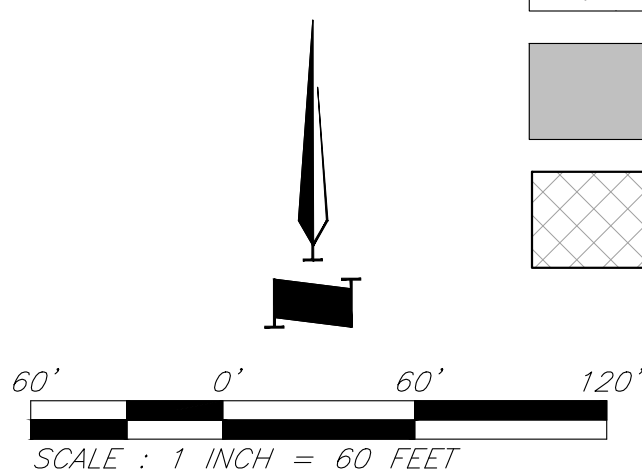
a) Existing Zoning: AG-R & M2-3
Proposed Zoning: M2-3

Item	Lot 1		Lot 2		Lot 3		Tract A		Tract B		Total
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
b) Total Land Area (SFT)	449,865	449,865	484,658	484,658	479,404	479,404	218,275	218,275	861,148	861,148	2,493,350
Total Land Area (AC)	10.33	10.33	11.13	11.13	11.01	11.01	5.01	5.01	19.77	19.77	57.24
c) Land Area for Street ROW (SFT)	0	0	0	11,992	0	15,413	0	0	0	0	27,405
Land Area for Street ROW (AC)	0.00	0.00	0.00	0.28	0.00	0.35	0.00	0.00	0.00	0.00	0.63
d) Net Land Area (SFT)		449,865		472,666		463,991		218,275		861,148	2,465,945
Net Land Area (AC)		10.33		10.85		10.65		5.01		19.77	56.61
e) Building Use	AG-R	Communication Service Establishment	AG-R	Communication Service Establishment	AG-R	Communication Service Establishment					
f) Building Height Above Grade (FT)		44*		44*		44*					
# of Floors		2		2		2					
g) Gross Floor Area per Floor (SFT)		144,515		144,515		144,515					
Gross Floor Area per Lot (SFT)		289,030		289,030		289,030					867,090
h) Coverage (SFT)		144,515		144,515		144,515					433,545
Floor Area Ratio		0.642		0.611		0.623					0.352
i) NA											
j) Vehicle Parking	18	27	18	27	18	27					81
k) Bicycle Parking	7	7	7	7	7	7					21
l) NA											
m) NA											

* A deviation is requested to allow building heights up to 70 feet on each of the proposed lots.

DEVELOPMENT STANDARDS	
88-425 - OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-415 Stream Buffers	
88-445 Signs	

Legend	
Proposed Building	Property Boundary
Concrete Sidewalk	Proposed Right-of-Way
Proposed Asphalt Pavement	Lot Line
Zone AE FEMA Floodplain	60' Building Setback
	20' Parking Setback
	Proposed Security Fence
	Proposed Water Line
	SWS - Proposed Storm Sewer
	SAN - Proposed Sanitary Sewer
	Proposed Sanitary Manhole
	Proposed Storm Structure
	Proposed Fire Hydrant



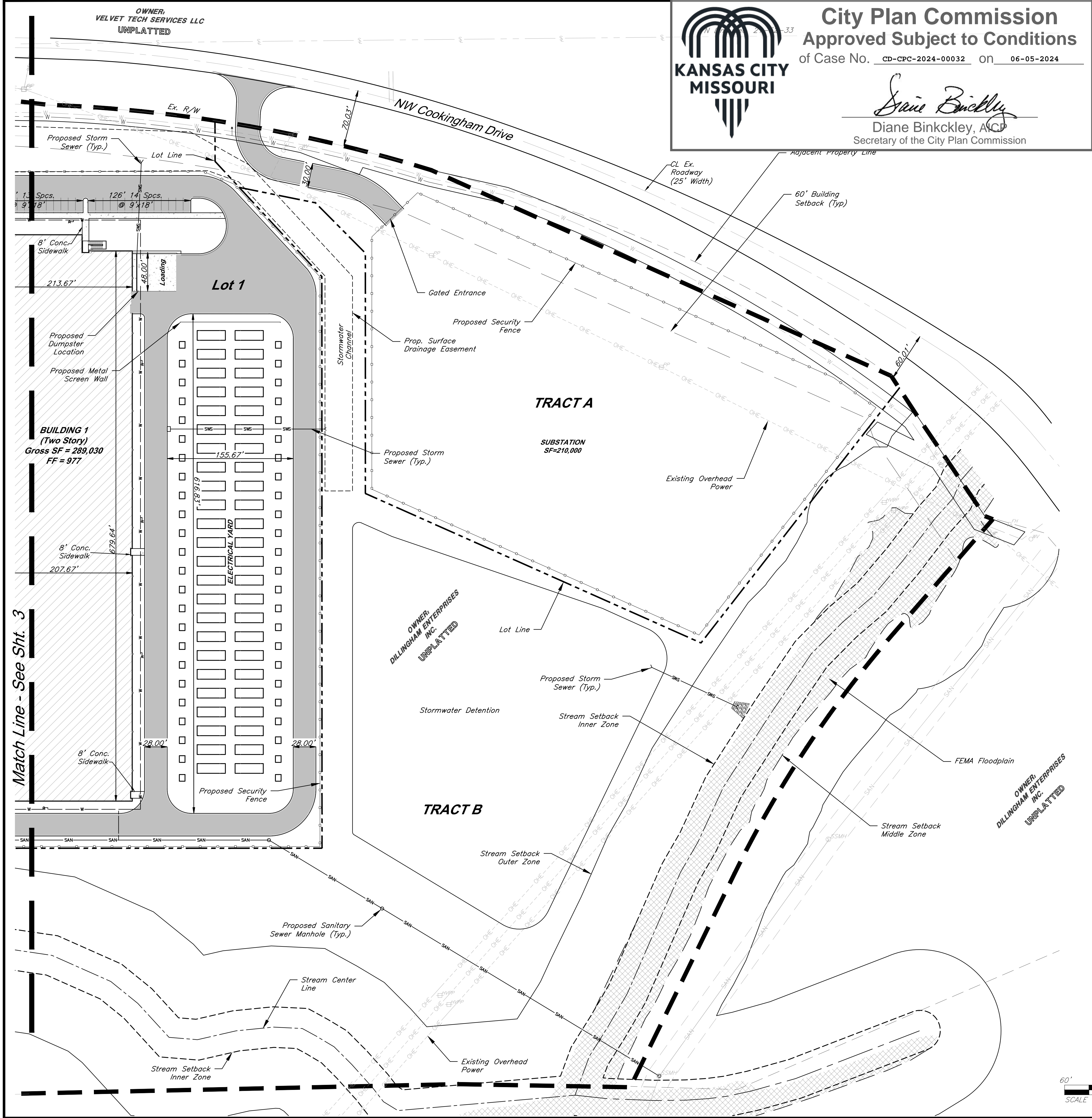
Site Plan

KANSAS CITY MISSOURI

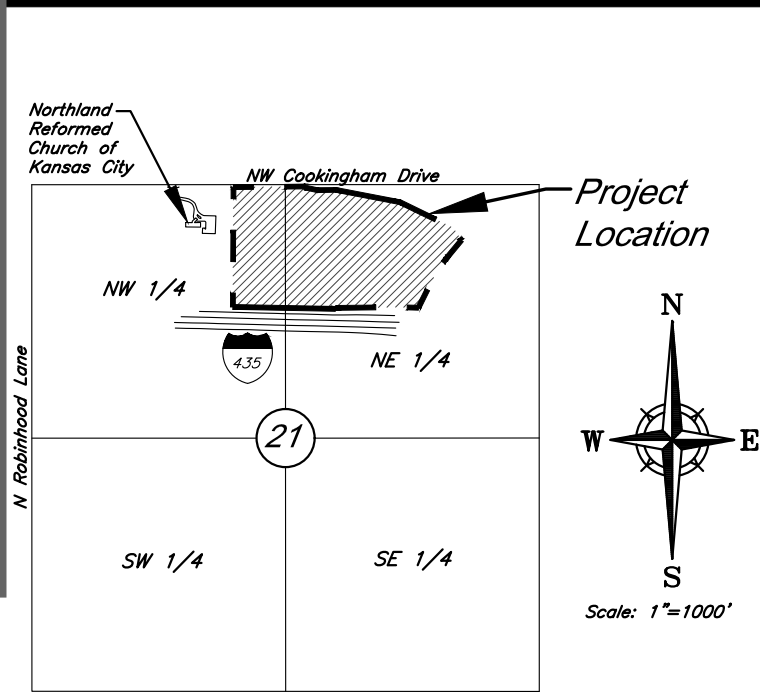
City Plan Commission
Approved Subject to Conditions
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Diane Binkckley
Diane Binkckley, ACP
Secretary of the City Plan Commission

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City Plan Commission
Approved Subject to Conditions
of Case No. CD-CPC-2024-00032 on 06-05-2024
Diane Binkckley
Diane Binkckley, ACP
Secretary of the City Plan Commission



GBA
9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

DATE: 3/15/2024
DESIGN BY: CEL
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11
SHEET NUMBER
4

Clint Loumaster
Professional Engineer
License No. PB-2011009651

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments	4/5/2024	ELS

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SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS

a) Existing Zoning: AG-R & M2-3
Proposed Zoning: M2-3

Item	Lot 1		Lot 2		Lot 3		Tract A		Tract B		Total
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
b) Total Land Area (SFT)	449,865	449,865	484,658	484,658	479,404	479,404	218,275	218,275	861,148	861,148	2,493,350
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Gross Floor Area per Lot (SFT)		289,030		289,030		289,030					867,090
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Floor Area Ratio		0.642		0.611		0.623					0.352
i) NA											
	Required	Proposed	Required	Proposed	Required	Proposed					
j) Vehicle Parking Spaces	18	27	18	27	18	27					81
k) Bicycle Parking Spaces	7	7	7	7	7	7					21
l) NA											
m) NA											

* A deviation is requested to allow building heights up to 70 feet on each of the proposed lots.

DEVELOPMENT STANDARDS	
88-425 - OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-415 Stream Buffers	
88-445 Signs	

Legend

Proposed Building

Concrete Sidewalk

Proposed Asphalt Pavement

Zone AE FEMA Floodplain

Property Boundary

Proposed Right-of-Way

Lot Line

60' Building Setback

20' Parking Setback

Proposed Security Fence

Proposed Water Line

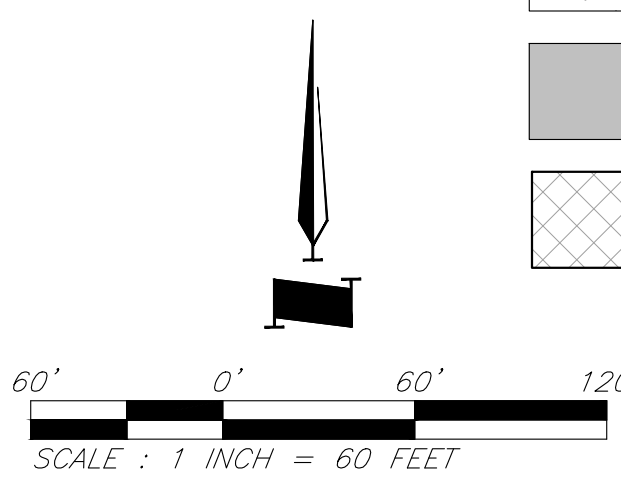
Proposed Storm Sewer

Proposed Sanitary Sewer

Proposed Sanitary Manhole

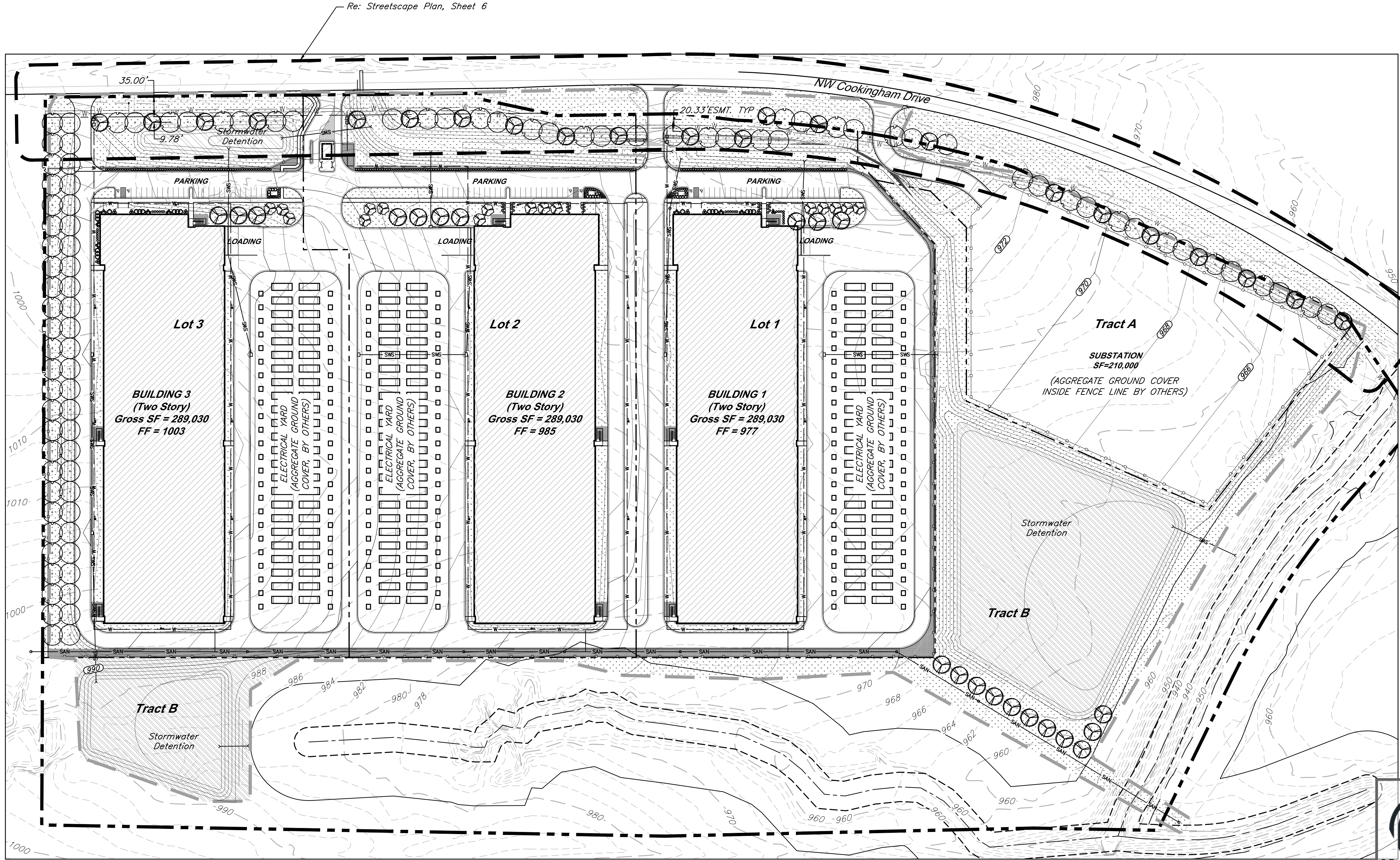
Proposed Storm Structure

Proposed Fire Hydrant



Site Plan

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LANDSCAPE REQUIREMENTS (Kansas City, Missouri)

ITEM(S)	REQUIRED	PROVIDED
STREET TREES (88-425-03-C)		
1 TREE PER 30' OF FRONTAGE COOKINGHAM DRIVE (2,561 L.F.)	2,561 L.F. / 30 = 85 TREES	67 TREES
PARKING LOT SCREENING (88-425-05-B)		
3' HT. CONT. EVERGREEN HEDGE	3' HT. CONT. EVERGREEN HEDGE AT PARKING	PROVIDED PER PLANS
INTERIOR PARKING LOT LANDSCAPE (88-425-06)		
TOTAL PROPOSED PARKING = 81 SPACES		
35 S.F. LANDSCAPE AREA PER 1 PARKING SPACE	LANDSCAPE AREA REQUIRED = 2,835 S.F.	5,332 S.F.
1 TREE PER 5 PARKING SPACES	TREES REQUIRED = 16	26 TREES
1 SHRUB PER PARKING SPACE	SHRUBS REQUIRED = 81	205 SHRUBS
GENERAL LANDSCAPE (88-425-04)		
1 TREE PER 5,000 S.F. OF BLDG. COVERAGE BUILDING COVERAGE = 433,386 S.F.	433,386 S.F. / 5,000 = 86.6 TREES	87 TREES PROVIDED
SCREENING OF MECH, UTIL, TRASH (88-425-08-A)		
DUMPSTERS, CONTAINERS, UTILITIES SCREENED FROM PUBLIC VIEW	DUMPSTERS AND TRASH WILL BE CONTAINED WITHIN BUILDING	

INTERIOR PARKING LOT LANDSCAPE SCHEDULE (88-425-06)

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TREES					
	AS	10	Acer saccharum 'John Pair' / Fall Fiesta Maple	2.5" Cal.	B&B
	CO	16	Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud	2" Cal.	
SHRUBS					
	HK	27	Hypericum kalmianum 'Deppe' / Sunny Boulevard® St. Johnswort		
	JK	16	Juniperus chinensis 'Kallays Compact' / Kallay Juniper		
	JF	20	Juniperus chinensis 'Sea Green' / Sea Green Juniper		
	PV	110	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass		
	VN	32	Viburnum opulus 'Nanum' / Dwarf European Cranberrybush		

PARKING LOT SCREENING SCHEDULE (88-425-05-B)

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
SHRUBS			
	IS	130	Ilex glabra 'Shamrock' / Shamrock Holly
	JA	131	Juniperus x pfitzeriana 'Armstrongii' / Armstrong Pfitzer Juniper

 9801 Renner Blvd., Ste. 300 Lenexa, KS 66219 913.492.0400 gbateam.com		DATE: 3/15/2024
		DESIGN BY: CEL
		DRAWN BY: DRV/ELS
		PROJECT NO.: 15410.11
		SHEET NUMBER
		5
Clint Loumaster Professional Engineer License No. PB-2011009651		M2-3 Rezoning - Pre. Development Plan & Pre. Plat COOKINGHAM DEVELOPMENT Kansas City, Missouri
NO. 1	DATE 4/19/24	REVISIONS City Comments 4/5/2024
		BY ELS
		APPROVED

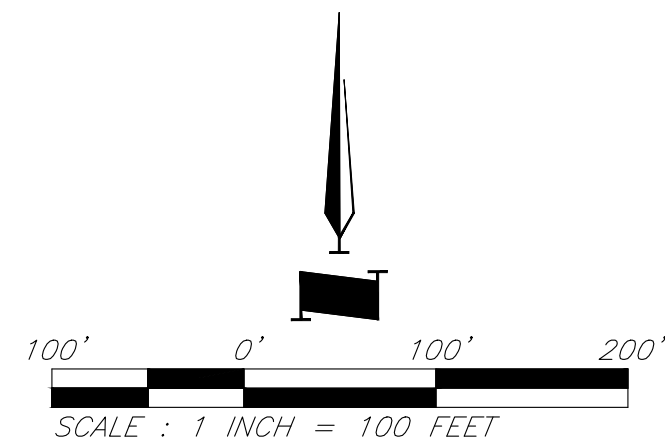
OVERALL PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
TREES			
	AS	43	Acer saccharum 'John Pair' / Fall Fiesta Maple
	CO	16	Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud
	PM	48	Platanus x acerifolia 'Morton Circle' / Exclamation Plane Tree
	QS	48	Quercus shumardii / Shumard Oak
SHRUBS			
	HK	27	Hypericum kalmianum 'Deppe' / Sunny Boulevard® St. Johnswort
	IS	130	Ilex glabra 'Shamrock' / Shamrock Holly
	JK	16	Juniperus chinensis 'Kallays Compact' / Kallay Juniper
	JF	20	Juniperus chinensis 'Sea Green' / Sea Green Juniper
	JA	131	Juniperus x pfitzeriana 'Armstrongii' / Armstrong Pfitzer Juniper
	PV	110	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
	VN	32	Viburnum opulus 'Nanum' / Dwarf European Cranberrybush
GROUND COVERS			
	DR	45,320 sf	Decorative Landscape Rock
	FG	544,345 sf	Festuca var.
	NM	211,375 sf	Native Mix Oval Sedge - Carex brevior Canada Wild Rye - Elymus canadensis Bottlebrush Sedge - Elymus hystx Tussock Sedge Common Rush Fox Sedge American Sweet Flag



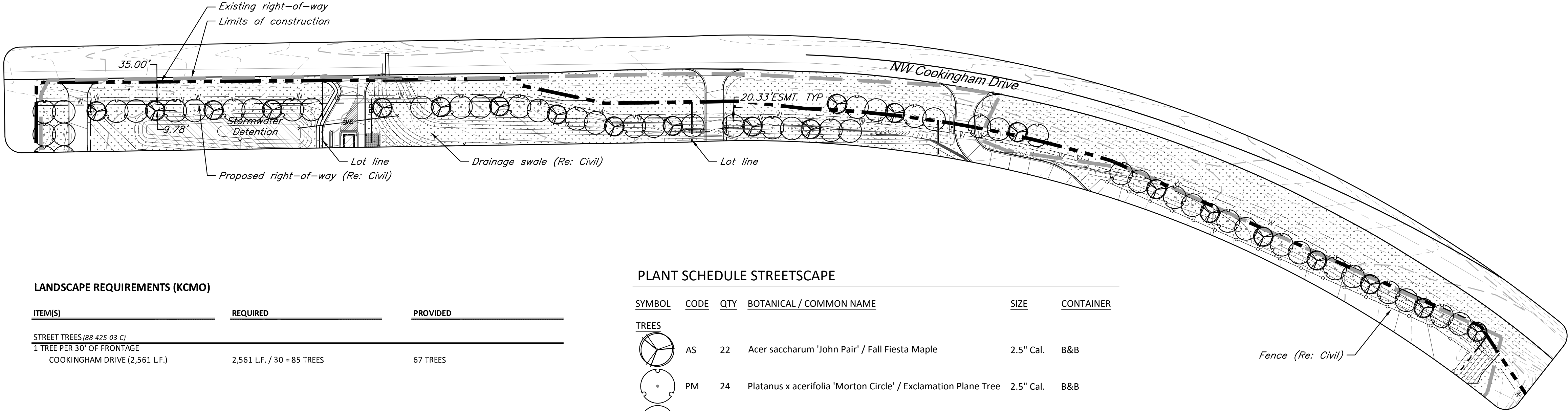
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Landscape Plan

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LANDSCAPE REQUIREMENTS (KCMO)

ITEM(S)	REQUIRED	PROVIDED
STREET TREES (88-425-03-C)		
1 TREE PER 30' OF FRONTAGE COOKINGHAM DRIVE (2,561 L.F.)	2,561 L.F. / 30 = 85 TREES	67 TREES

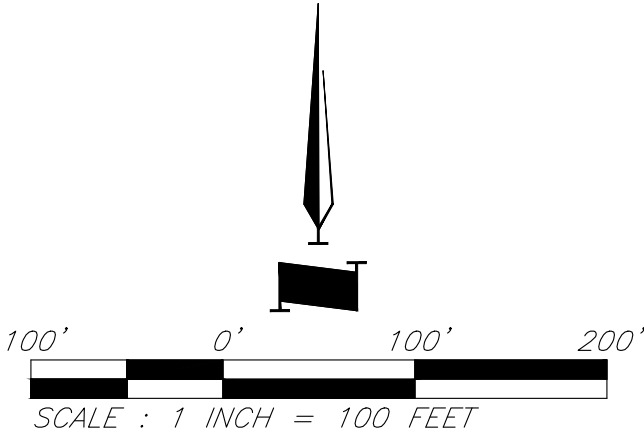
PLANT SCHEDULE STREETSCAPE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TREES					
	AS	22	Acer saccharum 'John Pair' / Fall Fiesta Maple	2.5" Cal.	B&B
	PM	24	Platanus x acerifolia 'Morton Circle' / Exclamation Plane Tree	2.5" Cal.	B&B
	QS	24	Quercus shumardii / Shumard Oak	2.5" Cal.	B&B



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Street Tree Plan

DATE: 3/15/2024

DESIGN BY: CEL

DRAWN BY: DRV/ELS

PROJECT NO.: 15410.11

SHEET NUMBER

6

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Professional Engineer
License No. PB-2011009651

M2-3 Rezoning — Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
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LANDSCAPE NOTES:

1. FIELD VERIFY UTILITIES SHOWN ON PLANS PRIOR TO WORK COMMENCEMENT. INFORMATION SHOWN ON PLAN IS FROM AVAILABLE INFORMATION AND ALL LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO UTILITIES MADE FROM CONSTRUCTION ACTIVITY. IMMEDIATELY NOTIFY PROJECT LANDSCAPE ARCHITECT AND ENGINEER IF DISCREPANCIES ARISE.
2. COMPLETE REQUIRED LANDSCAPING FOR THE ENTIRE SITE IN CONFORMANCE TO THE PLANS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO: SEEDED AREAS, SODDED AREAS, SHRUB BEDS, AND SITE CLEAN-UP.
3. VERIFY QUANTITIES PRIOR TO COMMENCING WORK. REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT. PLANT MATERIAL TO BE SPACED AS SHOWN, UNLESS OTHERWISE NOTED.
4. PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK (A.S.N.S.) LATEST EDITION PUBLISHED BY (ANLA) ANSI 260.1. THIS IS A REPRESENTATIVE GUIDELINE SPECIFICATION ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR THE PLANT MATERIAL.
5. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL, TYPE, SIZE AND/OR QUANTITY. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.S.N.S. VEGETATION SUBSTITUTIONS SHALL BE APPROVED BY PROJECT LANDSCAPE ARCHITECT. SUBSTITUTIONS MADE WITHOUT WRITTEN APPROVAL WILL BE REPLACED WITH APPROVED SELECTIONS AT CONTRACTOR'S COST.
6. DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITIES NOT IDENTIFIED ON THESE PLANS SHALL BE REPAIRED AND RESTORED TO ORIGINAL OR BETTER CONDITIONS AT CONTRACTOR'S COST. SOD WITH A TURF-TYPE TALL FESCUE BLEND SHALL BE PROVIDED FOR AREAS NOT DESIGNATED AS BEDS & PAVEMENT.
7. CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING. REFER TO SPECIFICATIONS FOR PLANT MATERIAL, SOILS, AND INSTALLATION METHODS.
8. INSTALL PLANT MATERIAL IN ACCORDANCE WITH A.S.N.S. STANDARDS.
9. INSTALL FINISHED GRADES OF SOD, LANDSCAPE BEDS, AND MULCH 1" BELOW ABUTTING PAVEMENT SURFACES TO ALLOW UNINHIBITED DRAINAGE TO NON-PAVEMENT SURFACES.
10. REMOVE ALL TWINE, WIRE, AND BURLAP FROM TREE AND SHRUB ROOT BALLS. REMOVE ALL PLASTIC WRAP, FABRIC ROPE, ROT PROOF WRAP, AND PLANT IDENTIFICATION TAGS.
11. TREES SHALL NOT BE PLANTED CLOSER THAN EIGHT HORIZONTAL FEET OF UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED OR PER PLANS. MODIFICATIONS TO TREE PLACEMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND CAN BE SUBJECT TO CITY REVIEW AND APPROVAL. CONTRACTOR IS RESPONSIBLE FOR UNAPPROVED RELOCATION(S) OR MODIFICATION(S) TO TREE LOCATIONS.
12. PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.

13. PLANT MATERIAL TO BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE. PLANT MATERIALS SHALL BE A ONE-TIME-REPLACEMENT AND RECORDS KEPT BY THE LANDSCAPE CONTRACTOR FOR ALL REPLACEMENTS.
14. PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION-TRUE TO TYPE, VARIETY, SIZE SPECIFIED, & FORM PER ANSI STANDARDS.
15. WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING ROUTINE UNTIL SUBSTANTIAL PROJECT COMPLETION. CONTRACTOR IS REQUIRED TO COORDINATE WATERING REQUIREMENTS TO THE OWNER THEREAFTER.
16. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
17. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.
18. THE LANDSCAPE CONTRACTOR SHALL TEST PROPOSED PLANTING AREAS FOR SOIL NUTRIENT DEFICIENCIES AND UNDESIRABLE SOIL TEXTURE AND STRUCTURE. BASED ON THE RESULTS OF THIS TESTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND INCORPORATE SOIL CONDITIONING MATERIALS (IE: FERTILIZER, SAND, COMPOST, ETC.) AS NECESSARY TO DEVELOP A PLANT GROWTH MEDIUM OF ADEQUATE FERTILITY, STRUCTURE, AND TEXTURE FOR THE ESTABLISHMENT OF LANDSCAPE MATERIALS. PEAT IS NOT ACCEPTABLE.
19. THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE ALL ROCK GREATER THAN 1-INCH AND ALL DEBRIS IN THE AREAS OF PROPOSED NEW PLANTINGS.
15. DAMAGED TURF AREAS ADJACENT TO PLANTING AREAS SHALL BE RESTORED AND SODDED TO MATCH EXISTING ADJACENT TOPOGRAPHY AND TURF TYPE.
16. PLANTING SCHEDULE:

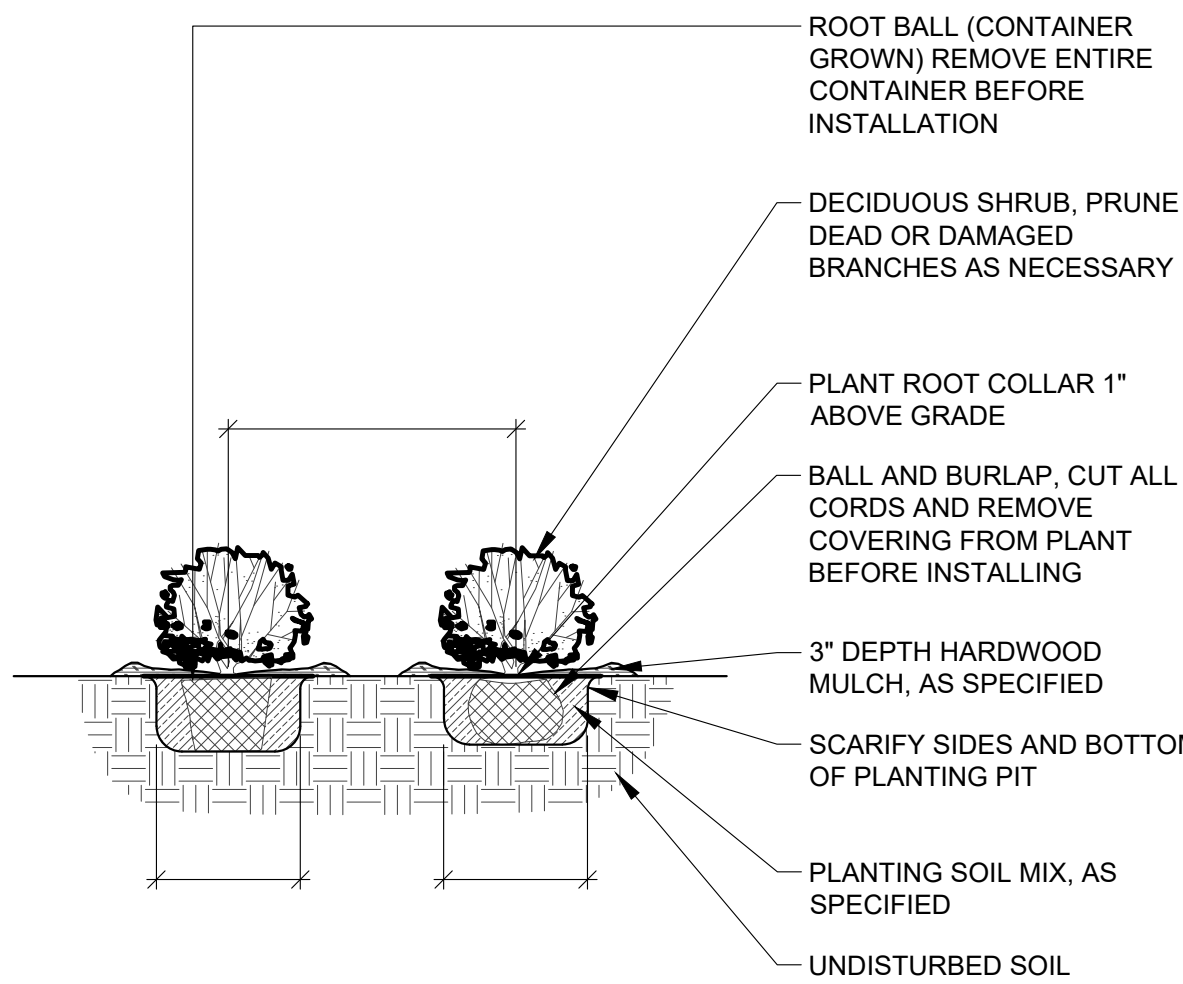
TREE PLANTING:	MARCH 15 - JUNE 15	OR	SEPTEMBER 15 - DECEMBER 31
SHRUB PLANTING:	APRIL 15 - JUNE 15	OR	AUGUST 15 - OCTOBER 15
SOD/SEED PLANTING:	MARCH 15 - JUNE 15	OR	SEPTEMBER 15 - DECEMBER 1
17. ALL PLANTING METHODS SHALL COMPLY WITH CITY OF KANSAS CITY, MO STANDARDS.

PLANTING BED INSTALLATION NOTES:

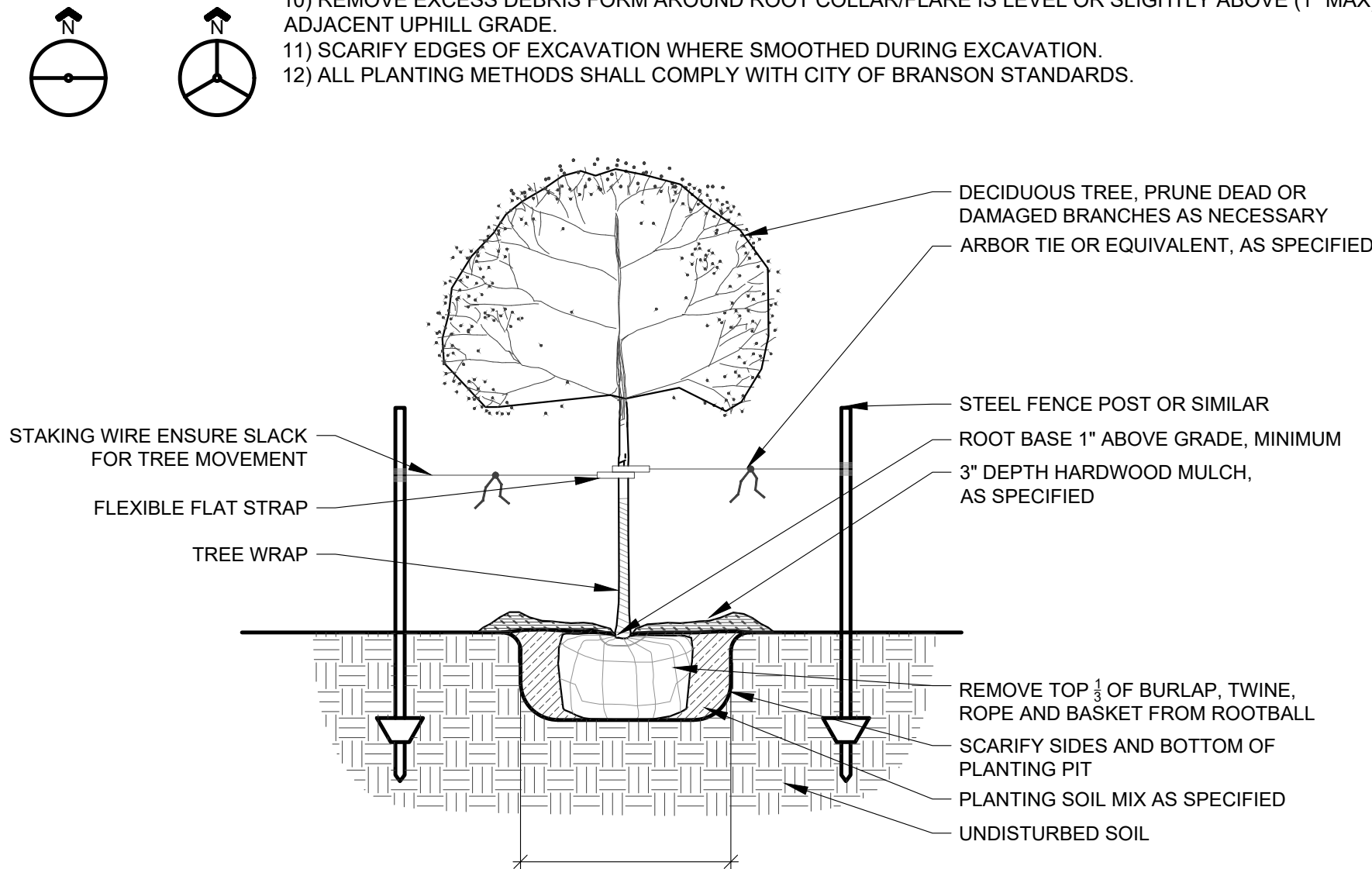
1. ALL PLANTATION BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF COTTON BOLL COMPOST PER 1000 SQUARE FEET. FILL COTTON BOLL INTO SOIL TO A 6" DEPTH. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2000 SQ. FT.
2. AFTER PLANTING HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH OR ROCK APPLICATION.
3. PLANT PIT BACKFILL FOR SHRUBS SHALL BE 25% COTTON BOLL COMPOST AND 25% TOP SOIL AND 50% EXISTING SOIL. TOP SOIL SHALL BE NATURAL FERTILE, FRIABLE SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE AREAS. SOIL SHALL NOT BE EXCESSIVELY ACID, ALKALINE OR TOXIC THAT MAY BE HARMFUL TO PLANT GROWTH. ALSO, FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS OR SUBSTANCE 2" OR MORE IN DIAMETER.
4. PLANTING TABLETS: INSTALL MANUFACTURER GRO-POWER, INC. PRODUCT: GROWPOWER TABLETS, SIZE: 7-GRAM TABLETS, RATE: 1 TABLETS PER 1-GALLON CONTAINER AND 4 TABLETS PER 3-GALLON CONTAINER AND 7 TABLETS PER 5-GALLON CONTAINER.
5. PLANTED BED EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FOLLOWING CURVES. SUDDEN CURVES OR SHARP ANGLE SHOULD BE AVOIDED.

TREE NOTES:

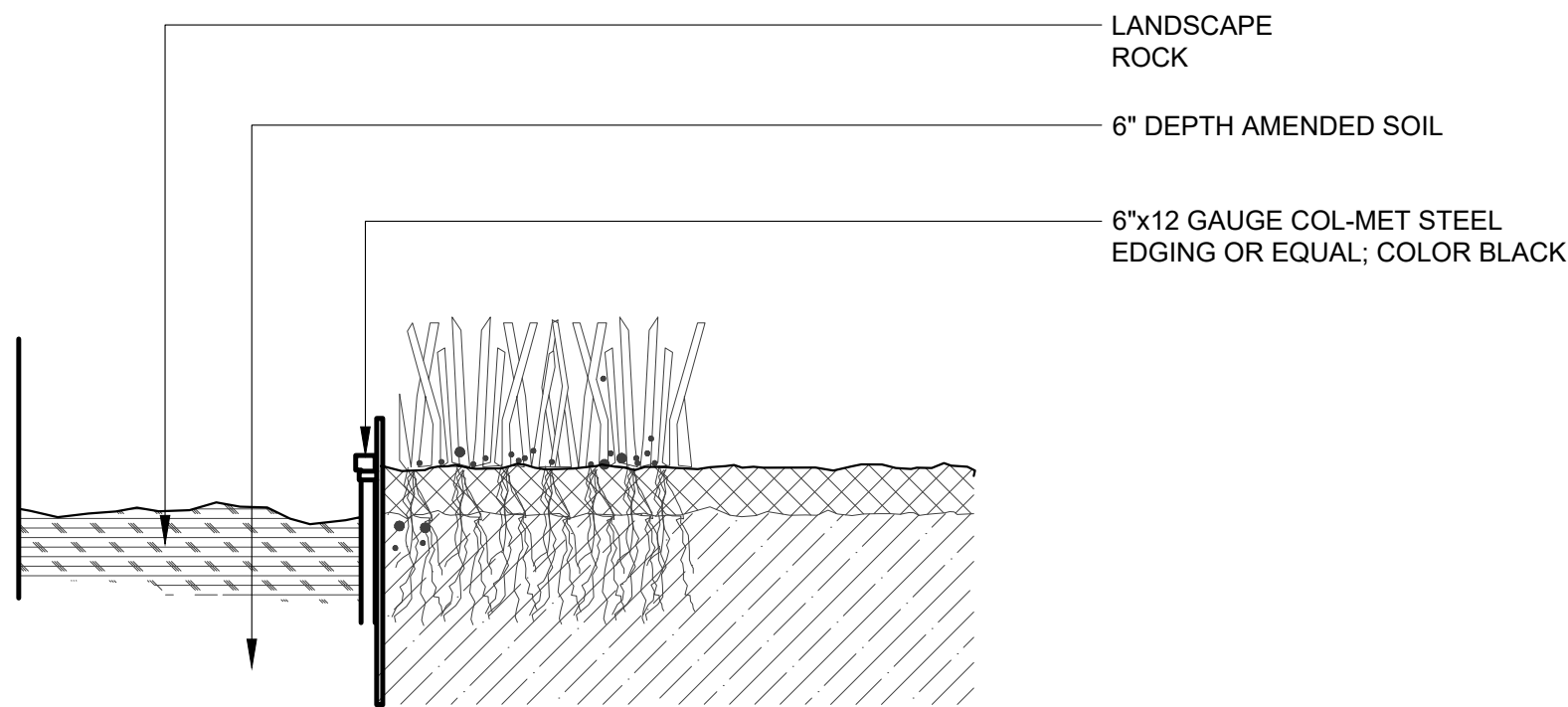
- 1) EXCAVATE A PIT WHICH IS AT LEAST TWICE THE DIAMETER OF THE ROOTBALL AND THE SAME DEPTH-NO DEEPER. HANDLE THE TREE BY THE ROOT BALL, NOT THE TRUNK. BE SURE THE ROOT BALL RESTS ON SOLID GROUND.
- 2) BACKFILL WITH PLANTING SOIL.
- 3) SATURATE THE ENTIRE BACKFILL SOIL WITH WATER. ADD MORE SOIL IF NEEDED TO COMPENSATE FOR SETTLING.
- 4) MULCH: COVER SMOOTHED SOIL WITH 2 INCHES OF MULCH. LEAVE GAP NEAR THE TRUNK. KEEP MULCH WEEDED. REPLACE AS NEEDED.
- 5) PRUNE ONLY BROKEN OR BADLY DEFORMED BRANCHES TO RETAIN SHAPE OF THE SPECIES. PRUNE OUT SECONDARY AND COMPETING GROWTH. DO NOT SHEAR. DO NOT CUT LEADER. BEGIN A REGULAR PRUNING PROGRAM THE SECOND YEAR AFTER PLANTING.
- 6) CHAFING GUARDS: REMOVE GUARDS AS SOON AS THE TREE CAN STAND ALONE ABOUT 3 MONTHS OR LONGER IF NEEDED.
- 7) DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- 8) DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING. CRACKED OR OTHERWISE DAMAGED ROOT BALLS SHALL BE REJECTED.
- 9) WATER THOROUGHLY FOLLOWING PLANTING.
- 10) REMOVE EXCESS DEBRIS FORM AROUND ROOT COLLAR/FLARE IS LEVEL OR SLIGHTLY ABOVE (1" MAX) ADJACENT UPHILL GRADE.
- 11) SCARIFY EDGES OF EXCAVATION WHERE SMOOTHED DURING EXCAVATION.
- 12) ALL PLANTING METHODS SHALL COMPLY WITH CITY OF BRANSON STANDARDS.



1 SHRUB AND PERENNIAL PLANTING
1/2" = 1'-0"
329333.01-04



2 DECIDUOUS TREE PLANTING
1/2" = 1'-0"
329343.01-03



3 METAL EDGING
3" = 1'-0"

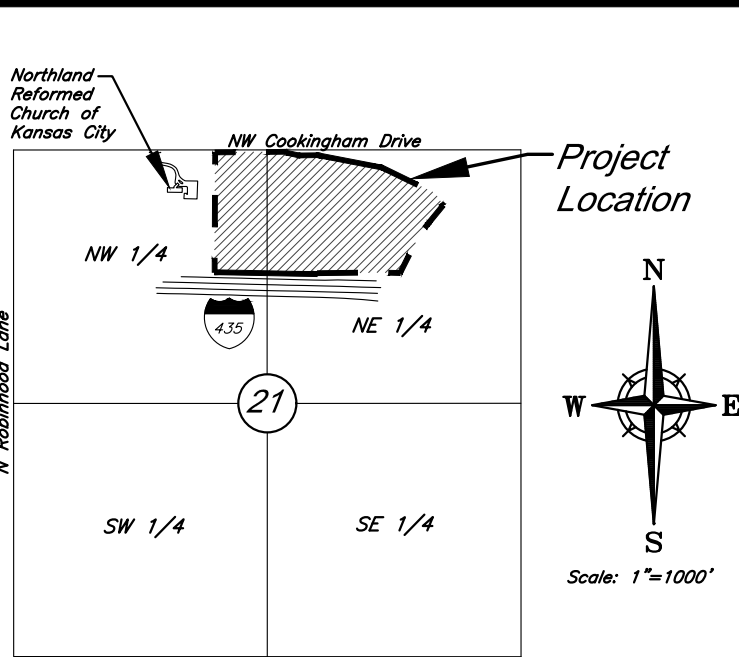
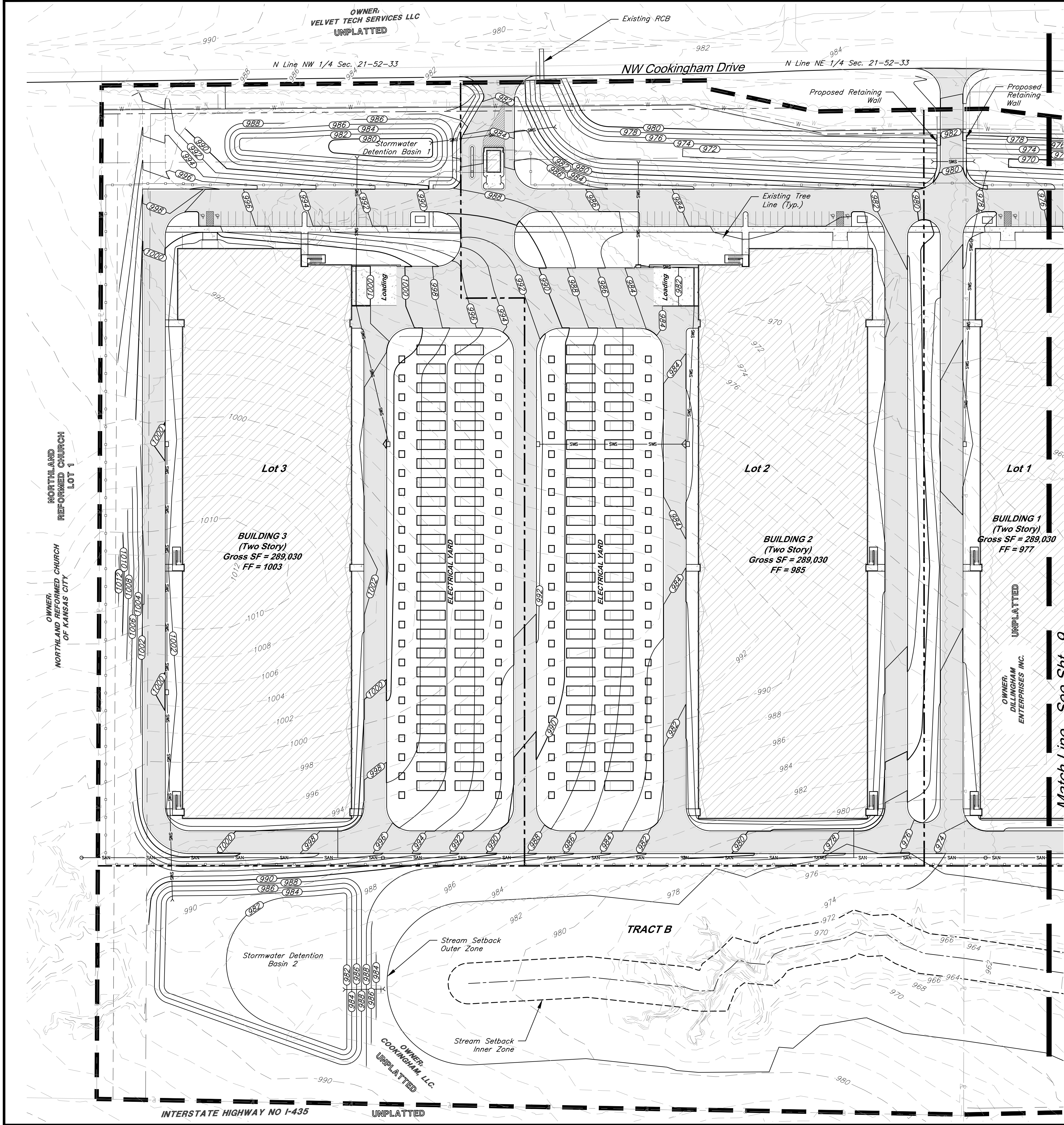
		GBA 9801 Renner Blvd., Ste. 300 Lenexa, KS 66219 913.492.0400 gbateam.com		DATE: 3/15/2024 DESIGN BY: CEL DRAWN BY: DRV/ELS PROJECT NO.: 15410.11 SHEET NUMBER 7	
Clint Loumaster Professional Engineer License No. PB-2011009651				M2-3 Rezoning - Pre. Development Plan & Pre. Plat COOKINGHAM DEVELOPMENT Kansas City, Missouri	
NO.	DATE	REVISIONS		BY	APPROVED
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VICINITY MAP
Part of the NW & NE 1/4
Section 21-Township 52-Range 33

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		M2-3 Rezoning - Pre. Development Plan & Pre. Plat COOKINGHAM DEVELOPMENT Kansas City, Missouri
Clint Loumaster Professional Engineer License No. PB-2011009651	REVISIONS City Comments 4/5/2024	
NO. 1	DATE 4/19/24	BY ELS APPROVED

Legend	
	Proposed Building
	Concrete Sidewalk
	Proposed Asphalt Pavement
	Property Boundary
	Proposed Right-of-Way
	Lot Line
	60' Building Setback
	20' Parking Setback
	Proposed Security Fence
	Proposed Water Line
	Proposed Storm Sewer
	Proposed Sanitary Sewer
	Proposed Sanitary Manhole
	Proposed Storm Structure
	Proposed Fire Hydrant
	Proposed Contours
	Existing Contour Major
	Existing Contour Minor
	Existing Tree Line
	Top of Wall
	Base of Wall

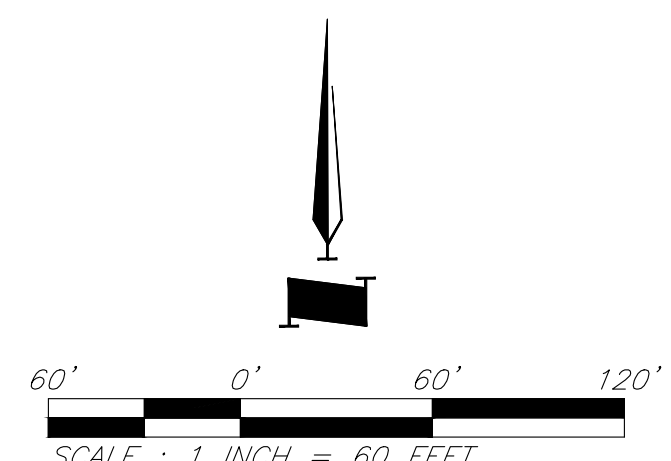
Grading Notes:

- Proposed grading shall comply with ADA requirements.
- Grading within water easement shall maintain 60" minimum cover over existing 24" transmission main. Proposed grading within easement shall be approved by KC Water prior to commencement.



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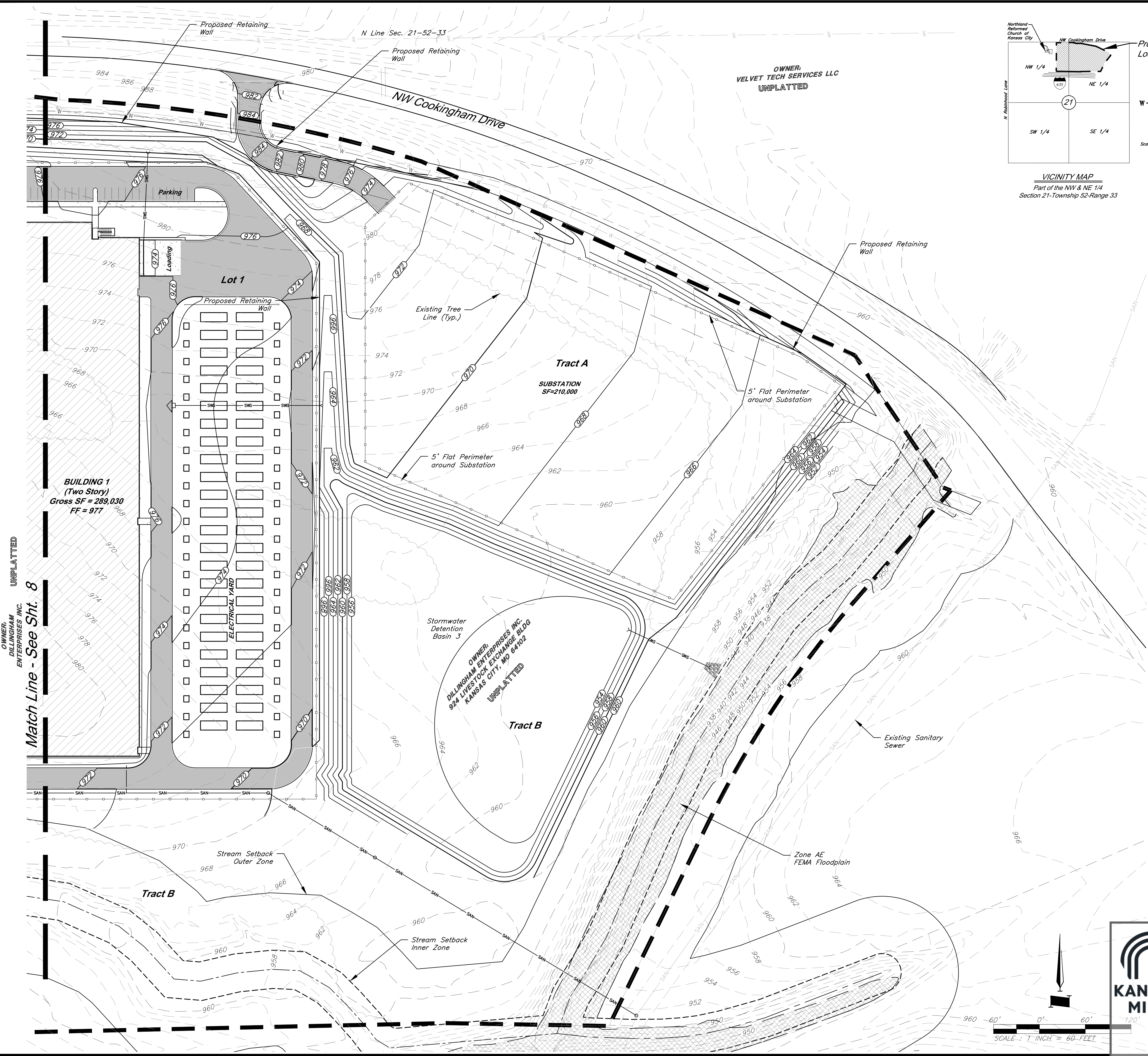
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Grading Plan

Match Line - See Sht. 9

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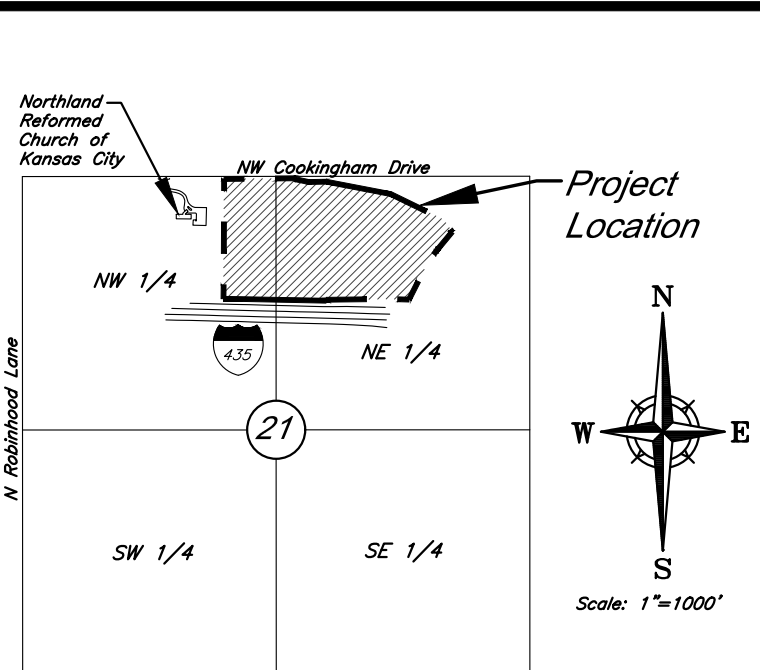


OWNER: DILLINGHAM ENTERPRISES INC. UNPLATTED

Match Line - See Sht. 8

OWNER: VELVET TECH SERVICES LLC UNPLATTED

OWNER: DILLINGHAM ENTERPRISES INC. 924 WESTOCK EXCHANGE BLDG KANSAS CITY, MO 64102 UNPLATTED



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- Legend**
- Proposed Building
 - Concrete Sidewalk
 - Proposed Asphalt Pavement
 - Zone AE FEMA Floodplain
 - Property Boundary
 - Proposed Right-of-Way
 - Lot Line
 - 60' Building Setback
 - 20' Parking Setback
 - Proposed Security Fence
 - Proposed Water Line
 - Proposed Storm Sewer
 - Proposed Sanitary Sewer
 - Proposed Sanitary Manhole
 - Proposed Storm Structure
 - Proposed Fire Hydrant
 - Proposed Contours
 - Existing Contour Major
 - Existing Contour Minor
 - Existing Tree Line
 - TW Top of Wall
 - BW Base of Wall

Grading Notes:

- Proposed grading shall comply with ADA requirements.
- Grading within water easement shall maintain 60" minimum cover over existing 24" transmission main. Proposed grading within easement shall be approved by KC Water prior to commencement.

Floodplain Notes:

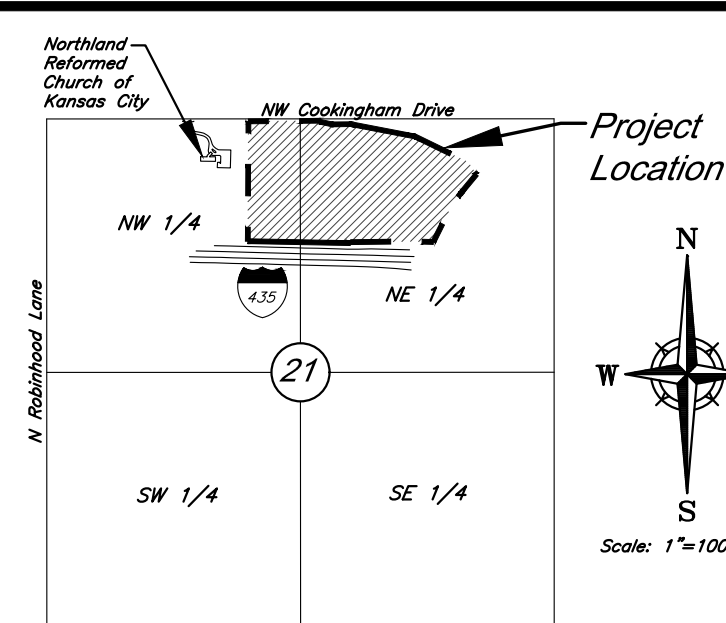
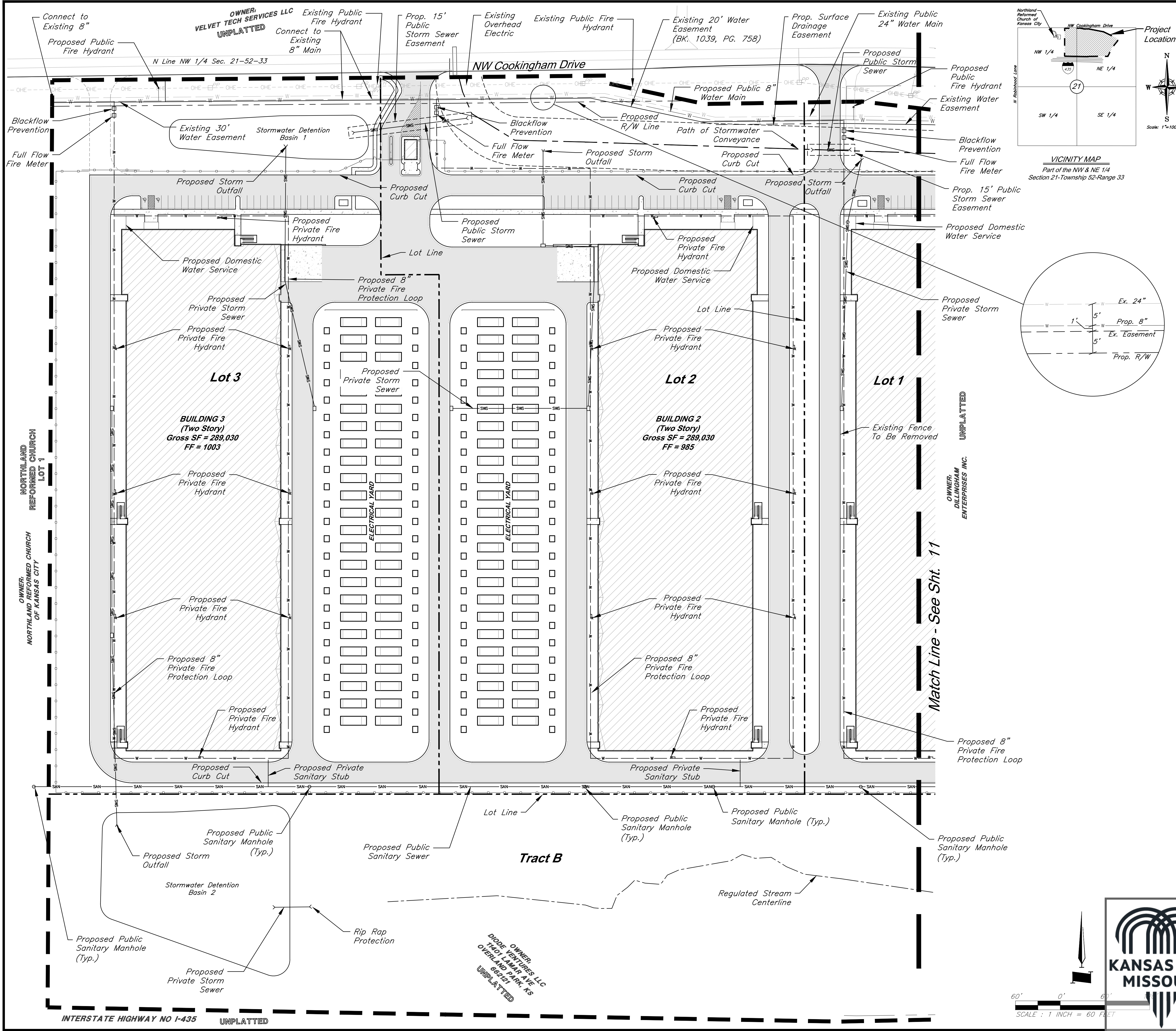
According to the Flood Insurance Rate Maps (FIRMs) for the city of Kansas City, Missouri (29095C0061G, dated January 20th, 2017), the site is situated mainly within Zone X, areas determined to be outside the 0.2% annual chance floodplain. A channel on the site contains Zone AE, special flood hazard areas.



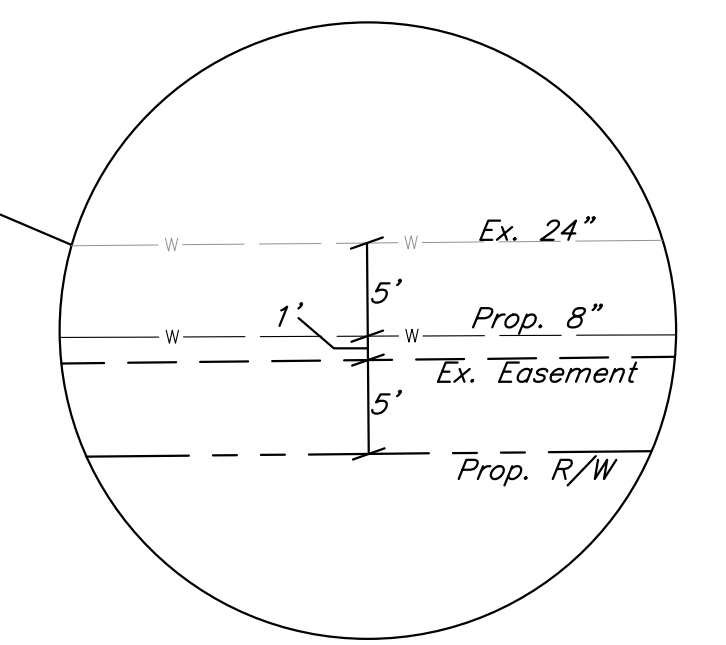
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Secretary of the City Plan Commission

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Section 21-Township 52-Range 33



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PROJECT NO.: 15410.11
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NO.	DATE	REVISIONS	BY
1	4/19/24	City Comments	4/5/2024
			ELC

Legend

- Property Boundary
- Proposed Right-of-Way
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Security Fence
- Proposed Water Line
- SWS Proposed Storm Sewer
- SAN Proposed Sanitary Sewer
- Proposed Drainage Easement
- Path of Stormwater Conveyance
- Proposed Building
- Concrete Sidewalk
- Proposed Asphalt Pavement
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant

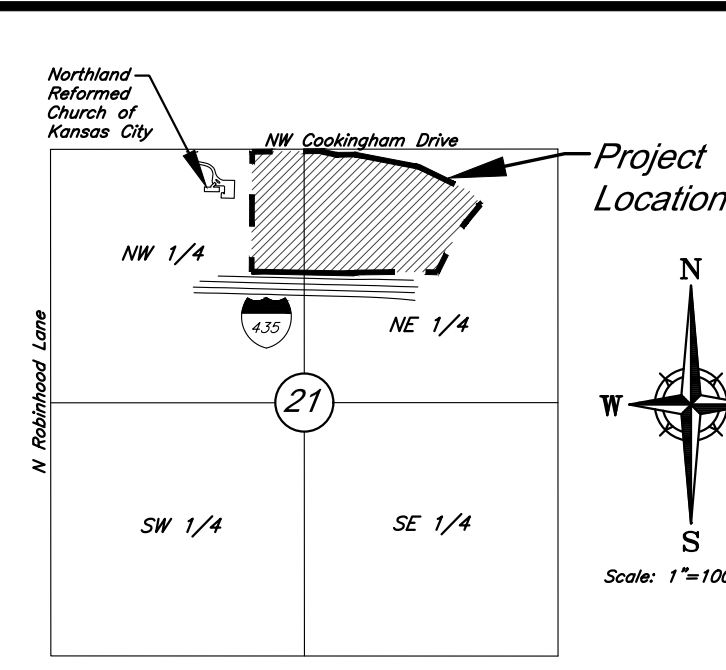
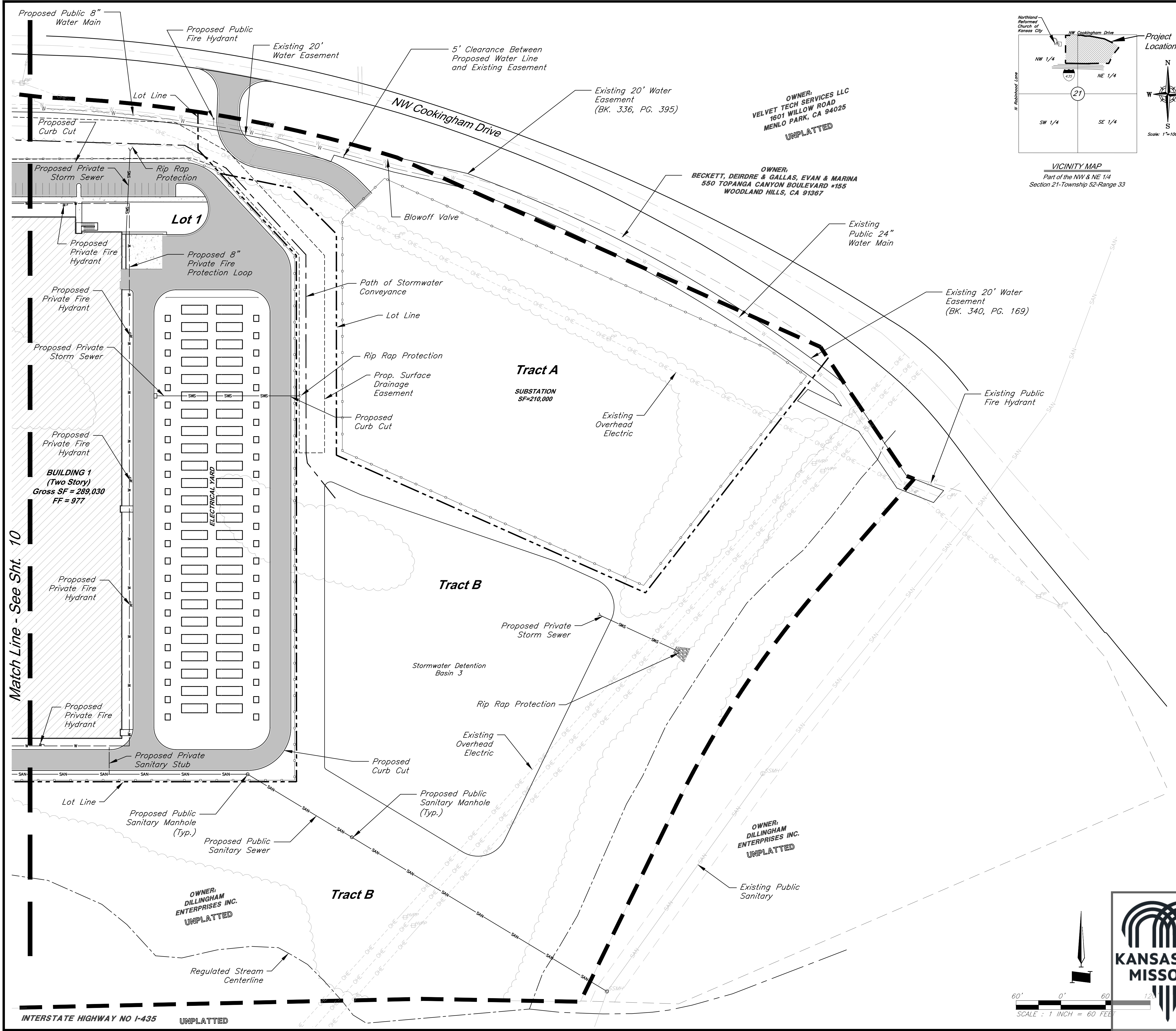
- General Notes:**
- Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site.
 - The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018.
 - Required fire department access roads shall be all weather surfaces.
 - Security gates which span across a fire access road shall provide a means for emergency operation.
 - Required fire department access roads shall be designed to support a fire apparatus with a gross axle weight of 85,000 pounds.
 - All access roads must be completed within the first phase of construction.
 - Public sanitary sewer easements will be located in future work.
 - Public fire hydrants shall meet maximum 300' spacing along Cookingham Drive.

KANSAS CITY MISSOURI

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Section 21-Township 52-Range 33

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DESIGN BY: CEL
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11
SHEET NUMBER
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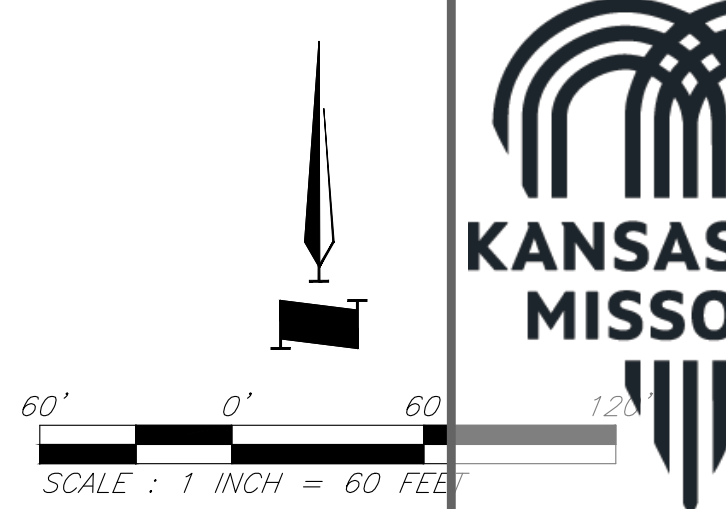
Clint Loumaster Professional Engineer License No. PB-2011009651		M2-3 Rezoning - Pre. Development Plan & Pre. Plat COOKINGHAM DEVELOPMENT Kansas City, Missouri	
NO.	DATE	REVISIONS	BY
1	4/19/24	City Comments	4/5/2024
			ELC

Legend

- Property Boundary
- Proposed Right-of-Way
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Security Fence
- Proposed Water Line
- SWS
- Proposed Storm Sewer
- Proposed Drainage Easement
- Path of Stormwater Conveyance
- Proposed Building
- Concrete Sidewalk
- Proposed Asphalt Pavement
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant

General Notes:

- Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site.
- The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018.
- Required fire department access roads shall be all weather surfaces.
- Security gates which span across a fire access road shall provide a means for emergency operation.
- Required fire department access roads shall be designed to support a fire apparatus with a gross axle weight of 85,000 pounds.
- All access roads must be completed within the first phase of construction.
- Public sanitary sewer easements will be located in future work.
- Public fire hydrants shall meet maximum 300' spacing along Cookingham Drive.



KANSAS CITY MISSOURI

City Plan Commission
Approved Subject to Conditions
of Case No. CD-CPC-2024-00032 on 06-05-2024

Diane Binkckley, ACP
Secretary of the City Plan Commission

C:\15410.11\Civil 3D\Production Drawings\Rezoning & Preliminary Development Plans\15410.11C2800.dwg Layout: 12 Tree Removal & Tree Preservation Plan -- Friday, April 19, 2024, 1:50pm -- Copyright 2024, George Heath-Henderson, Professional Engineer, 000133, Professional Land Surveyor, 000059

General Notes:

1. No mitigation shall be required if contiguous tree canopy cover is less than one acre.

Tree Removal & Preservation Data Table	
Total Tree Acres on Property	21.25
Total Acres to be Removed	9.43
Total Acres to be Preserved	11.83
Total Acres of Undisturbed Stream Buffer	8.68
Total Acres of Canopy within Buffer	8.93

Planting Summary	
Tree Size (IN)	Quantity
2	16
2.5	139
Total Caliper Inch	379.5

Mitigation Rate Calculation (88-424-07)	
Step 1	9.43 AC
Step 2	0.74 AC
Step 3	0.26 AC
Step 4	39.08 IN
Step 5	-340.42 IN

No further mitigation is required.

Proposed Building

Concrete Sidewalk

Proposed Asphalt Pavement

Trees Removed

Trees Preserved

Existing Tree Line

Property Boundary

Proposed Right-of-Way

Lot Line

Proposed Security Fence

Proposed Water Line

Proposed Storm Sewer

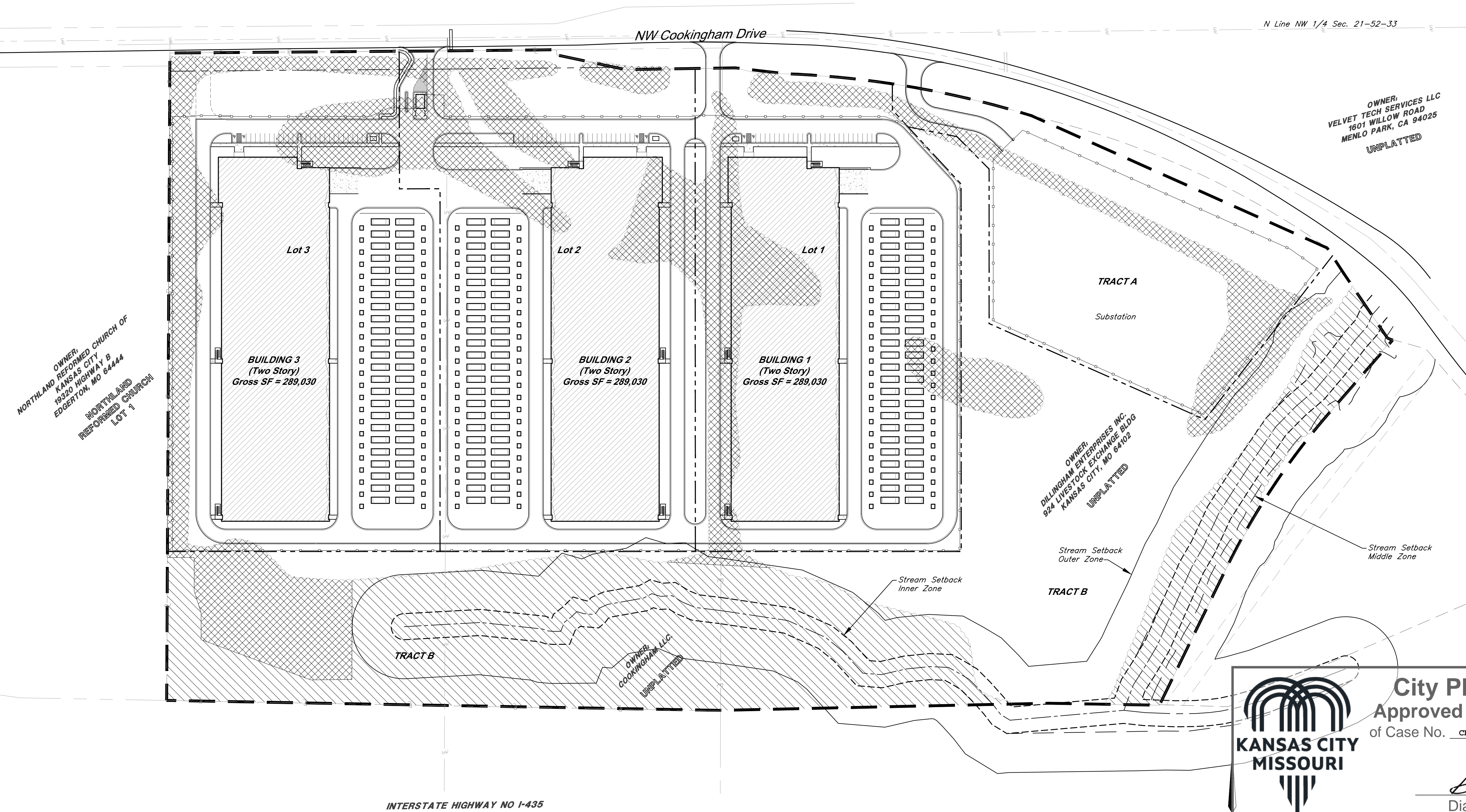
Proposed Sanitary Sewer

Proposed Sanitary Manhole

Proposed Storm Structure

Proposed Fire Hydrant

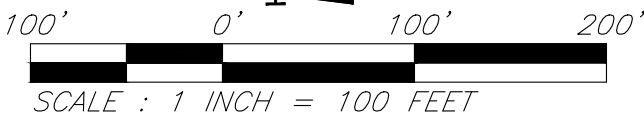
VICINITY MAP
Part of the NW & NE 1/4
Section 21-Township 52-Range 33



City Plan Commission
Approved Subject to Conditions
of Case No. CD-CPC-2024-00032 on 06-05-2024

Diane Binkckley
Diane Binkckley, AICP
Secretary of the City Plan Commission

Tree Removal & Tree Preservation Plan



PRELIMINARY PLAT FOR COOKINGHAM DEVELOPMENT

Legend

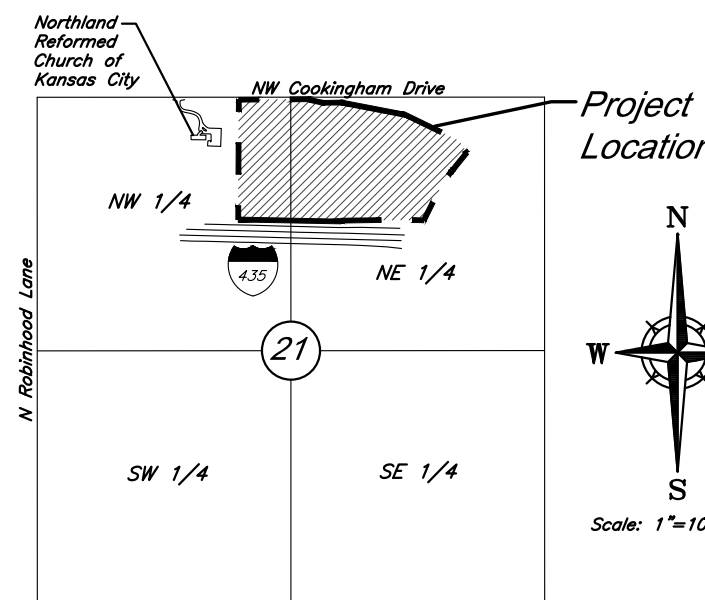
- Property Boundary
- Proposed Right-of-Way
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Drainage Easement
- Proposed Water Line
- SWS Proposed Storm Sewer
- SAN Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant
- Existing Tree Line

SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS

a) Existing Zoning: AG-R & M2-3
Proposed Zoning: M2-3

Item	Lot 1		Lot 2		Lot 3		Tract A		Tract B		Total
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
b) Total Land Area (SFT)	449,865	449,865	484,658	484,658	479,404	479,404	218,275	218,275	861,148	861,148	2,493,350
c) Total Land Area (AC)	10.33	10.33	11.13	11.13	11.01	11.01	5.01	5.01	19.77	19.77	57.24
d) Land Area for Street ROW (SFT)	0	0	0	11,992	0	15,413	0	0	0	0	27,405
e) Land Area for Street ROW (AC)	0.00	0.00	0.00	0.28	0.00	0.35	0.00	0.00	0.00	0.00	0.63
f) Net Land Area (SFT)	449,865	449,865	472,666	472,666	463,991	463,991	218,275	218,275	861,148	861,148	2,465,945
g) Net Land Area (AC)	10.33	10.33	10.85	10.85	10.65	10.65	5.01	5.01	19.77	19.77	56.61

Area to be Rezoned to M2-3



LEGAL DESCRIPTION

ALL THAT PART OF THE EAST 32 ACRES OF THE NORTHWEST 1/4 TOGETHER WITH THAT PART OF THE WEST 32.29 ACRES OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO. 291 AND NORTHERLY OF INTERSTATE HIGHWAY NO. 435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

***COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON THE NORTH LINE OF SAID NORTHWEST 1/4, 2644.88 FEET TO AN AXLE AT THE APPARENT NORTHEAST CORNER OF SAID NORTHWEST 1/4; THENCE S0° 14' 35" W ON THE EAST LINE OF SAID NORTHWEST 1/4, 25.00 FEET TO THE **POINT OF BEGINNING ON THE SOUTH RIGHT-OF-WAY LINE OF COOKINGHAM DRIVE; THENCE N89° 24' 05" E ON SAID SOUTH RIGHT-OF-WAY LINE, 209.70 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF MISSOURI HIGHWAY ROUTE 291; THENCE S0° 47' 11" E ON SAID SOUTH RIGHT-OF-WAY LINE, 9.53 FEET TO A POINT 30.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 665+00; THENCE S77° 57' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 135.17 FEET TO A POINT 60.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 664+10 BACK = 663+68.2 AHEAD; THENCE N89° 12' 49" E ON SAID SOUTH RIGHT-OF-WAY LINE, 185.61 FEET TO THE EAST LINE OF SAID WEST 32.29 ACRES; THENCE S0° 09' 10" W ON SAID EAST LINE, 1233.67 FEET TO THE NORTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY ROUTE 435; THENCE N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.74 FEET TO THE EAST LINE OF SAID NORTHWEST 1/4; THENCE CONTINUING N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.24 FEET TO THE WEST LINE OF SAID EAST 32 ACRES; THENCE N00° 08' 21" E ON SAID EAST LINE, 1243.85 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID COOKINGHAM DRIVE, BEING 25.00 FEET SOUTH FROM AS MEASURED PERPENDICULAR TO, THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 531.49 FEET TO THE POINT OF BEGINNING.

AND

ALL THAT PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO. 291 AND NORTHERLY OF INTERSTATE HIGHWAY NO. 435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

COMMENCING AT THE NORTH CORNER OF SAID SECTION 21; THENCE N89° 24' 10" E ON THE NORTH LINE OF SAID SECTION 21, A DISTANCE OF 527.78 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367; THENCE S00° 08' 57" W ON SAID EXTENDED LINE, A DISTANCE OF 63.48 FEET TO A POINT 1/2" REBAR, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY ROUTE 291, *THE POINT OF BEGINNING; THENCE N89° 13' 23" E, ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 25.52 FEET, TO A POINT BEING 60 FEET SOUTH OF ROUTE NO. 291 CENTERLINE STATION 661+98.40; THENCE S83° 17' 47" E ON SAID SOUTH LINE, A DISTANCE OF 95.57 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 661+00.00, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE; THENCE ON SAID CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT OF N87° 49' 27" W, A RADIUS OF 1839.86, THROUGH A CENTRAL ANGLE OF 10° 00' 03", AND AN ARC LENGTH OF 321.63 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 657+66.62, AND THE MOST WESTERLY CORNER OF WARRANTY DEED #0903 BOOK 559 PG 708; THENCE S41° 01' 39" W, DEPARTING SAID RIGHT-OF-WAY LINE, ON SAID WEST LINE, A DISTANCE OF 185.49 FEET TO A POINT OF CURVATURE; THENCE ON SAID CURVE TO THE LEFT, AND ON SAID WEST LINE, HAVING A RADIUS OF 1367.39 FEET, THROUGH A CENTRAL ANGLE OF 15° 00' 00", AN ARC LENGTH OF 357.98 FEET, TO A POINT OF TANGENCY; THENCE S26° 01' 39" W ON SAID WEST LINE, A DISTANCE OF 293.70 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY NO. 435, 175.00 FEET NORTH OF STATION 931+88.32; THENCE N88° 58' 21" W ON SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 212.32 FEET, TO A POINT BEING 175.00 FEET NORTH OF STATION 924+50.00; THENCE S88° 45' 19" W ON SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 630.55 FEET, TO A POINT 1/2" REBAR, ALSO BEING 150.00 FEET NORTH OF STATION 924+50.00; THENCE N00° 08' 57" E, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, ON THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367, A DISTANCE OF 1233.92 FEET, TO THE POINT OF BEGINNING.

CONTAINING 26.82 ACRES - 1,168,062.44 SQ FEET AND BEING SUBJECT TO THAT PART IN ROAD RIGHT-OF-WAY IF ANY.

PREPARED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
CONTACT: CLINT LOUMASTER P.E.
EMAIL: cloumaster@gbateam.com



City Plan Commission
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Diane Binkckley
Diane Binkckley, AICP
Secretary of the City Plan Commission

100' 0' 100' 200'
SCALE: 1 INCH = 100 FEET

Preliminary Plat



City Plan Commission
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of Case No. CD-CPC-2024-00032 on 06-05-2024

STREAM BUFFER PLAN

Diane Binkckley
Diane Binkckley, ACP
Secretary of the City Plan Commission

GBA

9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

DATE: 3/15/2024
DESIGN BY: CEL
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11
SHEET NUMBER

14

Clint Loumaster
Professional Engineer
License No. PB-2011009651

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	



VICINITY MAP

Not to Scale

KCMO Regulated Stream within Property Boundary:
Length = 2426 FT

Stream Buffer Area

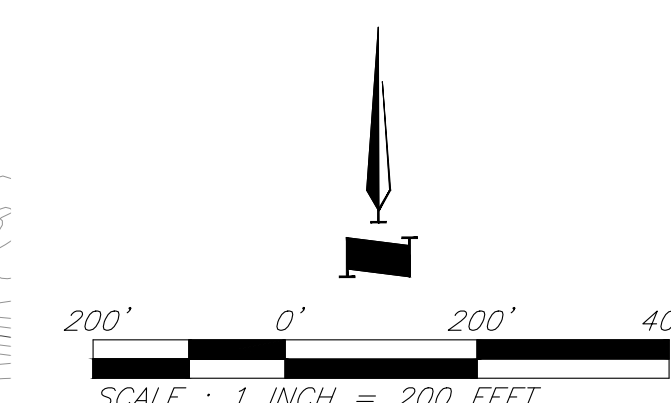
Total Stream Buffer Area within project area	9.81 AC
Total Streamside Zone	2.50 AC
Total Middle Zone	0.57 AC
Total Outer Zone	6.74 AC
Mature Vegetation/Steep Slopes in Outer Zone	4.85 AC
Proposed Stream-Side Impact	0.02 AC (0.80%)
Proposed Middle Zone Impact	0.007 AC (1.23%)
Proposed Outer Zone Impact	0.41 AC (6.08%)
Required Stream-Side Zone Mitigation (4:1)	0.08 AC
Required Middle Zone Mitigation (4:1)	0.03 AC
Required Outer Zone Mitigation (1.5:1)	0.62 AC
Total Required Mitigation	0.73 AC
Provided Mitigation	0.84 AC

Legend

	Existing Contour
	Proposed Contour
	Property Line
	Limits of Disturbance
	Regulated Stream Channel
	Stream Buffer Limits of Streamside Zone
	Stream Buffer Limits of Middle Zone
	Stream Buffer Limits of Outer Zone
	Proposed Asphalt Pavement
	Trees Removed
	Trees Preservation
	Stream Buffer Impact
	Proposed Mitigation
	Existing Tree Line
	Streamside Zone
	Middle Zone

Slope Map Legend

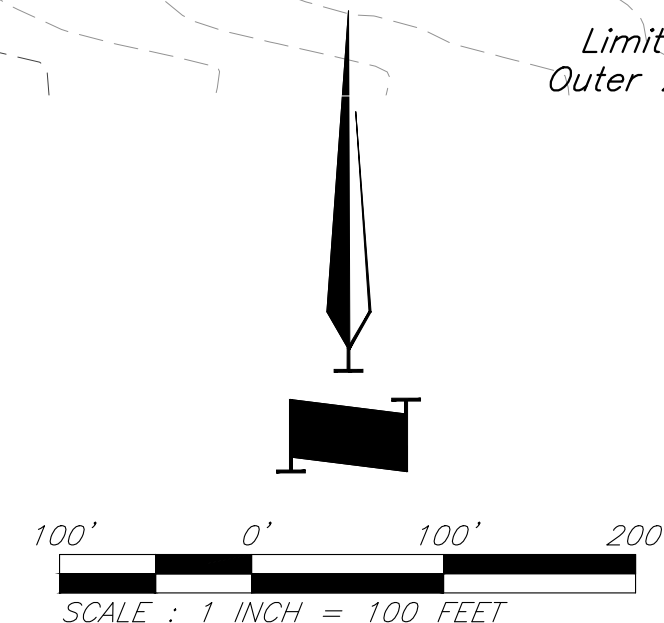
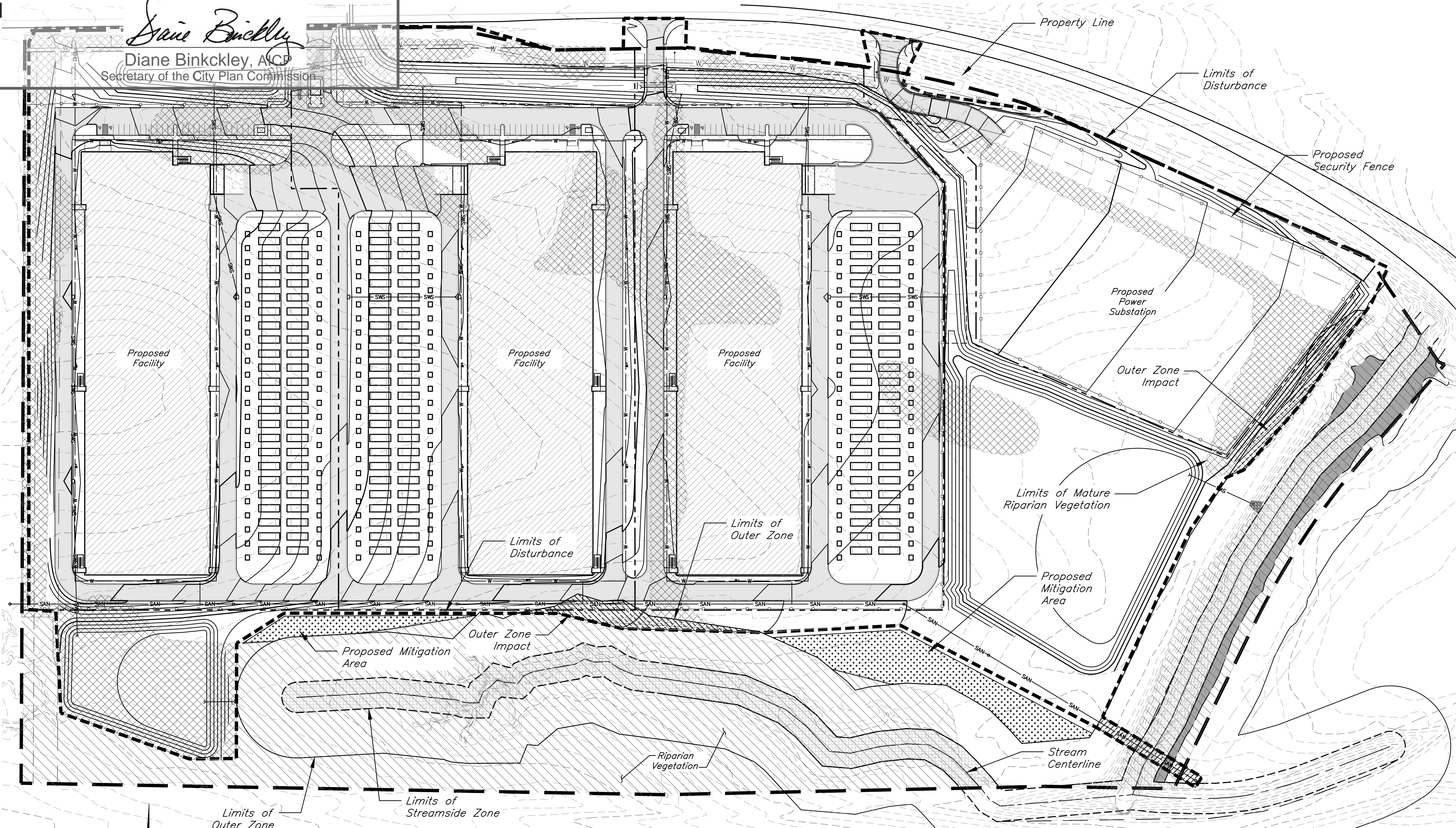
	0%-15%
	15% or Greater



SCALE : 1 INCH = 200 FEET

General Notes:

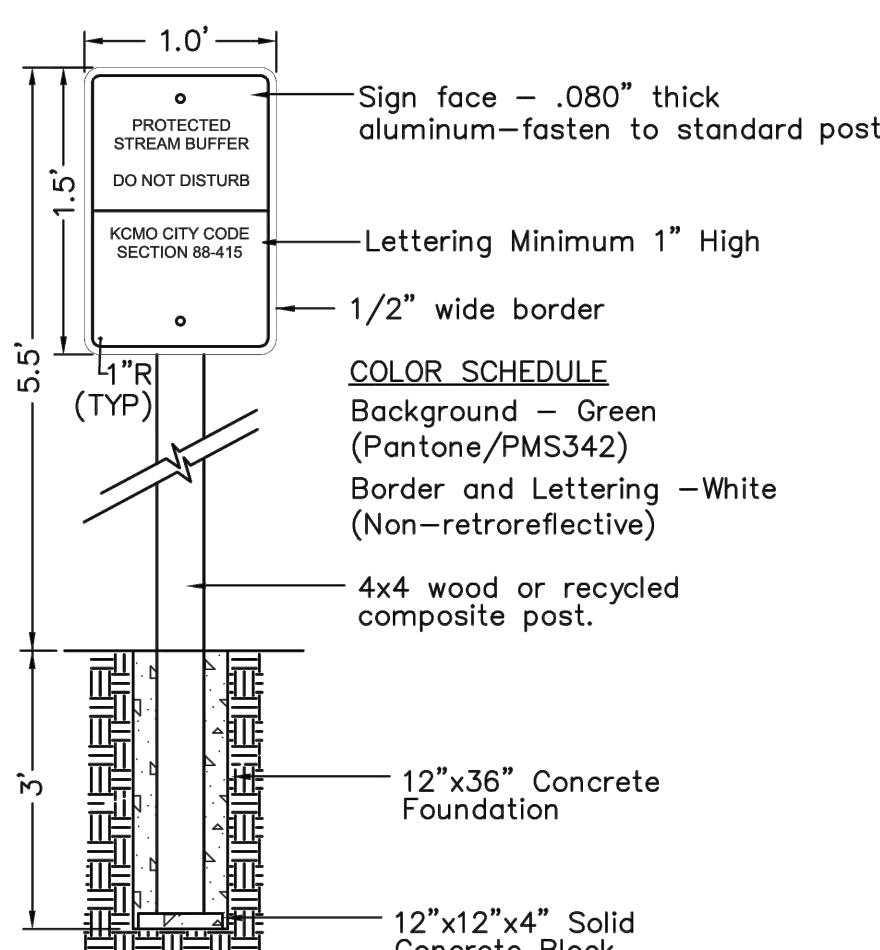
- Stream Buffer Signs shall be installed along project boundary at change in bearing and spaced no more than every 100 feet.
- According to the Flood Insurance Rate Maps (FIRMs) for the city of Kansas City, Missouri (29095C0061G, dated January 20th, 2017), the site is situated mainly within Zone X, areas determined to be outside the 0.2% annual chance floodplain. A channel on the site contains Zone AE, special flood hazard areas.
- The project is located in the First Creek Watershed.



SCALE : 1 INCH = 100 FEET

PREPARED FOR:
GBA REALTY LLC
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 816-876-3893
CONTACT: GRAHAM JONES
EMAIL: gjones@gbabuilders.com

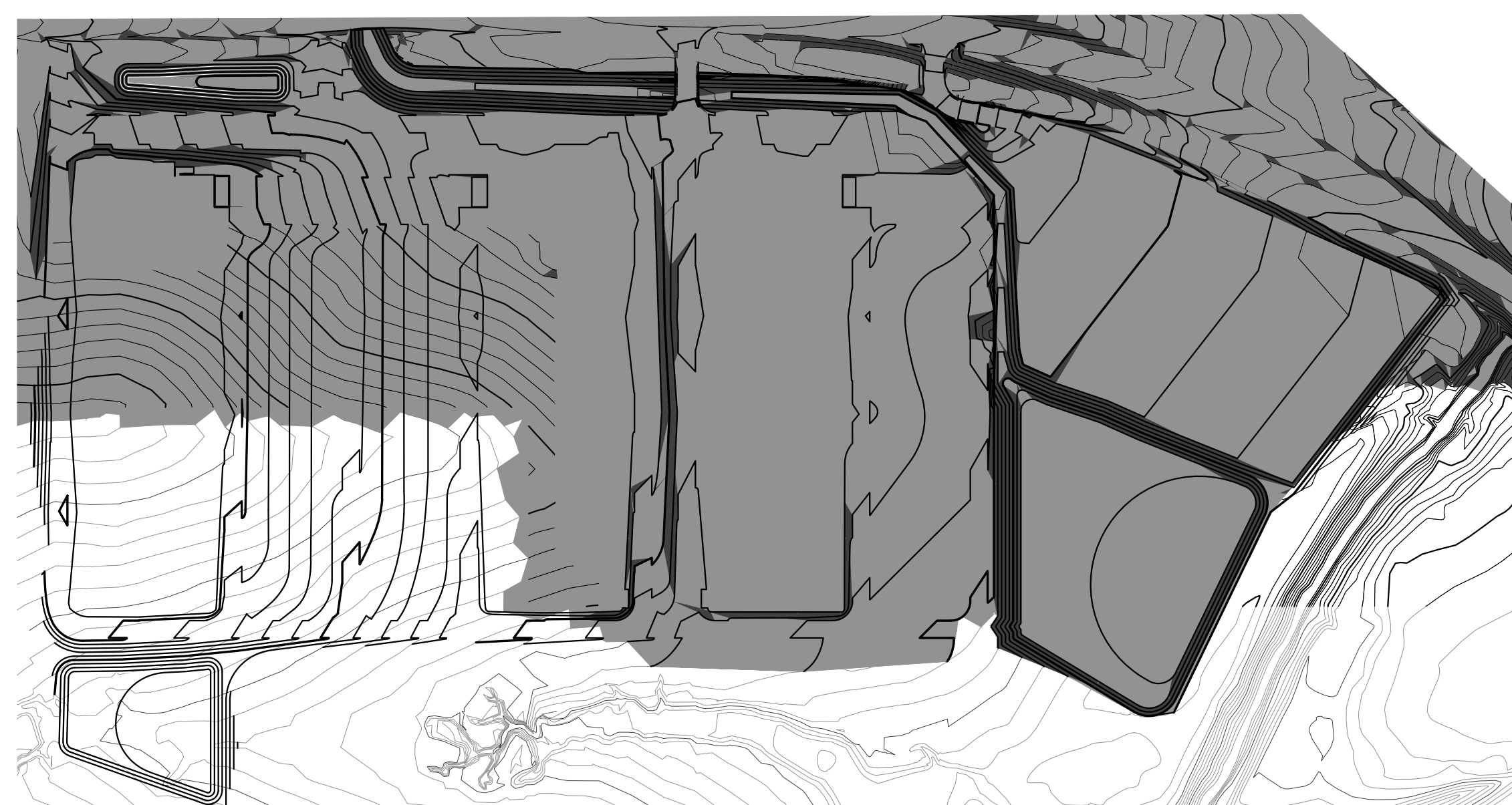
PREPARED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
CONTACT: CLINT LOUMASTER P.E.
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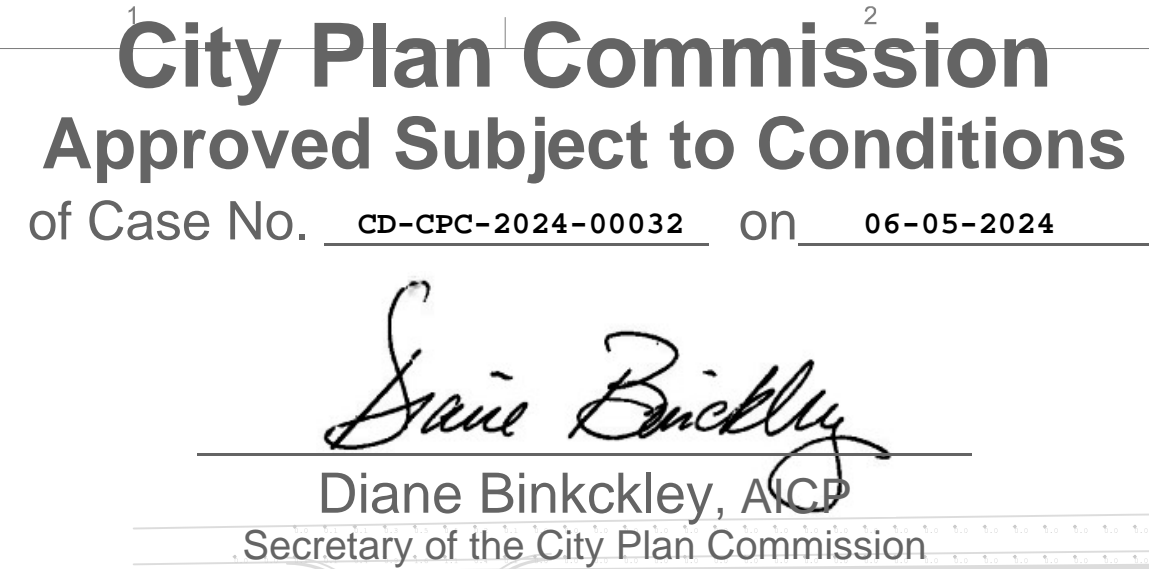
STREAM BUFFER SIGN DETAIL





Not to Scale

NOTE:
Contractor shall submit a shop drawing for approval prior to construction. Submission shall include a sample representing the noted color schedule.



SLOPE MAP



SYMBOL LIST	
SYMBOL	DESCRIPTION
	SINGLE POLE MOUNTED LUMINAIRE
	DOUBLE POLE MOUNTED LUMINAIRE
	BOLLARD (CHEVRON INDICATES DIRECTION)
	WALL MOUNTED LUMINAIRE (MOUNTING HEIGHT AS INDICATED)



TWO OAKS DESIGN & CONSULTING

4826 ACADEMY DRIVE
MADISON, WI 53716

JOB #:

[illegible]

SHEET NO.



1 ELECTRICAL POINT BY POINT PHOTOMETRIC PLAN - WEST
1/64" = 1'-0"



**KANSAS CITY
MISSOURI**

City Plan Commission
Approved Subject to Conditions
of Case No. CD-CPC-2024-00032 on 06-05-2024



Diane Binkckley, ACP
Secretary of the City Plan Commission

GBA Realty
9801 Renner Blvd.
Lenexa, Kansas 66219



4826 ACADEMY DRIVE
MADISON, WI 53716

JOB #:

COOKINGHAM
DEVELOPMENT
KANSAS CITY, MISSOURI

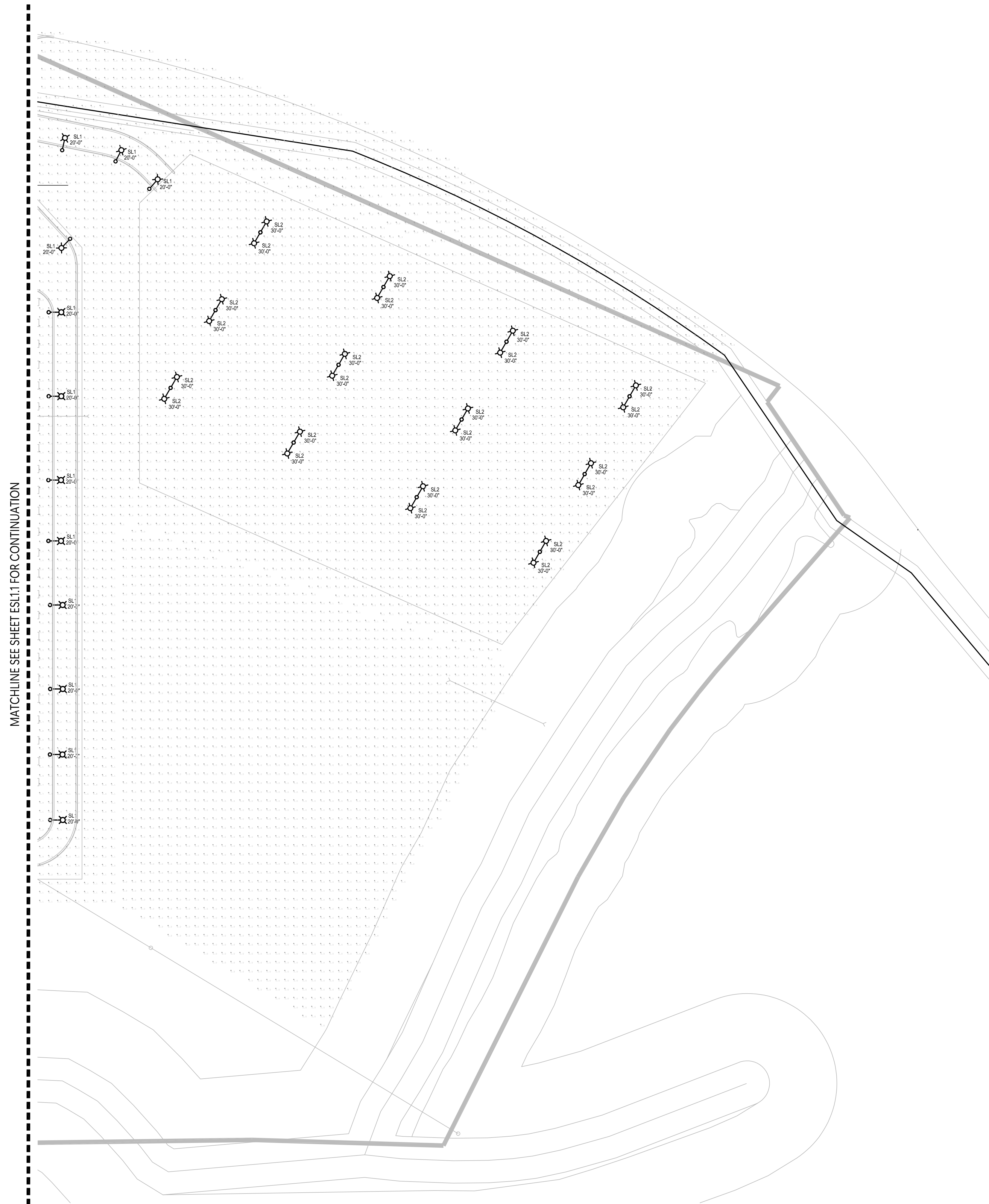
CHECKED BY JP
ISSUE DATE 03/12/24

REVISIONS		
NO.	DATE	DESCRIPTION

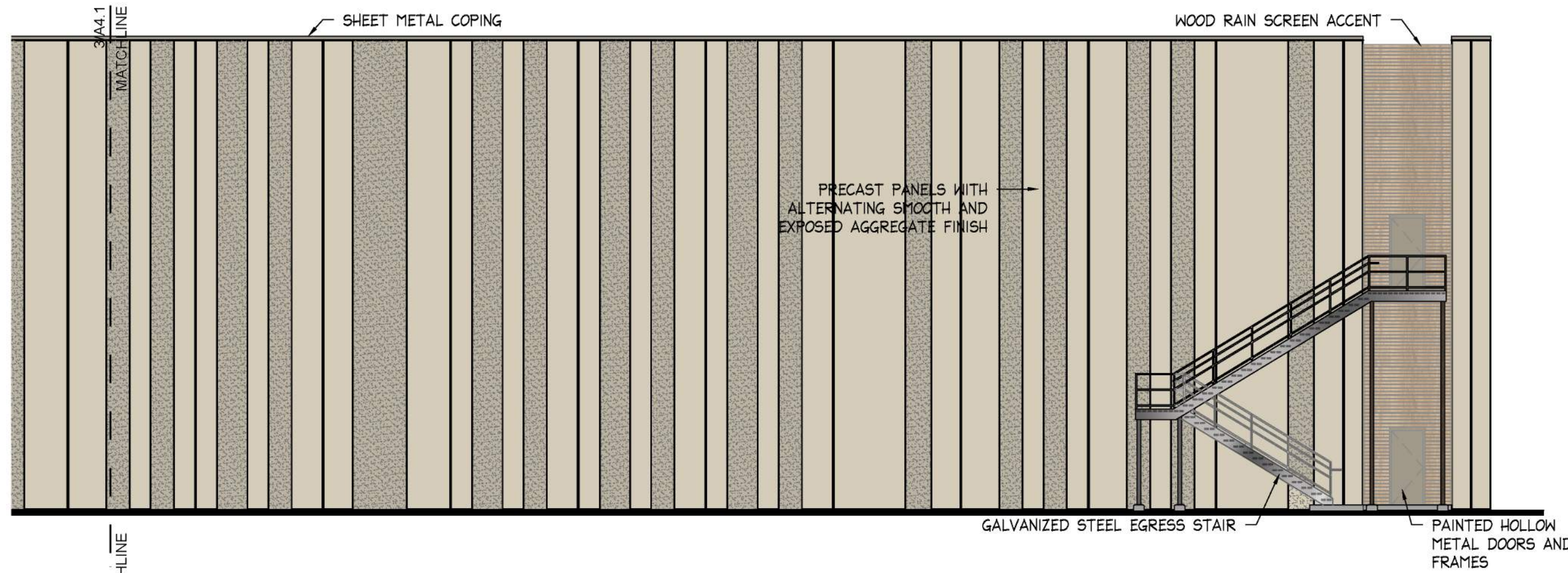
SHEET TITLE:
ELECTRICAL
POINT BY POINT
PHOTOMETRIC SITE PLAN
EAST

ESL1.2

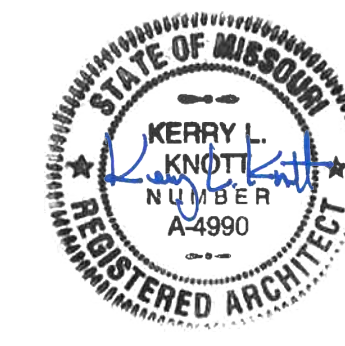
SHEET NO.



1 ELECTRICAL POINT BY POINT PHOTOMETRIC PLAN - EAST
1/64" = 1'-0"

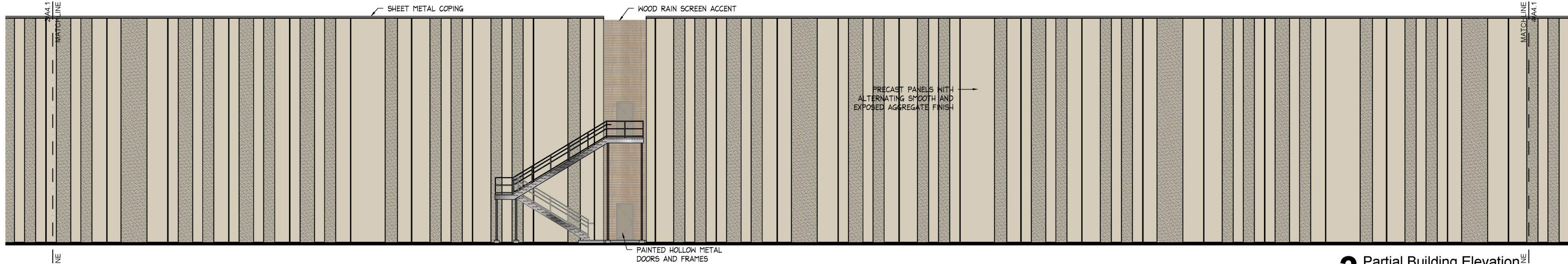


TOP OF PRECAST
144' - 0"
TOP OF JOISTS
140' - 0"
ACOUSTICAL CEILING
132' - 0"
FINISHED FLOOR (2ND)
120' - 0"
ACOUSTICAL CEILING
112' - 0"
FINISHED FLOOR (1ST)
100' - 0"

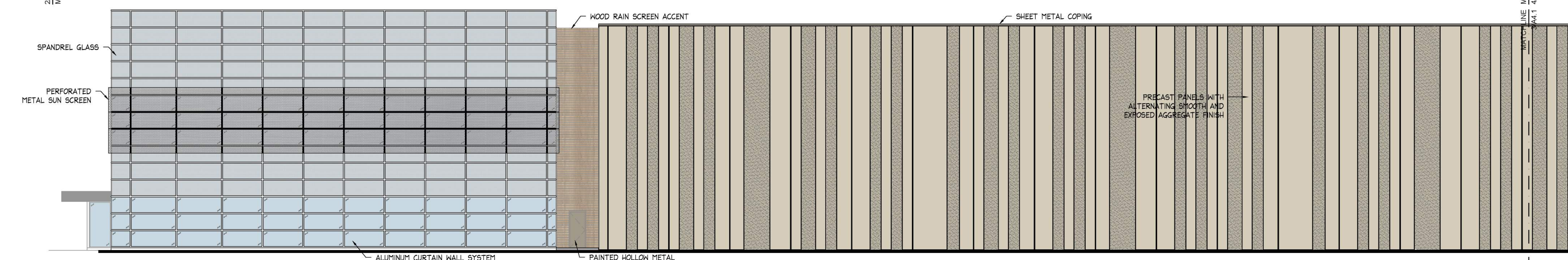
	DATE: 3/15/2024			
	DESIGN BY: SSC			
	DRAWN BY: SSC			
	PROJECT NO.: 23-034			
SHEET NUMBER A4.1				
Kerry L. Knott Registered Architect License No. A-4990				
M2-3 Rezoning - Pre. Development Plan & Pre. Plat COOKINGHAM DEVELOPMENT Kansas City, Missouri				
NO.	DATE	REVISIONS	BY	APPROVED

General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.

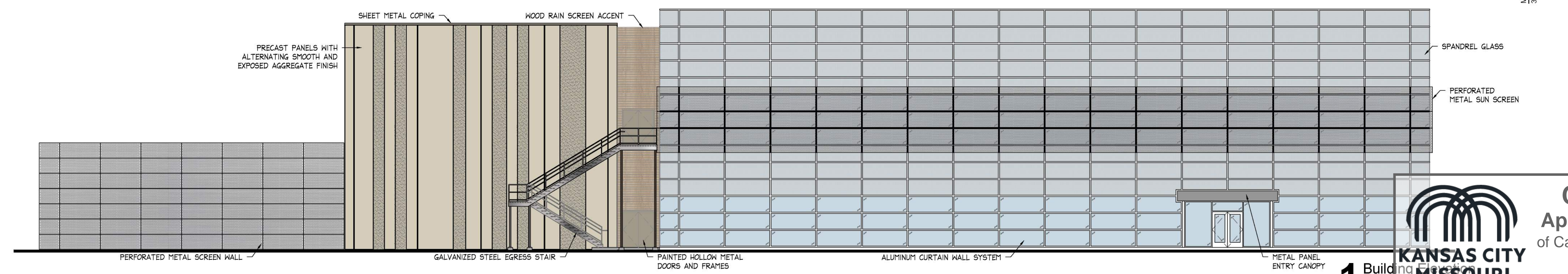
4 Partial Building Elevation
West Facing
3/32" = 1'-0"




3 Partial Building Elevation
West Facing
3/32" = 1'-0"



2 Partial Building Elevation
West Facing
3/32" = 1'-0"



1 Building North Facing
3/32" = 1'-0"

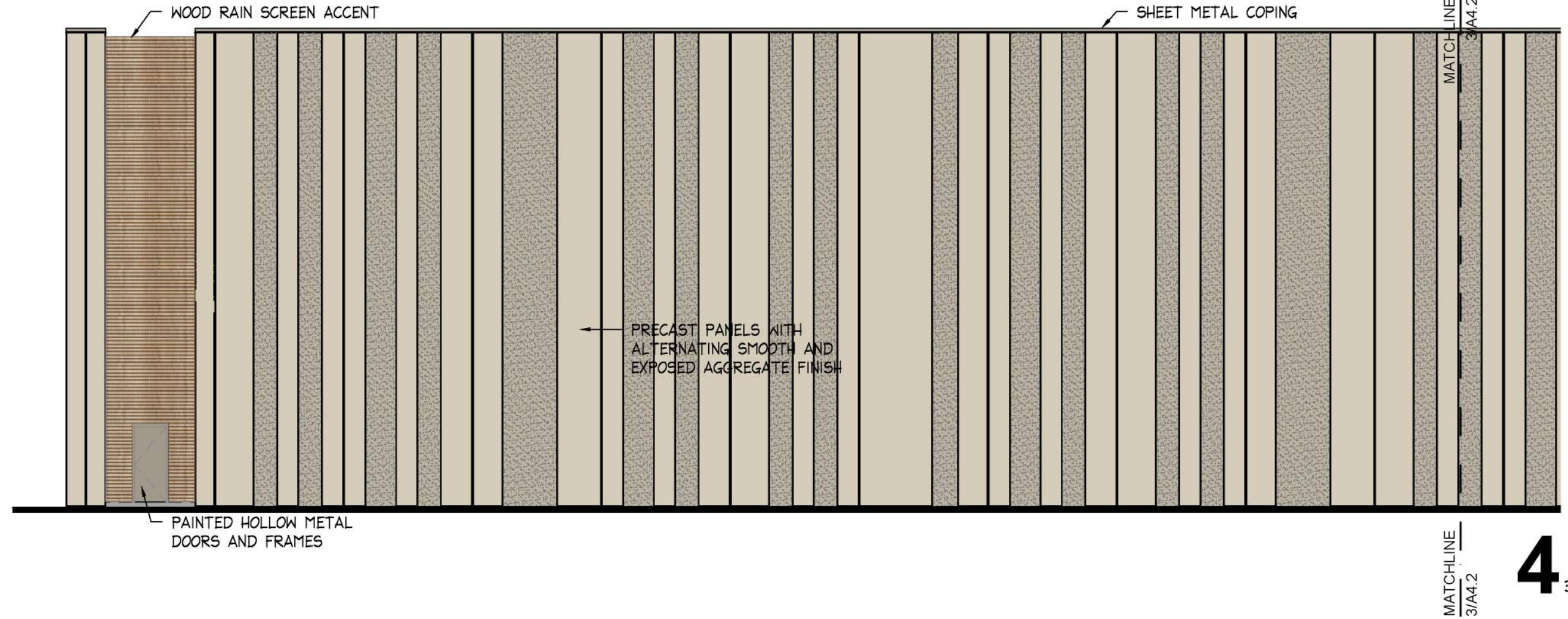



**KANSAS CITY
MISSOURI**

City Plan Commission
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Diane Binkckley
Diane Binkckley, ACP
Secretary of the City Plan Commission

- TOP OF PRECAST
144' - 0"
- TOP OF JOISTS
140' - 0"
- ACOUSTICAL CEILING
132' - 0"
- FINISHED FLOOR (2ND)
120' - 0"
- ACOUSTICAL CEILING
112' - 0"
- FINISHED FLOOR (1ST)
100' - 0"





Bell / Knott & Associates
CORPORATE ARCHITECTS, P.C.
12730 State Line Road Suite 100
Leawood, KS 66209
Voice: 913.378.1600
Fax: 913.378.1601
www.bellknott.com

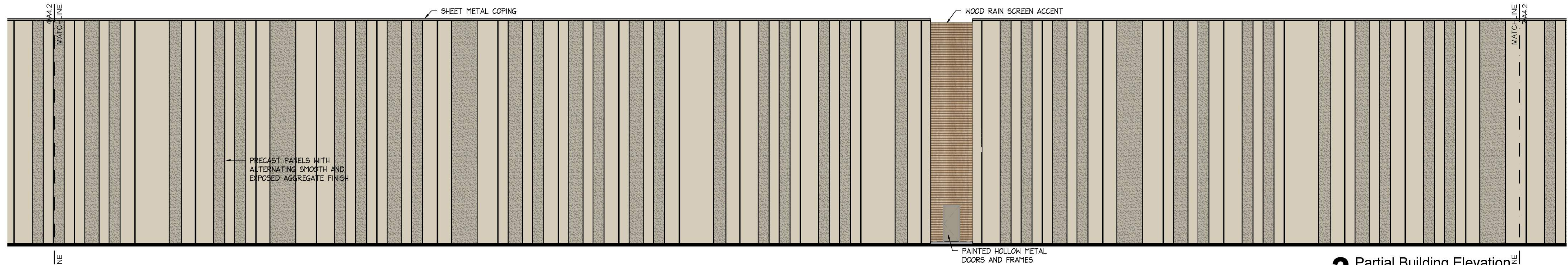
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DESIGN BY: SSC
DRAWN BY: SSC
PROJECT NO.: 23-034
SHEET NUMBER
A4.2

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED

General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.

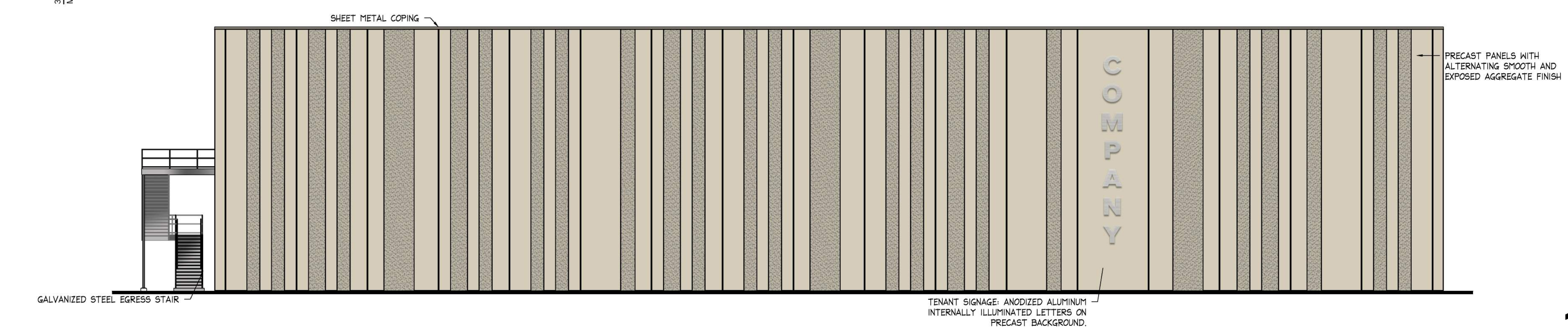
4 Partial Building Elevation
East Facing
3/32" = 1'-0"



3 Partial Building Elevation
East Facing
3/32" = 1'-0"



2 Partial Building Elevation
East Facing
3/32" = 1'-0"



1 Building Elevation
South Facing
3/32" = 1'-0"



City Plan Commission
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of Case No. CD-CPC-2024-00032 on 06-05-2024

Diane Binkckley, AICP
Secretary of the City Plan Commission

SHEET METAL COPING



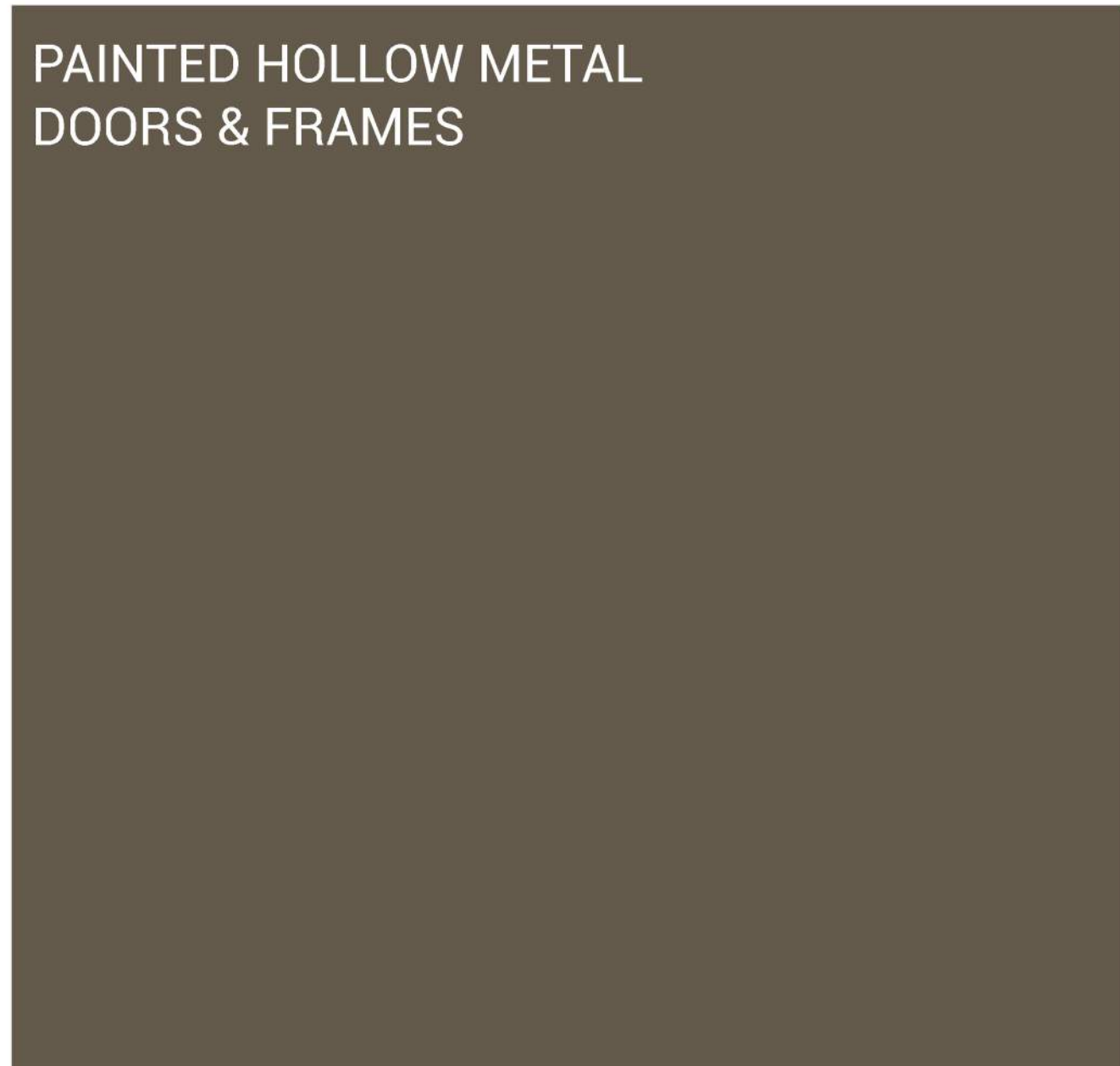
PRECAST
CONCRETE PANELS
WITH SMOOTH
& EXPOSED
AGGREGATE FINISH



WOOD RAIN SCREEN



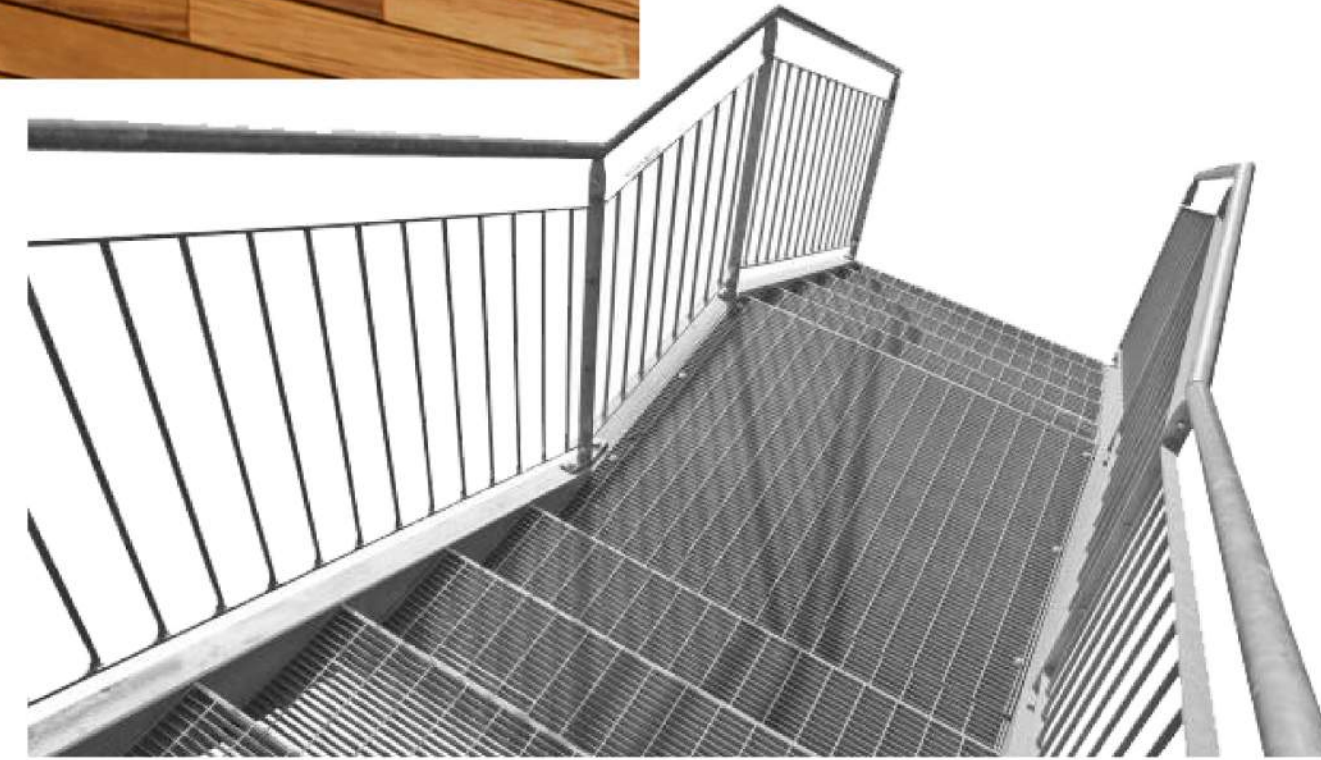
PAINTED HOLLOW METAL
DOORS & FRAMES



ALUMINUM CURTAIN
WALL SYSTEM



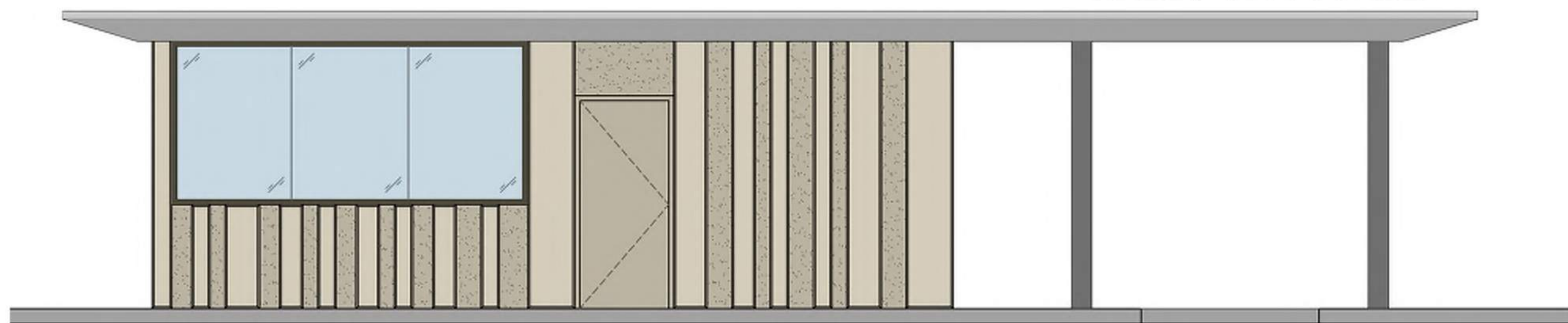
PERFORATED METAL SCREEN
WALL / SUN SCREEN



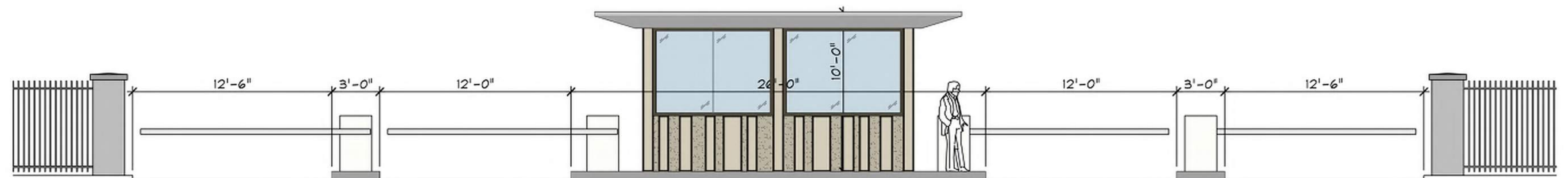
GALVANIZED STEEL
STAIRS



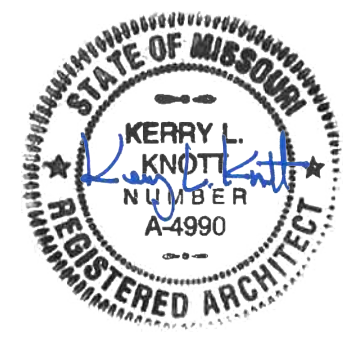

DECORATIVE SECURITY
FENCING



2 Guard House Side Elevation
1/4" = 1'-0"



1 Guard House Front Elevation
3/16" = 1'-0"

	 Bell / Knott & Associates CORPORATE ARCHITECTS, P.C. 12730 State Line Road Suite 100 Leawood, KS 66209 Voice: 913.378.1600 Fax: 913.378.1601 www.bellknott.com	DATE: 3/15/2024		
		DESIGN BY: SSC		
		DRAWN BY: SSC		
		PROJECT NO.: 23-034		
		SHEET NUMBER A4.3		
Kerry L. Knott Registered Architect License No. A-4990		M2-3 Rezoning - Pre. Development Plan & Pre. Plat COOKINGHAM DEVELOPMENT Kansas City, Missouri		
NO.	DATE	REVISIONS	BY	APPROVED



City Plan Commission
Approved Subject to Conditions
of Case No. CD-CPC-2024-00032 on 06-05-2024


Diane Binkckley, AICP
Secretary of the City Plan Commission