



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

June 5, 2024

## Project Name

Cookingham Development – Expansion

## Docket #

- 9.1 Area Plan Amendment
- 9.2 Rezoning without Plan
- 9.3 Development Plan – Non-Residential

## Request

CD-CPC-2024-00030  
Rezoning without Plan  
CD-CPC-2024-00031  
Area Plan Amendment  
CD-CPC-2024-00032  
Development Plan – Non-Residential

## Applicant

Aaron March  
Rouse Frets White Goss, PC

## Owner

Cookingham LLC & Dillingham  
Enterprises Inc

Location	2001 NW Cookingham Dr
Area	About 59 Acres
Zoning	M2-3 & AG-R
Council District	1 <sup>st</sup>
County	Platte
School District	Platte County R-III

## Surrounding Land Uses

**North:** Undeveloped, zoned MPD  
**South:** Interstate 435, zoned AG-R  
**East:** Interstate 435, zoned AG-R  
**West:** Undeveloped, zoned M2-3

## KC Spirit Playbook Alignment

N/A

## Land Use Plan

The KCI Area Plan recommends open space/buffer and mixed use community for this location.

## Major Street Plan

NW Cookingham Drive is identified as a thoroughfare on the City's Major Street Plan.

## APPROVAL PROCESS



## PROJECT TIMELINE

The application for the subject request was filed on 3/15/2024. Scheduling deviations from 2024 Cycle 5.1 have occurred due to technology issues at City Hall.

## REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 4/16/2024. A summary of the meeting is attached to the staff report, see Attachment #3.

## EXISTING CONDITIONS

The 59-acre site is undeveloped, generally flat and has a regulated stream that runs on along the eastern and southern perimeters of the site.

## SUMMARY OF REQUEST + KEY POINTS

**CD-CPC-2024-00030** - A request to rezone about 59 acres from zoning district AG-R to district M2-3 generally located at Interstate 435 and NW Cookingham Drive.

**CD-CPC-2024-00031** - A request to approve an area plan amendment to the KCIA Area Plan from Mixed Use Community to Commercial/Industrial on about 59 acres generally located at Interstate 435 and NW Cookingham Drive.

**CD-CPC-2024-00032** - A request to approve a non-residential development plan to allow for Communications Service Establishments in districts in the proposed M2-3 zoning district on about 59 acres generally located at Interstate 435 and NW Cookingham Drive.

## CONTROLLING + RELATED CASES

**CD-CPC-2023-00138, CD-CPC-2023-00139** and **CD-CPC-2023-0140** were approved by the City Council on November 30, 2023 to allow for a speculative data center development (**Ordinance No. 230979**).

## PROFESSIONAL STAFF RECOMMENDATION

Docket # Recommendation

**8.1 APPROVAL**

**8.2 APPROVAL**

**13 APPROVAL WITH CONDITIONS**

**PLAN REVIEW & ANALYSIS**

The applicant is expanding a previously approved development plan to allow for a speculative data center (communication service establishment). The proposed expansion will consist of an additional 30 acres east of the previously approved site. The 30 acres are undeveloped, currently zoned for agricultural uses, adjacent to Interstate 435 and generally flat. The applicant will be removing over nine (9) acres of trees but is not required to provide any tree mitigation due to the existing stream buffer that runs along the eastern and southern perimeter of the site. The applicant is also seeking a deviation of 10' to allow for 70' tall structures to be constructed on the site. City staff assigned MoDOT a review due to the proximity of the site to Interstate 435. Also, the City and MoDOT have a cooperative maintenance agreement for NW Cookingham Drive and City staff is awaiting feedback from MoDOT to make sure they approve of the proposed use and possible traffic generation.

*\*indicates adjustment/deviation*

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
Lot and Building Standards (88-140)*	Yes	No	The applicant is seeking a deviation to allow for building heights up to 70' which exceed the allowable height by 10'.
Tree Preservation and Protection (88-424)	Yes	Yes	The applicant is exempt due to the existing stream buffer.
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	Yes, subject to conditions	

**SPECIFIC REVIEW CRITERIA****Zoning and Development Code Map Amendments, Rezoning (88-515-08)**

In reviewing and making decisions on proposed zoning map amendments, the City Planning and Development Director, City Plan Commission, and City Council must consider at least the following factors:

**A. Conformance with adopted plans and planning policies;**

The proposed development does require an area plan amendment to the KCI area plan but the use is generally permitted when north of Interstate 435 within this quadrant of the City.

**B. Zoning and use of nearby property;**

The immediate area is generally zoned AG-R and undeveloped.

**C. Physical character of the area in which the subject property is located;**

The area is undeveloped and adjacent to Interstate 435.

**D. Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;**

The applicant is continuing to coordinate with KC Water related to public infrastructure serving the site.

**E. Suitability of the subject property for the use to which it has been restricted under the existing zoning regulations;**

The proposed site is adjacent to Interstate 435 and if properly screened from the public right-of-way the proposed zoning will be suitable for the proposed use.

**F. Length of time the subject property has remained vacant as zoned;**

The proposed site is undeveloped.

**G. The extent to which approving the rezoning will detrimentally affect nearby properties; and**

The proposed site is adjacent to Interstate 435 and if well screened from the public right-of-way and adjacent properties it should not detrimentally affect nearby properties.

**H. The gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.**

The proposed use would not be permitted without rezoning the property from AG-R to M2-3.

**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**

The applicant has outstanding corrections from KC Water and KCPD and no ordinance request can be submitted until the corrections are resolved. The applicant is also seeking a 10' height deviation from the lot and building standards of the Zoning and Development Code to construct 70' tall structures.

**B. The proposed use must be allowed in the district in which it is located;**

The western side of the project area currently allows for communication service establishments, the applicant has acquired additional property since the original plan was approved in 2023 and is now expanding the use to the east. The eastern portion of the site is zoned AG-R (Agricultural – Residential) and will be rezoned to M2-3 (manufacturing) to allow for the proposed use.

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

City staff is waiting for MoDOT to complete their review related to amount curb cuts proposed. MoDOT and the City of Kansas City have a shared maintenance agreement for NW Cookingham Drive. Staff has encouraged the developer to have one primary entrance and a second entrance that can only be used by emergency personnel.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

The proposed use on the site, a data center (communication service establishment), does not generate much pedestrian or bicycle activities. The plan does comply with the Pedestrian Standards (88-450) of the Zoning and Development Code.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

The applicant has outstanding corrections from KC Water that shall be resolved prior to ordinance request.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The proposed architectural features and design are high quality and are compatible with the site's immediate adjacency to Interstate 435.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The applicant did provide a landscape plan that complies with Code and will provide a strong visual buffer along NW Cookingham Drive.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The applicant has stated this is a speculative project which means that the proposed amount of impervious surfaces could change depending on who the end user is.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

The applicant provided a tree preservation and removal plan. The applicant is proposing to remove over 9 acres of trees for the speculative development. No mitigation is required due to the existing stream buffer.



## ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

## PROFESSIONAL STAFF RECOMMENDATION

City staff recommends the following:

CD-CPC-2024-00030 - Rezoning without Plan

**APPROVAL**

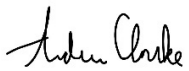
CD-CPC-2024-00031 - Area Plan Amendment

**APPROVAL**

CD-CPC-2024-00032 - Development Plan – Non-Residential

**APPROVAL WITH CONDITIONS**

Respectfully Submitted,



Andrew Clarke, AICP  
Planner



## Plan Conditions

Report Date: May 29, 2024

Case Number: CD-CPC-2024-00032

Project: Cookingham Development - Expansion

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*Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / [Andrew.Clarke@kcmo.org](mailto:Andrew.Clarke@kcmo.org) with questions.*

1. The developer shall submit an affidavit, completed by an ISA certified arborist, an SAF certified forester, a professional engineer, or a landscape architect licensed in the State of Missouri, verifying that all trees preserved and all trees planted to meet mitigation required of the approved plan, whichever is applicable, has been installed or preserved in accordance with the plan and is healthy prior to Certificate of Occupancy.
2. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in 88-424. This requirement shall be satisfied prior to certificate of occupancy.
3. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
5. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
6. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
7. The developer shall secure approval of a project plan from the City Plan Commission prior to building permit.
8. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
9. The Council shall grant a deviation to 88-140-04 allowing for a maximum height of 70'.
10. The applicant shall resolve all KC Water and KCPD corrections prior to ordinance request.
11. The developer shall submit a phasing plan to the Development Management Division prior to ordinance request.

*Condition(s) by City Planning and Development Department. Contact Matthew Barnes at (816) 513-8817 / [matthew.barnes@kcmo.org](mailto:matthew.barnes@kcmo.org) with questions.*

12. That prior to any Certificate of Occupancy is issued for each phase, a Final Plat must be approved by the City and recorded with the County Recorder of Deeds.
13. That the applicant must submit, gain approval from the City, and record a Final Plat for each phase prior to any certificate of occupancy being issued.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / [Terry.A.Thomas@kcmo.org](mailto:Terry.A.Thomas@kcmo.org) with questions.*

14. The developer shall grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.
15. The developer shall dedicate additional right of way [and provide easements] for \_\_\_\_\_ as required by the adopted [Major Street Plan and/or Chapter 88] so as to provide a minimum of \_\_\_\_ feet of right of way as measured from the centerline, along those areas being platted.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

16. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, provide a copy of the Storm Water Pollution Prevention (SWPP) plan submitted to the Missouri Dept. of Natural Resources (MDNR) and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
17. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat.
18. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
19. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
20. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
21. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
22. The developer shall enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by the Land Development Division, prior to recording the plat.
23. The developer shall submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division.
24. The developer shall secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

25. • The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
26. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
27. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
  - Fire hydrant distribution shall follow IFC-2018 Table C102.1
28. • Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).
  - Buildings exceeding three (3) stories or 30 feet in height shall have at least two means of fire apparatus access. (IFC-2018: § D104.1)
29. • Security gates which span across a fire access road shall provide a means for emergency operation. Electric gates shall require a siren sensor device typically referred to as a "yelp gate" (IFC-2018 § 503.6).

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

30.
  - A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
  - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
  - Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
  - The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
  - Shall provide fire lane signage on fire access drives.
31.
  - New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

32. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.
33. No water service tap permits will be issued until the public water main is released for taps.
34. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.  
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
35. A full flow fire meter shall be required when the fire protection service line serves more than one building, or combination service lines 6 inches and larger, or that have private fire hydrants connected to them.

*Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.*

36. Relocations and additions to the public water distribution system and public fire hydrants shall follow the KC Water Rules and Regulations for Water Main Extensions. Developer shall submit water main extension plans for review, approval, contracting, and construction of the proposed water distribution improvements prior to building permit issuance.

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

37. The developer must grant BMP and Surface Drainage Easements to the City, prior to recording the plat or issuance of any building permits.
38. The developer shall submit a final stream buffer plan for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
39. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems, prior to recording the plat or issuance of a building permit whichever occurs first.
40. The developer must obtain a floodplain certificate from Development Services prior to beginning any construction activities with the floodplain.
41. The developer must show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan.
42. The developer shall submit a Preliminary Stream Buffer plan prior to approval of the plan in accordance with the Section 88-415 requirements.
43. The developer must grant on City approved forms, a STREAM BUFFER Easement to the City, as required by Chapter 88, prior to issuance of any stream buffer permits.

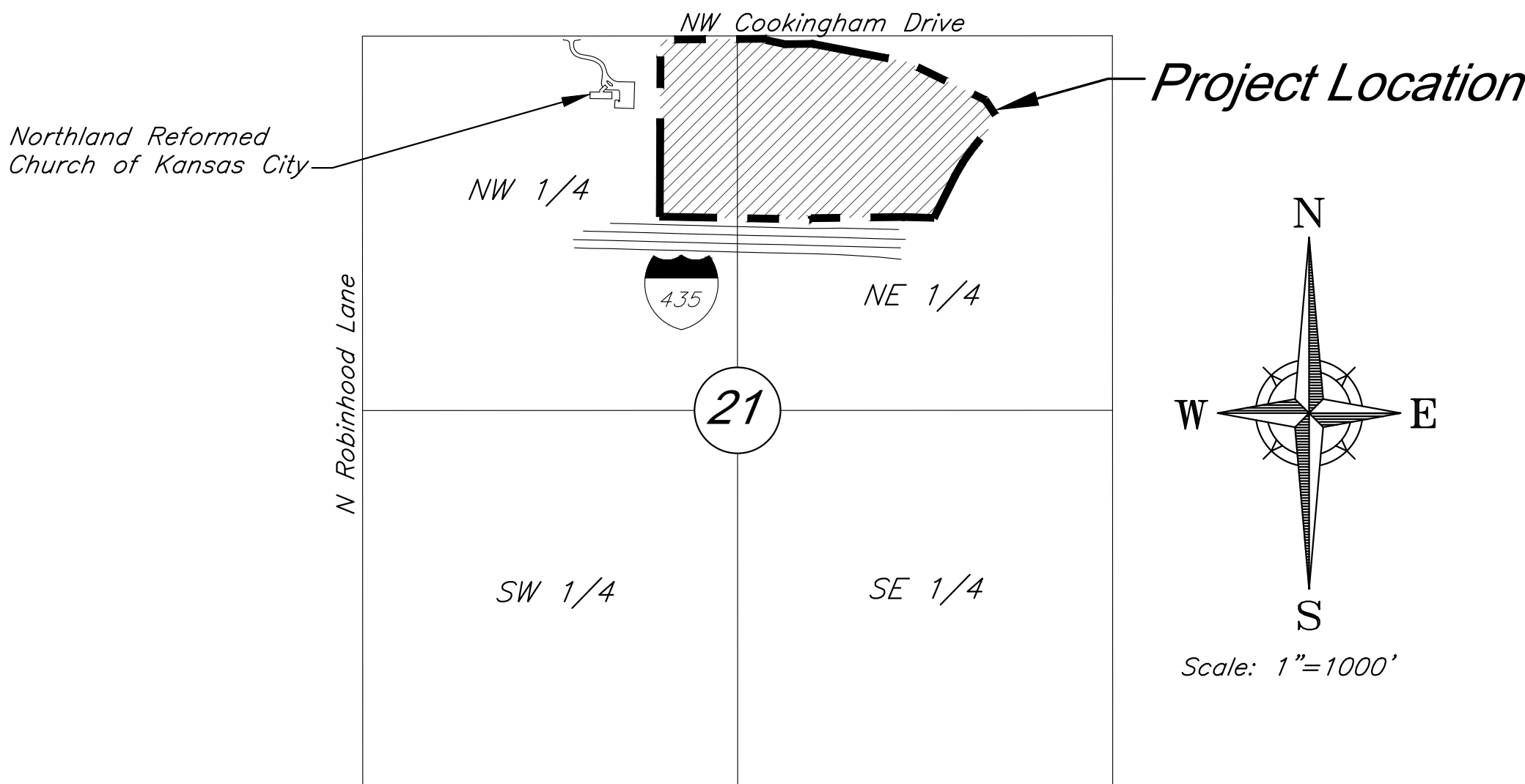
*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

44. The developer must enter into a covenant agreement for the maintenance of any storm water detention area tracts, prior to recording the plat.

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PRELIMINARY DEVELOPMENT PLAN & PRELIMINARY PLAT  
FOR  
COOKINGHAM DEVELOPMENT

Part of the NW & NE 1/4  
Section 21–Township 52S–Range 33E  
in the  
City of Kansas City  
Platte County, Missouri



VICINITY MAP  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33

INDEX OF SHEETS	
Sht. No.	Description
1	Title Sheet
2	General Layout
3-4	Site Plan
5	Landscape Plan
6	Street Tree Plan
7	Planting Details
8-9	Grading Plan
10-11	Utility Plan
12	Tree Removal & Tree Preservation Plan
13	Preliminary Plat
14	Stream Buffer Plan
E1.1	Lighting Plan
E1.2	Lighting Plan
A4.1 - Color	Partial Building Elevations
A4.2 - Color	Partial Building Elevations
A4.3 - Color	Partial Building Elevations

PREPARED FOR:  
GBA REALTY LLC  
9801 RENNER BOULEVARD  
LENEXA, KANSAS 66219  
PHONE: 816-876-3893  
CONTACT: GRAHAM JONES LEED AP  
EMAIL: gjones@gbabuilders.com

PREPARED BY:  
GEORGE BUTLER ASSOCIATES, INC.  
9801 RENNER BOULEVARD  
LENEXA, KANSAS 66219  
PHONE: 913-492-0400  
CONTACT: CLINT LOUMASTER P.E.  
EMAIL: cloumaster@gbateam.com

FLOODPLAIN:  
According to the Flood Insurance Rate Maps (FIRMs) for the city of Kansas City, Missouri (29095C0061G, dated January 20th, 2017), the site is situated mainly within Zone X, areas determined to be outside the 0.2% annual chance floodplain. A channel on the site contains Zone AE, special flood hazard areas.

DEVIATIONS REQUESTED:  
1. A deviation is requested to allow facilities up to 70 feet in height on each of the proposed lots.

PROJECT ENGINEER: CLINT LOUMASTER, P.E.	DATE:
APPROVED BY:	
MANAGER, ENGINEERING SERVICES DIVISION:	DATE:

**GBA**  
9801 Renner Boulevard  
Lenexa, Kansas 66219  
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www.gbateam.com

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## LEGAL DESCRIPTION

ALL THAT PART OF THE EAST 32 ACRES OF THE NORTHWEST 1/4 TOGETHER WITH THAT PART OF THE WEST 32.29 ACRES OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO.291 AND NORTHERLY OF INTERSTATE HIGHWAY NO.435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON THE NORTH LINE OF SAID NORTHWEST 1/4, 2644.88 FEET TO AN AXLE AT THE APPARENT NORTHEAST CORNER OF SAID NORTHWEST 1/4; THENCE S0° 14' 35" W ON THE EAST LINE OF SAID NORTHWEST 1/4, 25.00 FEET TO THE POINT OF BEGINNING ON THE SOUTH RIGHT-OF-WAY LINE OF COOKINGHAM DRIVE; THENCE N89° 24' 08" E ON SAID SOUTH RIGHT-OF-WAY LINE, 208.70 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF MISSOURI HIGHWAY ROUTE 291; THENCE S0° 47' 11" E ON SAID SOUTH RIGHT-OF-WAY LINE, 9.53 FEET TO A POINT 30.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 665+00; THENCE S77° 57' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 135.17 FEET TO A POINT 60.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 664+10 BACK = 663+68.2 AHEAD; THENCE N89° 12' 49" E ON SAID SOUTH RIGHT-OF-WAY LINE, 185.61 FEET TO THE EAST LINE OF SAID WEST 32.29 ACRES; THENCE S0° 08' 10" W ON SAID EAST LINE, 1233.67 FEET TO THE NORTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY ROUTE 435; THENCE N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.24 FEET TO THE EAST LINE OF SAID NORTHWEST 1/4; THENCE CONTINUING N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.24 FEET TO THE WEST LINE OF SAID EAST 32 ACRES; THENCE N0° 08' 21" E ON SAID EAST LINE, 1243.85 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID COOKINGHAM DRIVE BEING 25.00 FEET SOUTH FROM, AS MEASURED PERPENDICULAR TO, THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 531.49 FEET TO THE POINT OF BEGINNING.

AND

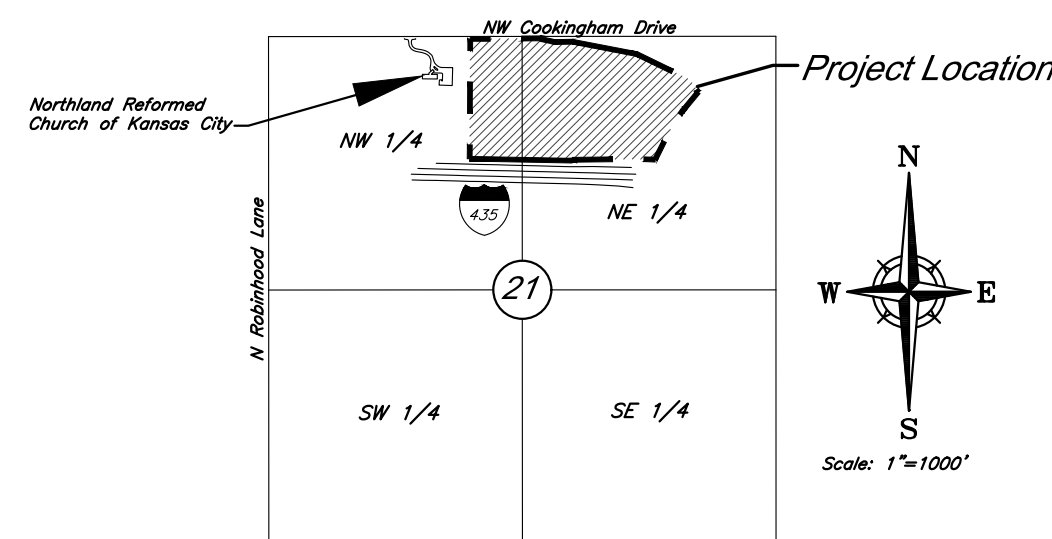
ALL THAT PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO.291 AND NORTHERLY OF INTERSTATE HIGHWAY NO.435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

COMMENCING AT THE NORTH CORNER OF SAID SECTION 21; THENCE N89°24'10"E ON THE NORTH LINE OF SAID SECTION 21, A DISTANCE OF 527.78 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367; THENCE S00°08'57"W ON SAID EXTENDED LINE, A DISTANCE OF 63.48 FEET TO A FOUND 1/2" REBAR, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY ROUTE 291, THE POINT OF BEGINNING; THENCE N89°13'23"E, ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 26.52 FEET, TO A POINT BEING 60 FEET SOUTH OF ROUTE NO.291 CENTERLINE STATION 661+98.40; THENCE S81°17'47"E ON SAID SOUTH LINE, A DISTANCE OF 95.57 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 661+00.00, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE; THENCE ON SAID CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT OF N87°49'27"W, A RADIUS OF 1839.86, THROUGH A CENTRAL ANGLE OF 10°00'03", AND AN ARC LENGTH OF 321.63 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 657+66.62, AND THE MOST WESTERLY CORNER OF WARRANTY DEED 40803 BOOK 559 PG 708; THENCE S63°31'08"E, DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, ON THE SOUTH LINE OF SAID DEED, A DISTANCE OF 879.52 FEET TO THE MOST SOUTHEASTLY CORNER OF SAID DEED, ALSO BEING 76.89 FEET LEFT/SOUTHWEST OF STATION 648+42.49; THENCE S34°01'46"E, ON THE SOUTH RIGHT-OF-WAY LINE OF SAID ROUTE 291, SHOWN ON THE HIGHWAY NO. 435 PLANS, A DISTANCE OF 91.18 FEET, TO A POINT, 100.0 FEET, LEFT/SOUTHWEST, OF STATION 647+50; THENCE S68°28'48"E ON SAID RIGHT OF WAY LINE, A DISTANCE OF 10.61 FEET, TO A POINT ON THE WEST LINE OF WARRANTY DEED 40803 BOOK 559 PG 708; THENCE S41°01'39"W, DEPARTING SAID RIGHT-OF-WAY LINE, ON SAID WEST LINE, A DISTANCE OF 165.49 FEET TO A POINT OF CURVATURE; THENCE ON SAID CURVE TO THE LEFT, AND ON SAID WEST LINE, HAVING A RADIUS OF 1367.39 FEET, THROUGH A CENTRAL ANGLE OF 15°00'00" AN ARC LENGTH OF 357.98 FEET, TO A POINT OF TANGENCY; THENCE S26°01'39"W ON SAID WEST LINE, A DISTANCE OF 293.70 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY NO. 435, 175.00 FEET NORTH OF STATION 931+88.32; THENCE N88°58'21"W ON SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 212.32 FEET, TO A POINT BEING 175.00 FEET NORTH OF STATION 729+76.00; THENCE S88°45'19"W ON SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 630.55 FEET, TO A FOUND 1/2" REBAR, ALSO BEING 150.00 FEET NORTH OF STATION 924+50.00; THENCE N0°08'57"E, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, ON THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367, A DISTANCE OF 1233.92 FEET, TO THE POINT OF BEGINNING.

CONTAINING 26.82 ACRES- 1,168,062.44 SQ FEET AND BEING SUBJECT TO THAT PART IN ROAD RIGHT-OF-WAY IF ANY.

## Legend

- Proposed Building
- Concrete Sidewalk
- Proposed Asphalt Pavement
- Existing Tree Line
- Emergency Entrance Pending City Approval
- Property Boundary
- Proposed Right-of-Way
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Security Fence
- Proposed Water Line
- SWS Proposed Storm Sewer
- SAN Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant



VICINITY MAP  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33

**GBA**

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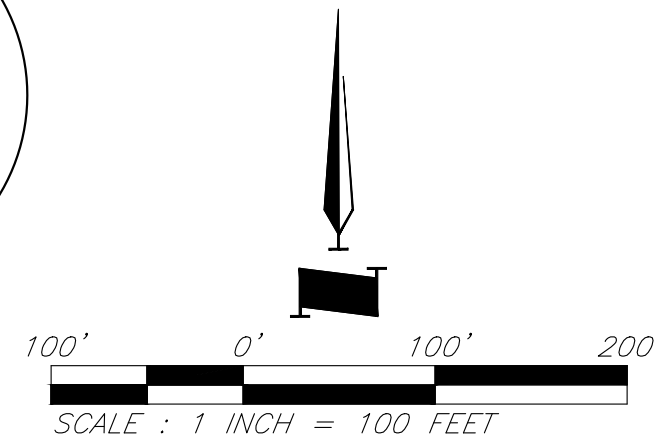
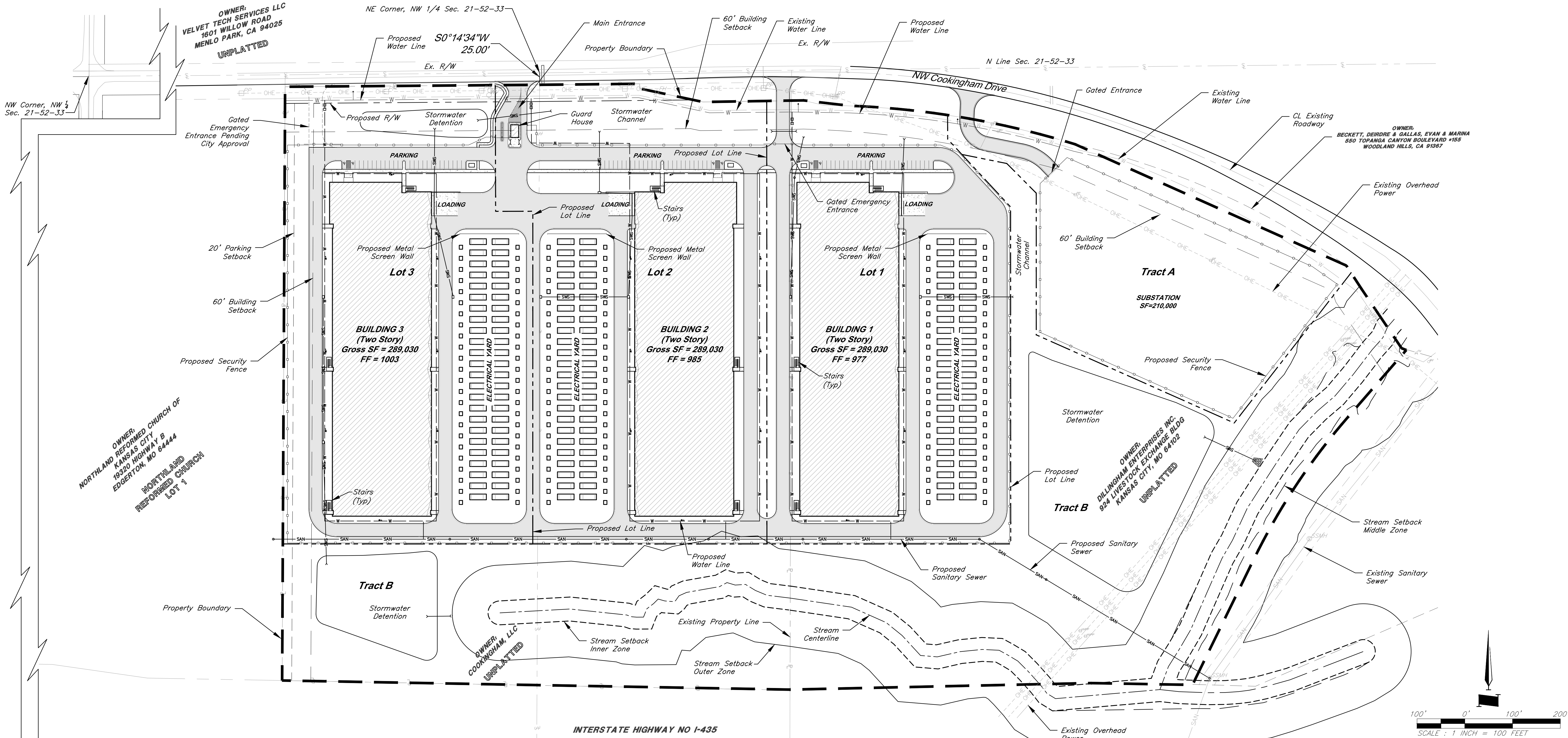
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DESIGN BY: CEL  
DRAWN BY: DRV/ELS  
PROJECT NO.: 15410.11

SHEET NUMBER  
**2**

Clint Loumaster  
Professional Engineer  
License No. PB-2011009651

M2-3 Rezoning - Pre. Development Plan & Pre. Plat  
**COOKINGHAM DEVELOPMENT**  
Kansas City, Missouri

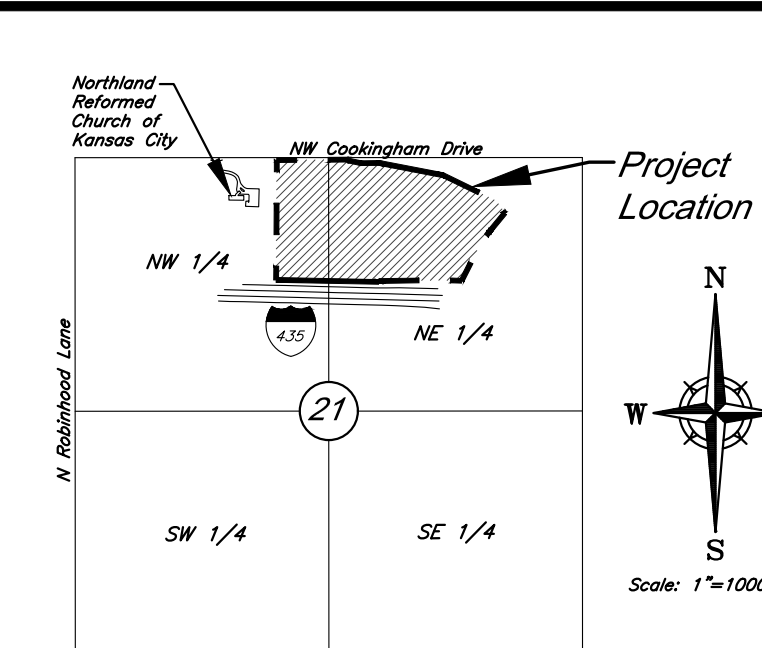
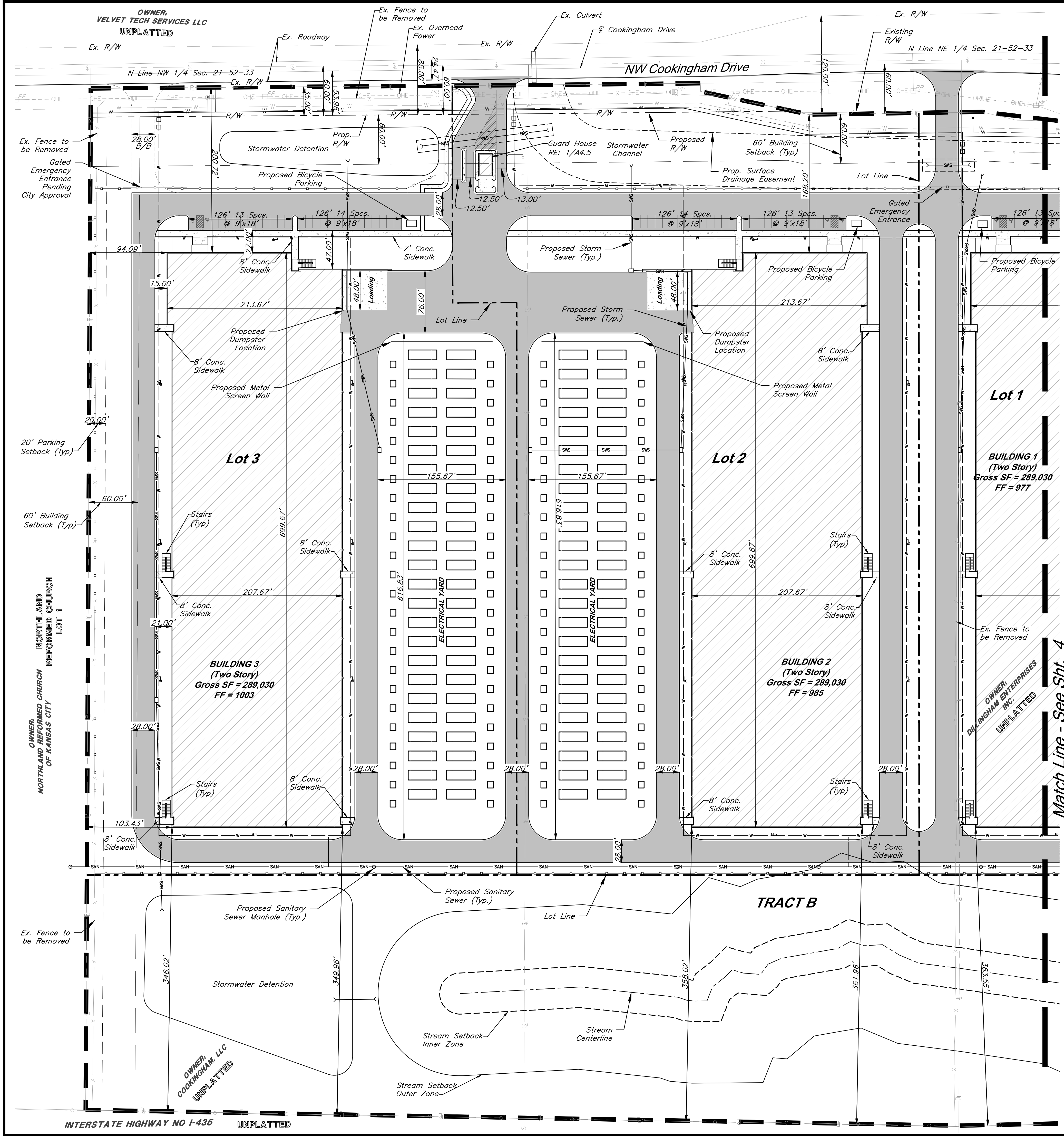
NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments	4/5/2024	ELS



General Layout



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DRAWN BY: DRV/ELS  
PROJECT NO.: 15410.11  
SHEET NUMBER  
**3**

Clint Loumaster  
Professional Engineer  
License No. PB-2011009651

M2-3 Rezoning - Pre. Development Plan & Pre. Plat  
**COOKINGHAM DEVELOPMENT**  
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments	4/5/2024	ELS

**Allowable Uses:**

The Uses allowed as of right under zoning district M-2 shall be permitted within this Preliminary Development Plan including, but not limited to: Utilities and Services, Building Maintenance Services, Business Equipment Sales and Service, Business Support Service, Parking (Accessory), Parking (Non-Accessory), Manufacturing, Production, and Industrial Service including: Artisan, Limited, General, Warehousing, Wholesaling, Storage, and Freight Movement including: Indoor, Outdoor, Wireless Communication Facility (Freestanding, Co-located Antenna), Communication Service Establishments, Office, Administrative, Professional, or General, and any and all related accessory uses thereto.

- General Notes:**
- All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass, and metal (when used in an incidental role). Specific materials which will be excluded include exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.
  - All signage will comply with Section 88-445 of the zoning and development code and will be reviewed at time of sign permit.
  - All rooftop mechanical equipment will be screened as required by 88-425-08 of the zoning and development code.
  - Each security gate shall be provided with a siren sensor (Yelp Gate) for Fire Department access.
  - Two way emergency radio communication system provided in accordance with NFPA 1221 and IFC Section 5. A minimum inbound/outbound -95db signal strength or as required by the authority having jurisdiction will be provided.
  - Proposed address for each facility is to be located in a highly visible and prominent location.
  - Facility will be secured by guards in two shifts, with overnight internal monitoring and CCTV cameras. Access gates to facility will be locked at night.

**SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS**

a) Existing Zoning: AG-R & M2-3  
Proposed Zoning: M2-3

Item	Lot 1		Lot 2		Lot 3		Tract A		Tract B		Total
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
b) Total Land Area (SFT)	449,865	449,865	484,658	484,658	479,404	479,404	218,275	218,275	861,148	861,148	2,493,350
Total Land Area (AC)	10.33	10.33	11.13	11.13	11.01	11.01	5.01	5.01	19.77	19.77	57.24
c) Land Area for Street ROW (SFT)	0	0	0	11,992	0	15,413	0	0	0	0	27,405
Land Area for Street ROW (AC)	0.00	0.00	0.00	0.28	0.00	0.35	0.00	0.00	0.00	0.00	0.63
d) Net Land Area (SFT)		449,865		472,666		463,991		218,275		861,148	2,465,945
Net Land Area (AC)		10.33		10.85		10.65		5.01		19.77	56.61
e) Building Use	AG-R	Communication Service Establishment	AG-R	Communication Service Establishment	AG-R	Communication Service Establishment					
f) Building Height Above Grade (FT)		44*		44*		44*					
# of Floors		2		2		2					
g) Gross Floor Area per Floor (SFT)		144,515		144,515		144,515					
Gross Floor Area per Lot (SFT)		289,030		289,030		289,030					867,090
h) Coverage (SFT)		144,515		144,515		144,515					433,545
Floor Area Ratio		0.642		0.611		0.623					0.352
i) NA											
	Required	Proposed	Required	Proposed	Required	Proposed					
j) Vehicle Parking Spaces	18	27	18	27	18	27					81
k) Bicycle Parking Spaces	7	7	7	7	7	7					21
l) NA											
m) NA											

\* A deviation is requested to allow building heights up to 70 feet on each of the proposed lots.

DEVELOPMENT STANDARDS	
88-425 - OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-415 Stream Buffers	
88-445 Signs	

**Legend**

Proposed Building

Concrete Sidewalk

Proposed Asphalt Pavement

Zone AE FEMA Floodplain

Property Boundary

Proposed Right-of-Way

Lot Line

60' Building Setback

20' Parking Setback

Proposed Security Fence

Proposed Water Line

Proposed Storm Sewer

Proposed Sanitary Sewer

Proposed Sanitary Manhole

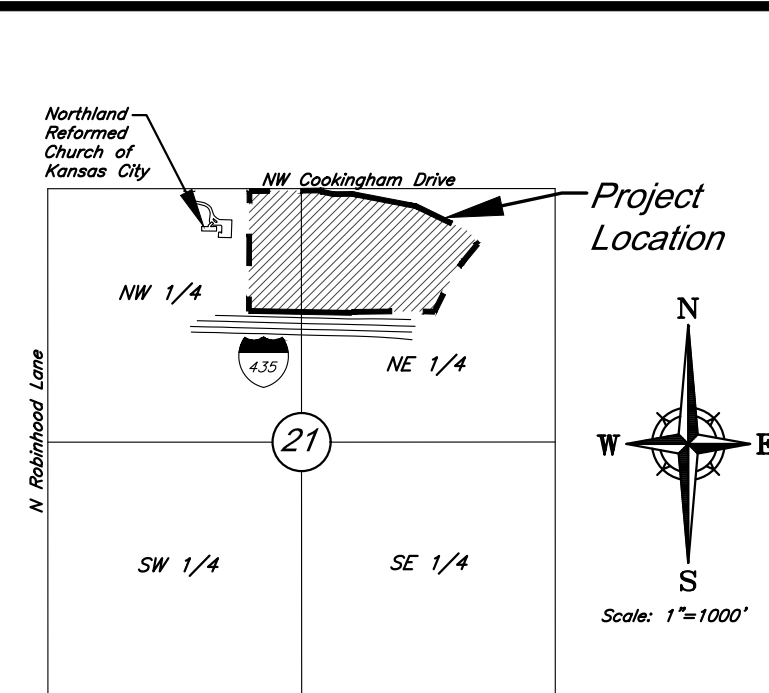
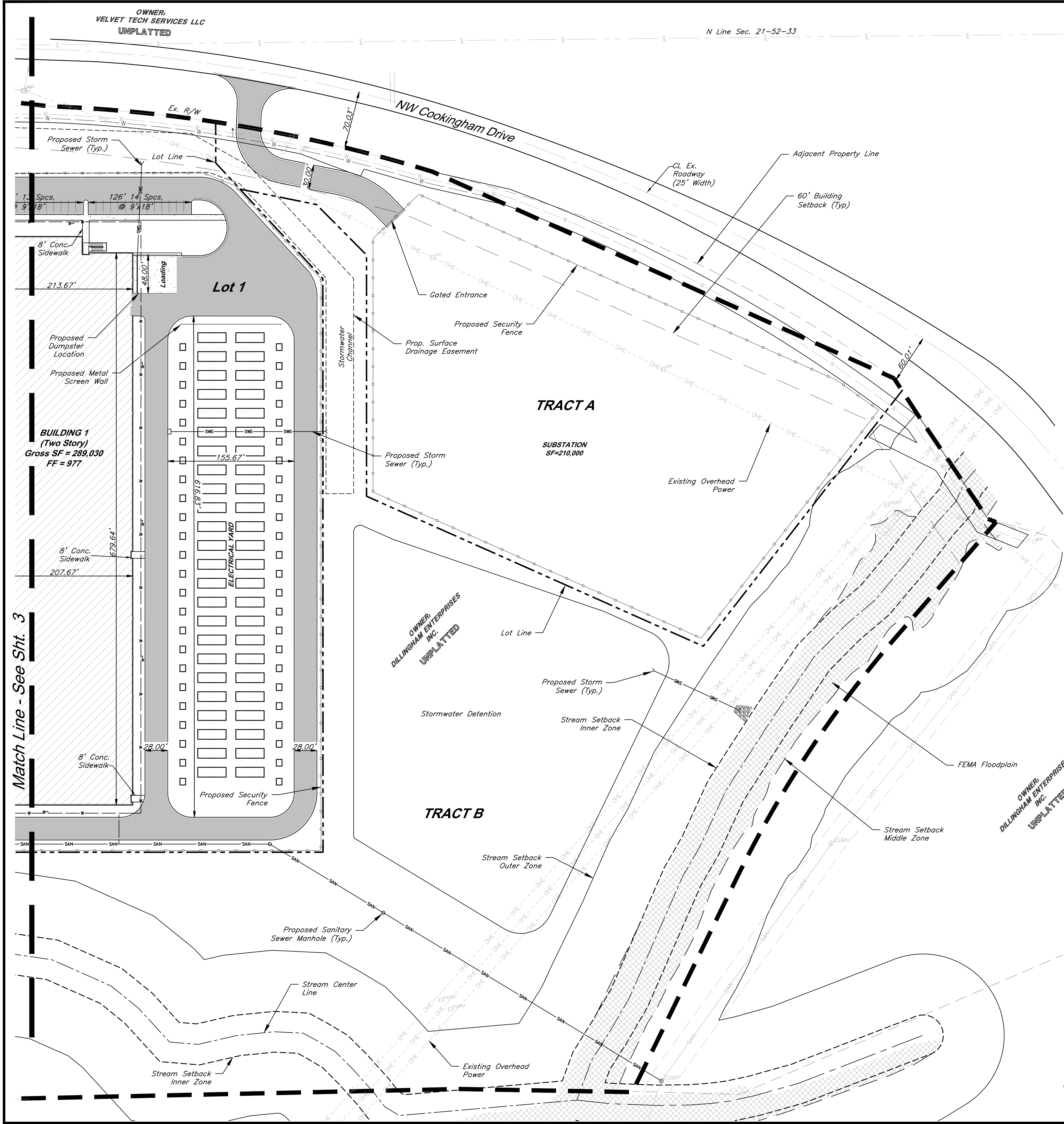
Proposed Storm Structure

Proposed Fire Hydrant

SCALE: 1 INCH = 60 FEET

**Site Plan**

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VICINITY MAP  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33

<div><div></div><div><b>GBA</b></div><div>9801 Renner Blvd., Ste. 300 Lenexa, KS 66219 913.492.0400 gbateam.com</div></div>		DATE: 3/15/2024		
		DESIGN BY: CEL		
		DRAWN BY: DRV/ELS		
		PROJECT NO.: 15410.11		
Clint Loumaster Professional Engineer License No. PB-2011009651		SHEET NUMBER <div>4</div>		
M2-3 Rezoning – Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri				
NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	

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Proposed Zoning: M2-3

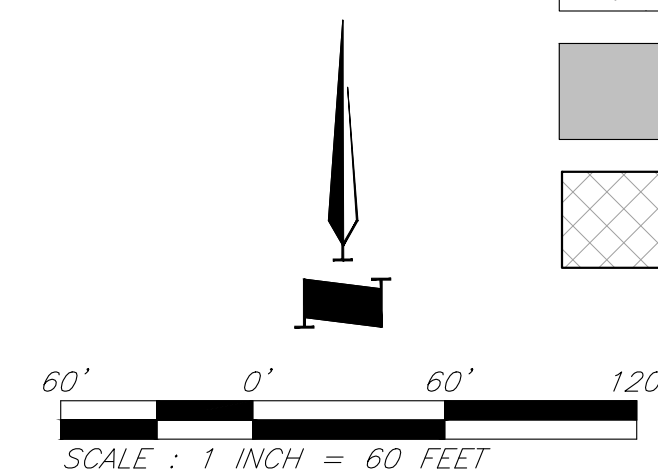
Item	Lot 1		Lot 2		Lot 3		Tract A		Tract B		Total
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
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# of Floors		2		2		2					
g) Gross Floor Area per Floor (SFT)		144,515		144,515		144,515					
Gross Floor Area per Lot (SFT)		289,030		289,030		289,030					867,090
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i) NA											
	Required	Proposed	Required	Proposed	Required	Proposed					
j) Vehicle Parking Spaces	18	27	18	27	18	27					81
k) Bicycle Parking Spaces	7	7	7	7	7	7					21
l) NA											
m) NA											

\* A deviation is requested to allow building heights up to 70 feet on each of the proposed lots.

DEVELOPMENT STANDARDS	
88-425 - OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-415 Stream Buffers	
88-445 Signs	

### Legend

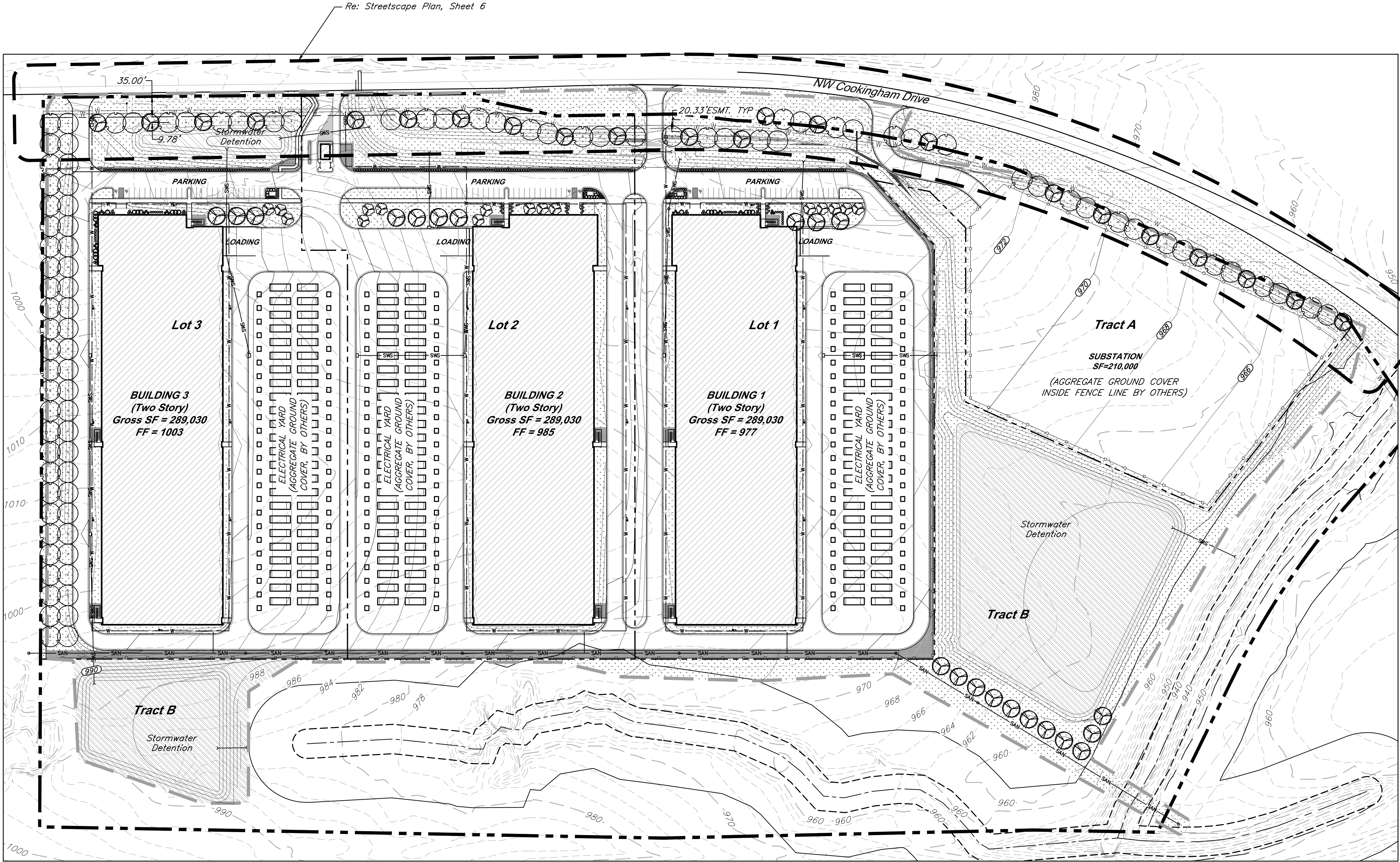
	Proposed Building		Property Boundary
	Concrete Sidewalk		Proposed Right-of-Way
	Proposed Asphalt Pavement		Lot Line
	Zone AE FEMA Floodplain		60' Building Setback
			20' Parking Setback
			Proposed Security Fence
			Proposed Water Line
			Proposed Storm Sewer
			Proposed Sanitary Sewer
			Proposed Sanitary Manhole
			Proposed Storm Structure
			Proposed Fire Hydrant



Site Plan



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LANDSCAPE REQUIREMENTS (Kansas City, Missouri)

ITEM(S)	REQUIRED	PROVIDED
STREET TREES (88-425-03-C)		
1 TREE PER 30' OF FRONTAGE COOKINGHAM DRIVE (2,561 L.F.)	2,561 L.F. / 30 = 85 TREES	67 TREES
PARKING LOT SCREENING (88-425-05-B)		
3' HT. CONT. EVERGREEN HEDGE	3' HT. CONT. EVERGREEN HEDGE AT PARKING	PROVIDED PER PLANS
INTERIOR PARKING LOT LANDSCAPE (88-425-06)		
TOTAL PROPOSED PARKING = 81 SPACES		
35 S.F. LANDSCAPE AREA PER 1 PARKING SPACE	LANDSCAPE AREA REQUIRED = 2,835 S.F.	5,332 S.F.
1 TREE PER 5 PARKING SPACES	TREES REQUIRED = 16	26 TREES
1 SHRUB PER PARKING SPACE	SHRUBS REQUIRED = 81	205 SHRUBS
GENERAL LANDSCAPE (88-425-04)		
1 TREE PER 5,000 S.F. OF BLDG. COVERAGE BUILDING COVERAGE = 433,386 S.F.	433,386 S.F. / 5,000 = 86.6 TREES	87 TREES PROVIDED
SCREENING OF MECH, UTIL, TRASH (88-425-08-A)		
DUMPSTERS, CONTAINERS, UTILITIES SCREENED FROM PUBLIC VIEW		DUMPSTERS AND TRASH WILL BE CONTAINED WITHIN BUILDING

INTERIOR PARKING LOT LANDSCAPE SCHEDULE (88-425-06)

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TREES					
	AS	10	Acer saccharum 'John Pair' / Fall Fiesta Maple	2.5" Cal.	B&B
	CO	16	Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud	2" Cal.	
SHRUBS					
	HK	27	Hypericum kalmianum 'Deppe' / Sunny Boulevard® St. Johnswort		
	JK	16	Juniperus chinensis 'Kallays Compact' / Kallay Juniper		
	JF	20	Juniperus chinensis 'Sea Green' / Sea Green Juniper		
	PV	110	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass		
	VN	32	Viburnum opulus 'Nanum' / Dwarf European Cranberrybush		

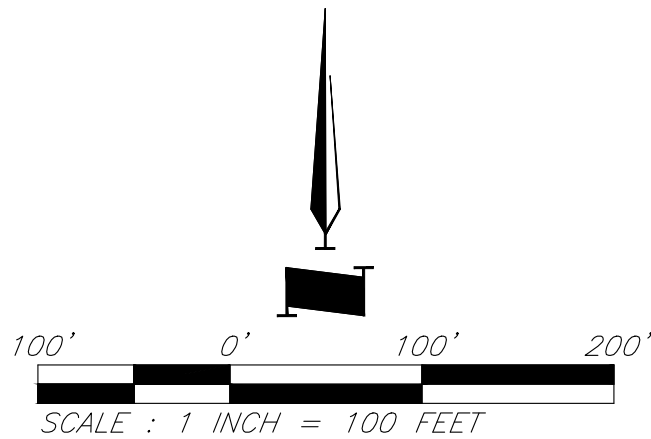
PARKING LOT SCREENING SCHEDULE (88-425-05-B)

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
SHRUBS			
	IS	130	Ilex glabra 'Shamrock' / Shamrock Holly
	JA	131	Juniperus x pfitzeriana 'Armstrongii' / Armstrong Pfitzer Juniper

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		DESIGN BY: CEL		
		DRAWN BY: DRV/ELS		
		PROJECT NO.: 15410.11		
		SHEET NUMBER		
		5		
Clint Loumaster Professional Engineer License No. PB-2011009651	M2-3 Rezoning – Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri			
NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	

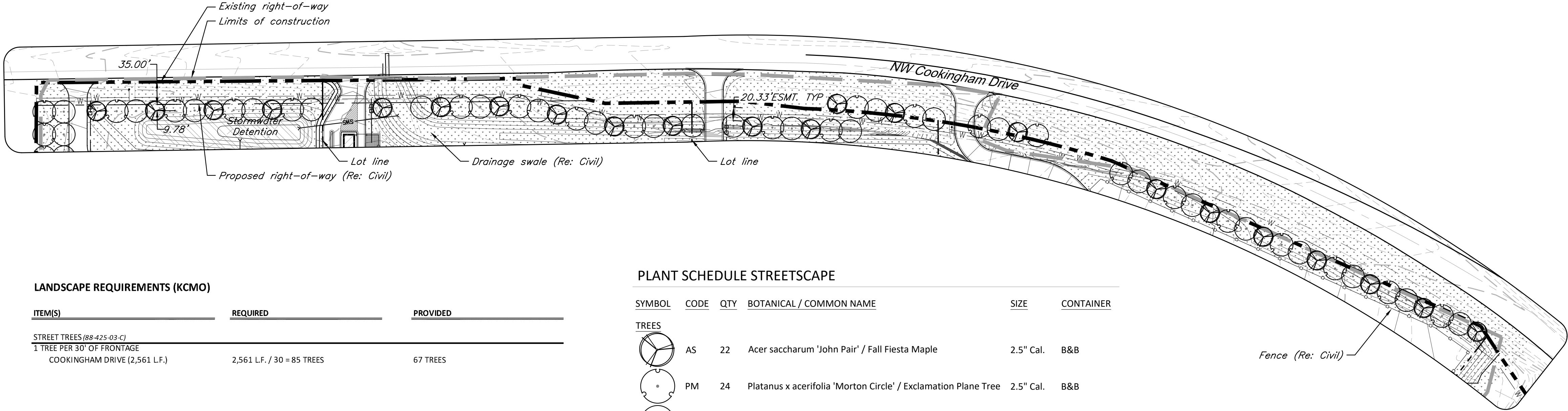
OVERALL PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
TREES			
	AS	43	Acer saccharum 'John Pair' / Fall Fiesta Maple
	CO	16	Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud
	PM	48	Platanus x acerifolia 'Morton Circle' / Exclamation Plane Tree
	QS	48	Quercus shumardii / Shumard Oak
SHRUBS			
	HK	27	Hypericum kalmianum 'Deppe' / Sunny Boulevard® St. Johnswort
	IS	130	Ilex glabra 'Shamrock' / Shamrock Holly
	JK	16	Juniperus chinensis 'Kallays Compact' / Kallay Juniper
	JF	20	Juniperus chinensis 'Sea Green' / Sea Green Juniper
	JA	131	Juniperus x pfitzeriana 'Armstrongii' / Armstrong Pfitzer Juniper
	PV	110	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
	VN	32	Viburnum opulus 'Nanum' / Dwarf European Cranberrybush
GROUND COVERS			
	DR	45,320 sf	Decorative Landscape Rock
	FG	544,345 sf	Festuca var.
	NM	211,375 sf	Native Mix Oval Sedge - Carex brevior Canada Wild Rye - Elymus canadensis Bottlebrush Sedge - Elymus hystx Tussock Sedge Common Rush Fox Sedge American Sweet Flag



Landscape Plan

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LANDSCAPE REQUIREMENTS (KCMO)

ITEM(S)	REQUIRED	PROVIDED
STREET TREES (88-425-03-C)		
1 TREE PER 30' OF FRONTAGE		
COOKINGHAM DRIVE (2,561 L.F.)	2,561 L.F. / 30 = 85 TREES	67 TREES

PLANT SCHEDULE STREETSCAPE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TREES					
	AS	22	Acer saccharum 'John Pair' / Fall Fiesta Maple	2.5" Cal.	B&B
	PM	24	Platanus x acerifolia 'Morton Circle' / Exclamation Plane Tree	2.5" Cal.	B&B
	QS	24	Quercus shumardii / Shumard Oak	2.5" Cal.	B&B

**GBA**

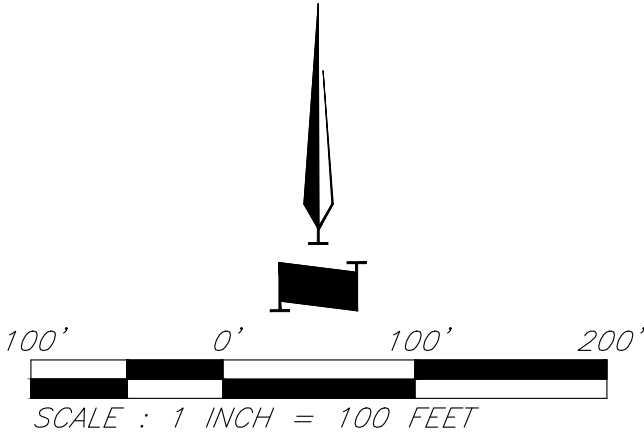
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Lenexa, KS 66219  
913.492.0400  
gbateam.com

DATE:	3/15/2024
DESIGN BY:	CEL
DRAWN BY:	DRV/ELS
PROJECT NO.:	15410.11

SHEET NUMBER

6

Clint Loumaster Professional Engineer License No. PB-2011009651		M2-3 Rezoning -- Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri	
NO.	DATE	REVISIONS	BY
1	4/19/24	City Comments 4/5/2024	ELS
			APPROVED



Street Tree Plan



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LANDSCAPE NOTES:

1. FIELD VERIFY UTILITIES SHOWN ON PLANS PRIOR TO WORK COMMENCEMENT. INFORMATION SHOWN ON PLAN IS FROM AVAILABLE INFORMATION AND ALL LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO UTILITIES MADE FROM CONSTRUCTION ACTIVITY. IMMEDIATELY NOTIFY PROJECT LANDSCAPE ARCHITECT AND ENGINEER IF DISCREPANCIES ARISE.
2. COMPLETE REQUIRED LANDSCAPING FOR THE ENTIRE SITE IN CONFORMANCE TO THE PLANS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO: SEEDED AREAS, SODDED AREAS, SHRUB BEDS, AND SITE CLEAN-UP.
3. VERIFY QUANTITIES PRIOR TO COMMENCING WORK. REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT. PLANT MATERIAL TO BE SPACED AS SHOWN, UNLESS OTHERWISE NOTED.
4. PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK (A.S.N.S.) LATEST EDITION PUBLISHED BY (ANLA) ANSI 260.1. THIS IS A REPRESENTATIVE GUIDELINE SPECIFICATION ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR THE PLANT MATERIAL.
5. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL, TYPE, SIZE AND/OR QUANTITY. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.S.N.S. VEGETATION SUBSTITUTIONS SHALL BE APPROVED BY PROJECT LANDSCAPE ARCHITECT. SUBSTITUTIONS MADE WITHOUT WRITTEN APPROVAL WILL BE REPLACED WITH APPROVED SELECTIONS AT CONTRACTOR'S COST.
6. DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITIES NOT IDENTIFIED ON THESE PLANS SHALL BE REPAIRED AND RESTORED TO ORIGINAL OR BETTER CONDITIONS AT CONTRACTOR'S COST. SOD WITH A TURF-TYPE TALL FESCUE BLEND SHALL BE PROVIDED FOR AREAS NOT DESIGNATED AS BEDS & PAVEMENT.
7. CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING. REFER TO SPECIFICATIONS FOR PLANT MATERIAL, SOILS, AND INSTALLATION METHODS.
8. INSTALL PLANT MATERIAL IN ACCORDANCE WITH A.S.N.S. STANDARDS.
9. INSTALL FINISHED GRADES OF SOD, LANDSCAPE BEDS, AND MULCH 1" BELOW ABUTTING PAVEMENT SURFACES TO ALLOW UNINHIBITED DRAINAGE TO NON-PAVEMENT SURFACES.
10. REMOVE ALL TWINE, WIRE, AND BURLAP FROM TREE AND SHRUB ROOT BALLS. REMOVE ALL PLASTIC WRAP, FABRIC ROPE, ROT PROOF WRAP, AND PLANT IDENTIFICATION TAGS.
11. TREES SHALL NOT BE PLANTED CLOSER THAN EIGHT HORIZONTAL FEET OF UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED OR PER PLANS. MODIFICATIONS TO TREE PLACEMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND CAN BE SUBJECT TO CITY REVIEW AND APPROVAL. CONTRACTOR IS RESPONSIBLE FOR UNAPPROVED RELOCATION(S) OR MODIFICATION(S) TO TREE LOCATIONS.
12. PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.

13. PLANT MATERIAL TO BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE. PLANT MATERIALS SHALL BE A ONE-TIME-REPLACEMENT AND RECORDS KEPT BY THE LANDSCAPE CONTRACTOR FOR ALL REPLACEMENTS.
14. PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION-TRUE TO TYPE, VARIETY, SIZE SPECIFIED, & FORM PER ANSI STANDARDS.
15. WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING ROUTINE UNTIL SUBSTANTIAL PROJECT COMPLETION. CONTRACTOR IS REQUIRED TO COORDINATE WATERING REQUIREMENTS TO THE OWNER THEREAFTER.
16. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
17. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.
18. THE LANDSCAPE CONTRACTOR SHALL TEST PROPOSED PLANTING AREAS FOR SOIL NUTRIENT DEFICIENCIES AND UNDESIRABLE SOIL TEXTURE AND STRUCTURE. BASED ON THE RESULTS OF THIS TESTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND INCORPORATE SOIL CONDITIONING MATERIALS (IE: FERTILIZER, SAND, COMPOST, ETC.) AS NECESSARY TO DEVELOP A PLANT GROWTH MEDIUM OF ADEQUATE FERTILITY, STRUCTURE, AND TEXTURE FOR THE ESTABLISHMENT OF LANDSCAPE MATERIALS. PEAT IS NOT ACCEPTABLE.
19. THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE ALL ROCK GREATER THAN 1-INCH AND ALL DEBRIS IN THE AREAS OF PROPOSED NEW PLANTINGS.
15. DAMAGED TURF AREAS ADJACENT TO PLANTING AREAS SHALL BE RESTORED AND SODDED TO MATCH EXISTING ADJACENT TOPOGRAPHY AND TURF TYPE.
16. PLANTING SCHEDULE:

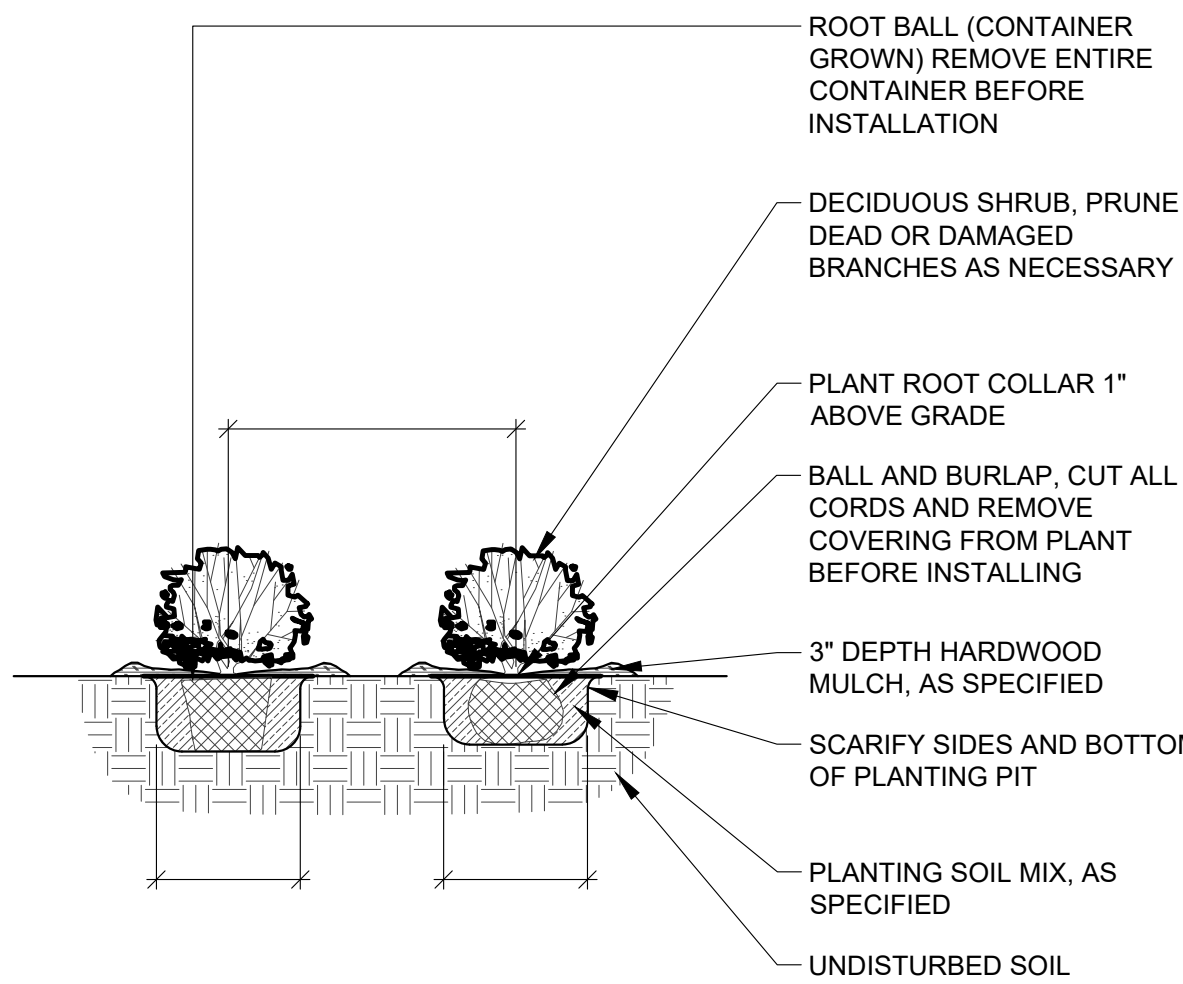
TREE PLANTING:	MARCH 15 - JUNE 15	OR	SEPTEMBER 15 - DECEMBER 31
SHRUB PLANTING:	APRIL 15 - JUNE 15	OR	AUGUST 15 - OCTOBER 15
SOD/SEED PLANTING:	MARCH 15 - JUNE 15	OR	SEPTEMBER 15 - DECEMBER 1
17. ALL PLANTING METHODS SHALL COMPLY WITH CITY OF KANSAS CITY, MO STANDARDS.

PLANTING BED INSTALLATION NOTES:

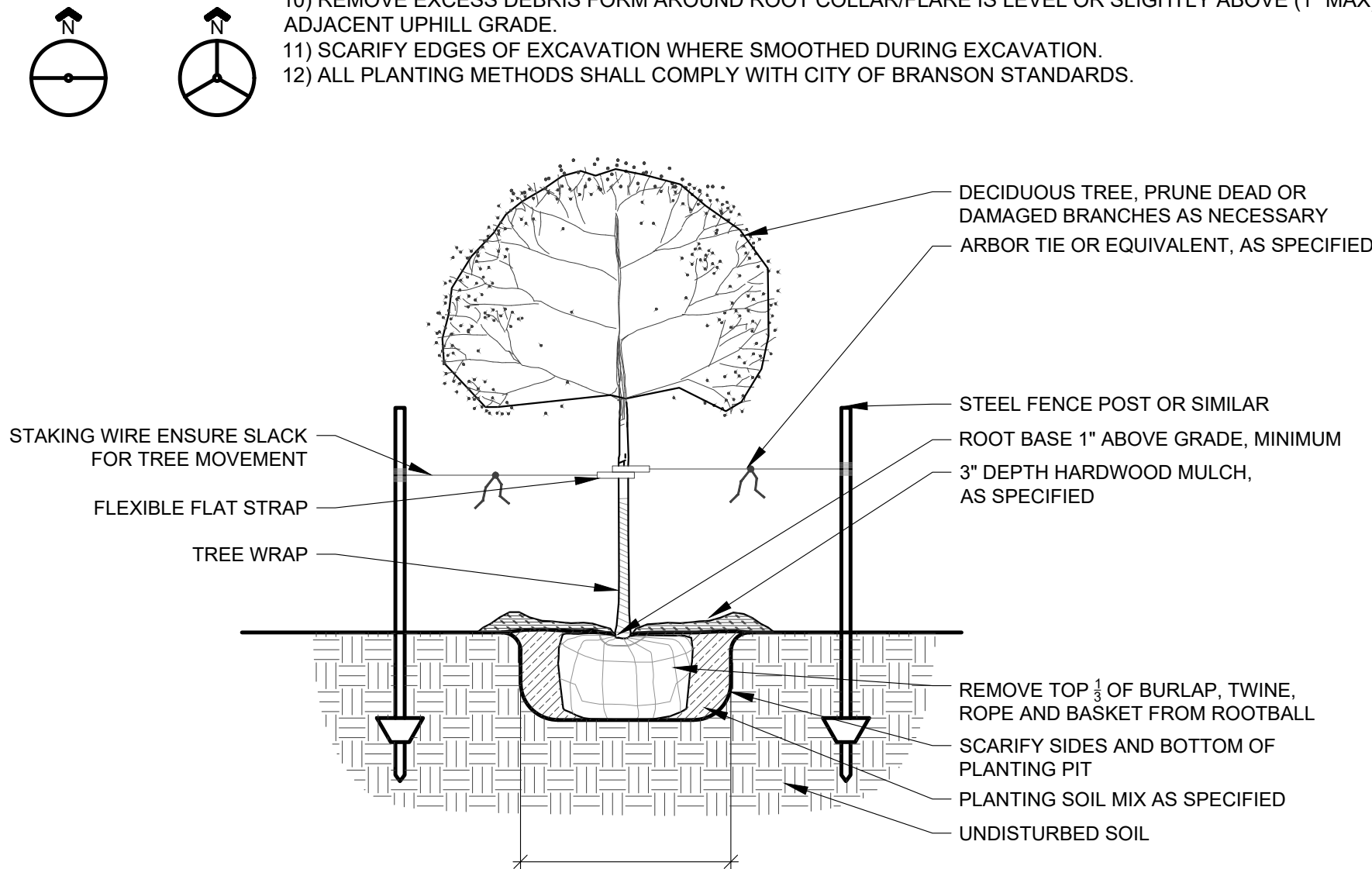
1. ALL PLANTATION BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF COTTON BOLL COMPOST PER 1000 SQUARE FEET. FILL COTTON BOLL INTO SOIL TO A 6" DEPTH. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2000 SQ. FT.
2. AFTER PLANTING HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH OR ROCK APPLICATION.
3. PLANT PIT BACKFILL FOR SHRUBS SHALL BE 25% COTTON BOLL COMPOST AND 25% TOP SOIL AND 50% EXISTING SOIL. TOP SOIL SHALL BE NATURAL FERTILE, FRIABLE SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE AREAS. SOIL SHALL NOT BE EXCESSIVELY ACID, ALKALINE OR TOXIC THAT MAY BE HARMFUL TO PLANT GROWTH. ALSO, FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS OR SUBSTANCE 2" OR MORE IN DIAMETER.
4. PLANTING TABLETS: INSTALL MANUFACTURER GRO-POWER, INC. PRODUCT: GROWPOWER TABLETS, SIZE: 7-GRAM TABLETS, RATE: 1 TABLETS PER 1-GALLON CONTAINER AND 4 TABLETS PER 3-GALLON CONTAINER AND 7 TABLETS PER 5-GALLON CONTAINER.
5. PLANTED BED EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FOLLOWING CURVES. SUDDEN CURVES OR SHARP ANGLE SHOULD BE AVOIDED.

TREE NOTES:

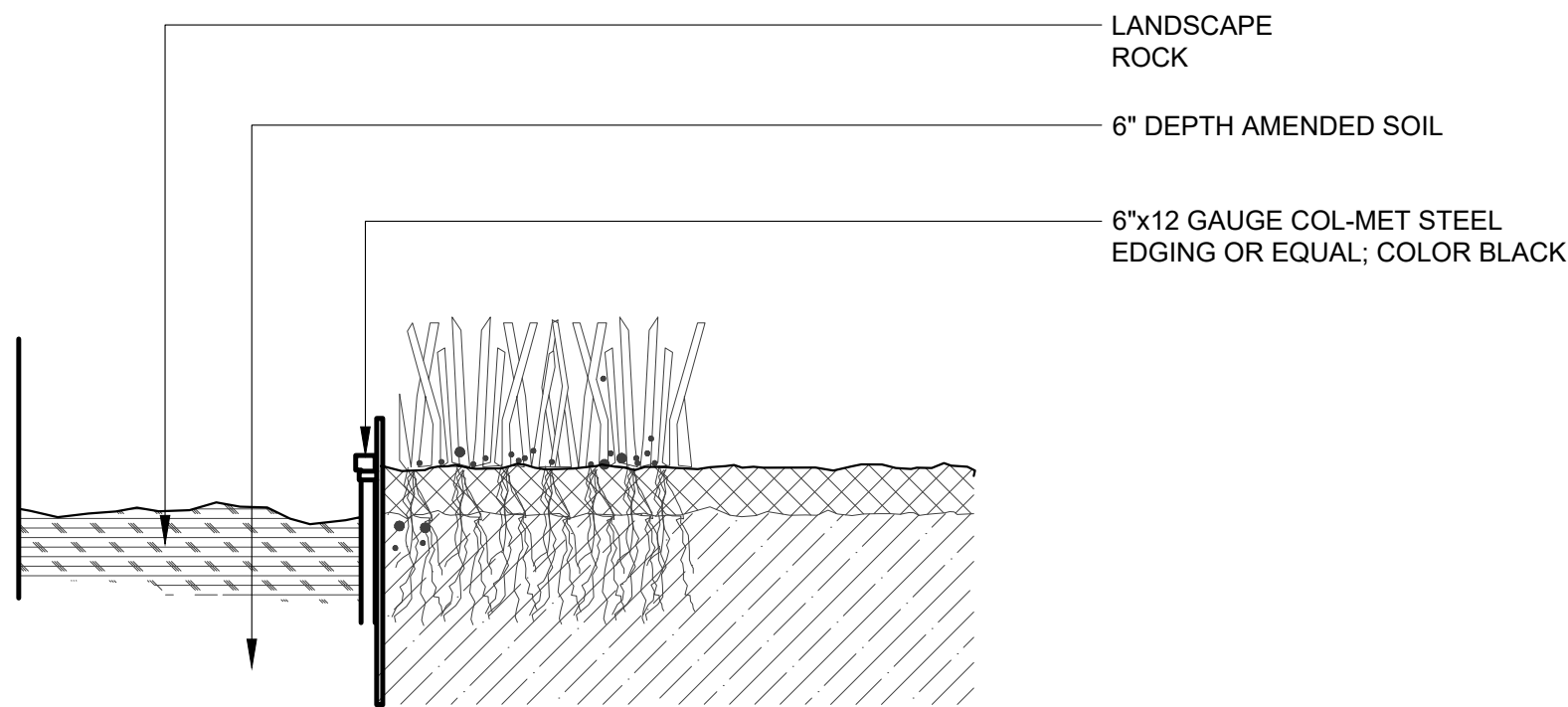
- 1) EXCAVATE A PIT WHICH IS AT LEAST TWICE THE DIAMETER OF THE ROOTBALL AND THE SAME DEPTH-NO DEEPER. HANDLE THE TREE BY THE ROOT BALL, NOT THE TRUNK. BE SURE THE ROOT BALL RESTS ON SOLID GROUND.
- 2) BACKFILL WITH PLANTING SOIL.
- 3) SATURATE THE ENTIRE BACKFILL SOIL WITH WATER. ADD MORE SOIL IF NEEDED TO COMPENSATE FOR SETTLING.
- 4) MULCH: COVER SMOOTHED SOIL WITH 2 INCHES OF MULCH. LEAVE GAP NEAR THE TRUNK. KEEP MULCH WEEDED. REPLACE AS NEEDED.
- 5) PRUNE ONLY BROKEN OR BADLY DEFORMED BRANCHES TO RETAIN SHAPE OF THE SPECIES. PRUNE OUT SECONDARY AND COMPETING GROWTH. DO NOT SHEAR. DO NOT CUT LEADER. BEGIN A REGULAR PRUNING PROGRAM THE SECOND YEAR AFTER PLANTING.
- 6) CHAFING GUARDS: REMOVE GUARDS AS SOON AS THE TREE CAN STAND ALONE ABOUT 3 MONTHS OR LONGER IF NEEDED.
- 7) DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- 8) DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING. CRACKED OR OTHERWISE DAMAGED ROOT BALLS SHALL BE REJECTED.
- 9) WATER THOROUGHLY FOLLOWING PLANTING.
- 10) REMOVE EXCESS DEBRIS FORM AROUND ROOT COLLAR/FLARE IS LEVEL OR SLIGHTLY ABOVE (1" MAX) ADJACENT UPHILL GRADE.
- 11) SCARIFY EDGES OF EXCAVATION WHERE SMOOTHED DURING EXCAVATION.
- 12) ALL PLANTING METHODS SHALL COMPLY WITH CITY OF BRANSON STANDARDS.



1 SHRUB AND PERENNIAL PLANTING  
1/2" = 1'-0"  
329333.01-04



2 DECIDUOUS TREE PLANTING  
1/2" = 1'-0"  
329343.01-03



3 METAL EDGING  
3" = 1'-0"

**GBA**

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Lenexa, KS 66219  
913.492.0400  
gbateam.com

DATE: 3/15/2024  
DESIGN BY: CEL  
DRAWN BY: DRV/ELS  
PROJECT NO.: 15410.11

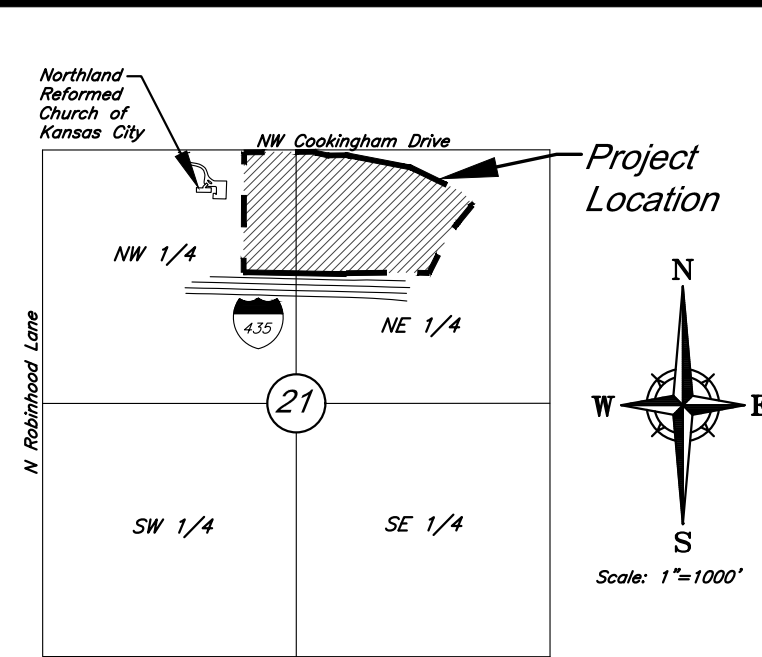
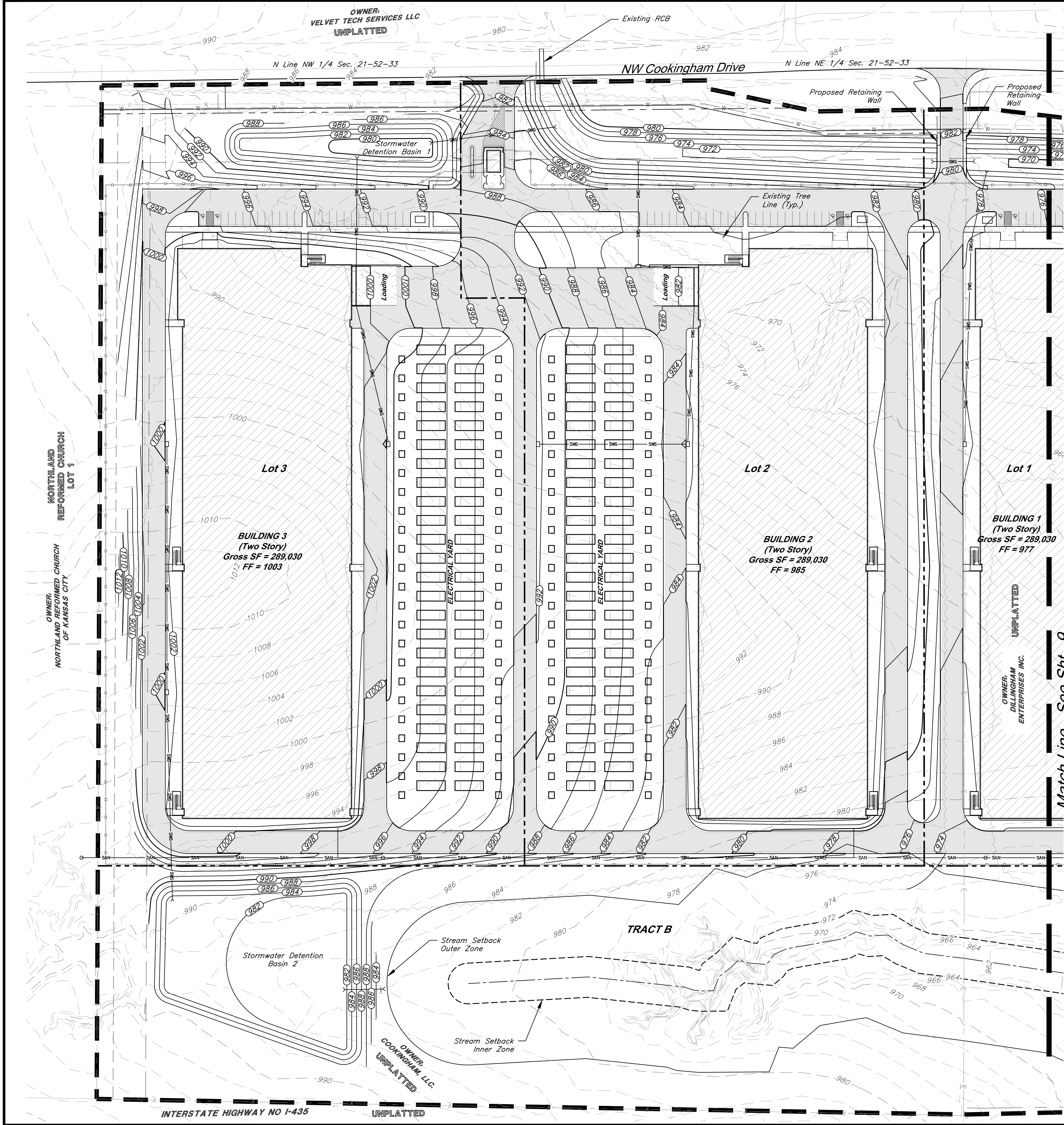
SHEET NUMBER  
**7**

Clint Loumaster  
Professional Engineer  
License No. PB-2011009651

M2-3 Rezoning - Pre. Development Plan & Pre. Plat  
**COOKINGHAM DEVELOPMENT**  
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	

C:\15410.1\Civil 3D\Production Drawings\Rezoning & Preliminary Development Plans\15410.1\02700.dwg Layout: 8 Grading Plan -- Friday, April 19, 2024, 1:49pm -- Copyright 2024, George Butler Associates, Inc. Architect 20212, Professional Engineer 000133, Professional Land Surveyor 000259



VICINITY MAP  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33

**GBA**

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gbateam.com

DATE: 3/15/2024

DESIGN BY: CEL

DRAWN BY: DRV/ELS

PROJECT NO.: 15410.11

SHEET NUMBER

8

Clint Loumaster  
Professional Engineer  
License No. PB-2011009651

M2-3 Rezoning - Pre. Development Plan & Pre. Plat  
**COOKINGHAM DEVELOPMENT**  
Kansas City, Missouri

NO. DATE

1 4/19/24

REVISIONS  
City Comments 4/5/2024

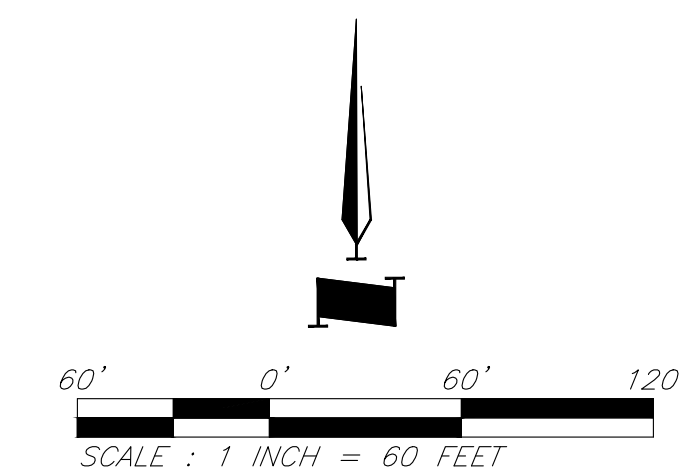
BY APPROVED  
ELS

### Legend

- Proposed Building
- Concrete Sidewalk
- Proposed Asphalt Pavement
- Property Boundary
- Proposed Right-of-Way
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Security Fence
- Proposed Water Line
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant
- Proposed Contours
- Existing Contour Major
- Existing Contour Minor
- Existing Tree Line
- TW Top of Wall
- BW Base of Wall

### Grading Notes:

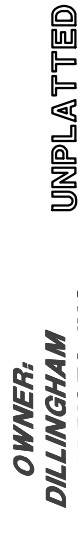
- Proposed grading shall comply with ADA requirements.
- Grading within water easement shall maintain 60" minimum cover over existing 24" transmission main. Proposed grading within easement shall be approved by KC Water prior to commencement.



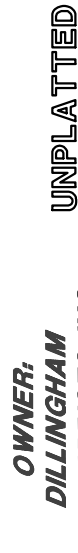
Grading Plan



**OWNER:  
DILLINGHAM**



**OWNER:  
DILLINGHAM**



**OWNER:  
DILLINGHAM**

**OWNER:  
DILLINGHAM**

**OWNER:  
DILLINGHAM**

- OWNER:  
DILLINGHAM**

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DILLINGHAM**

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DILLINGHAM**

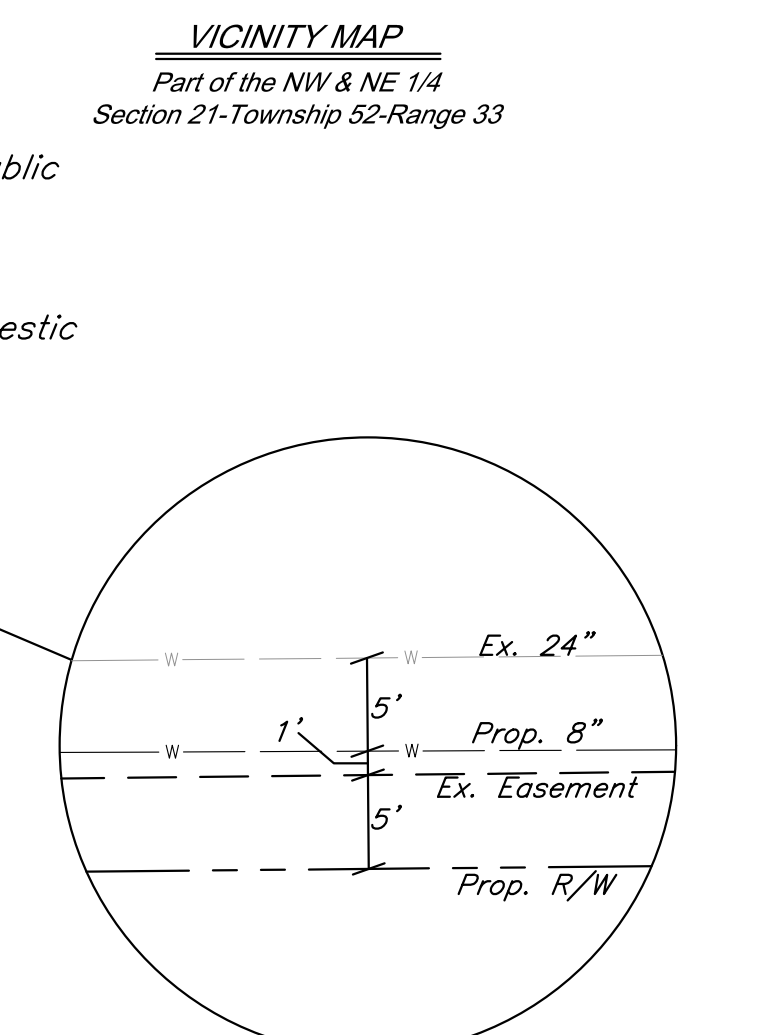
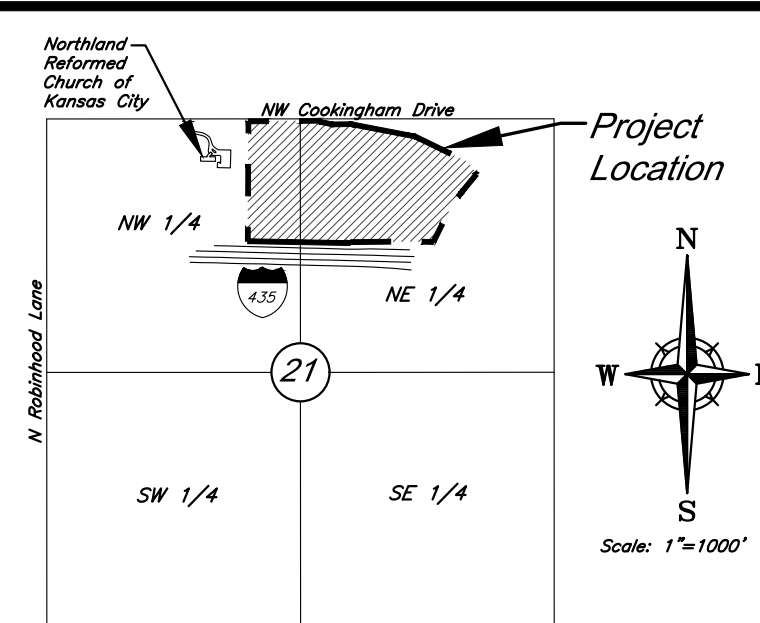
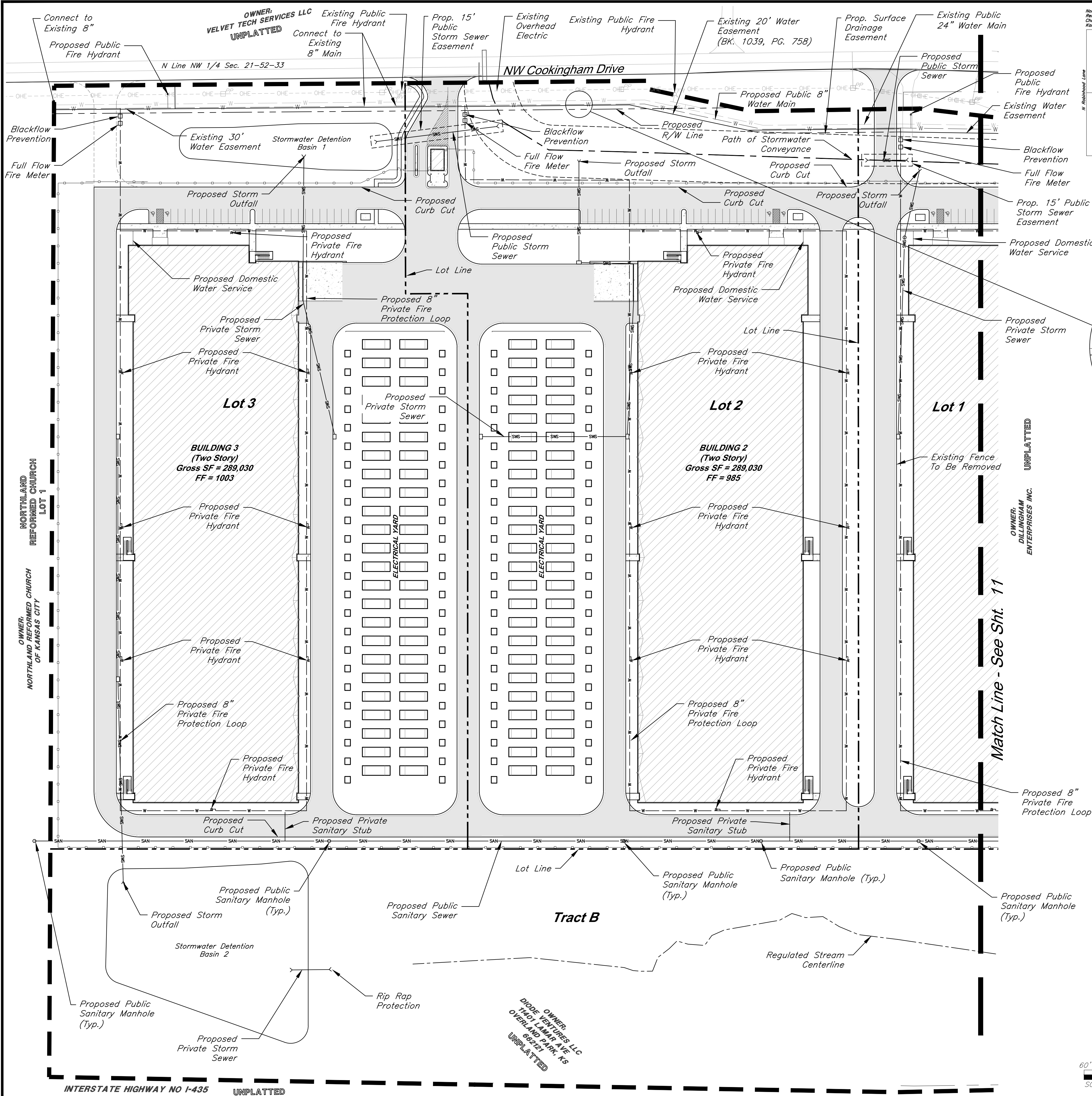
**OWNER:  
DILLINGHAM**

**OWNER:  
DILLINGHAM**

**OWNER:  
DILLINGHAM**



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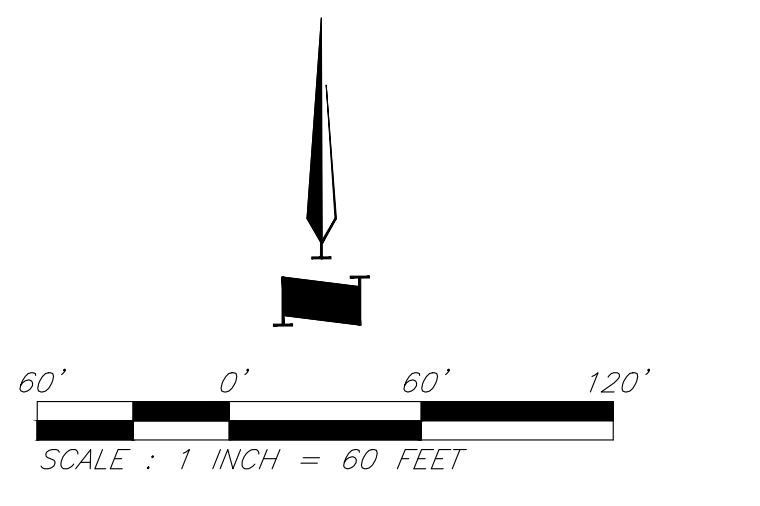
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DESIGN BY: CEL  
DRAWN BY: DRV/ELS  
PROJECT NO.: 15410.11  
SHEET NUMBER  
**10**

Clint Loumaster Professional Engineer License No. PB-2011009651		M2-3 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri	
NO.	DATE	REVISIONS	BY
1	4/19/24	City Comments	4/5/2024
			EL

**Legend**

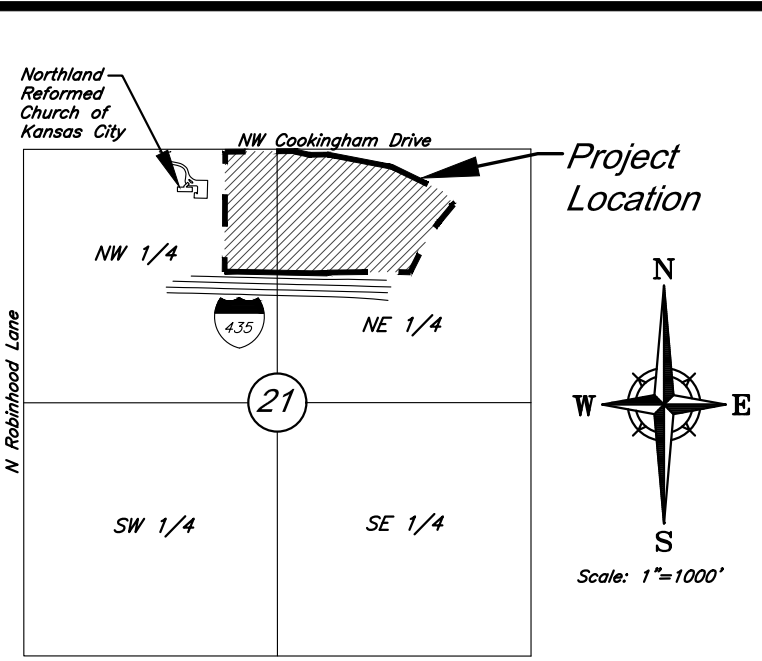
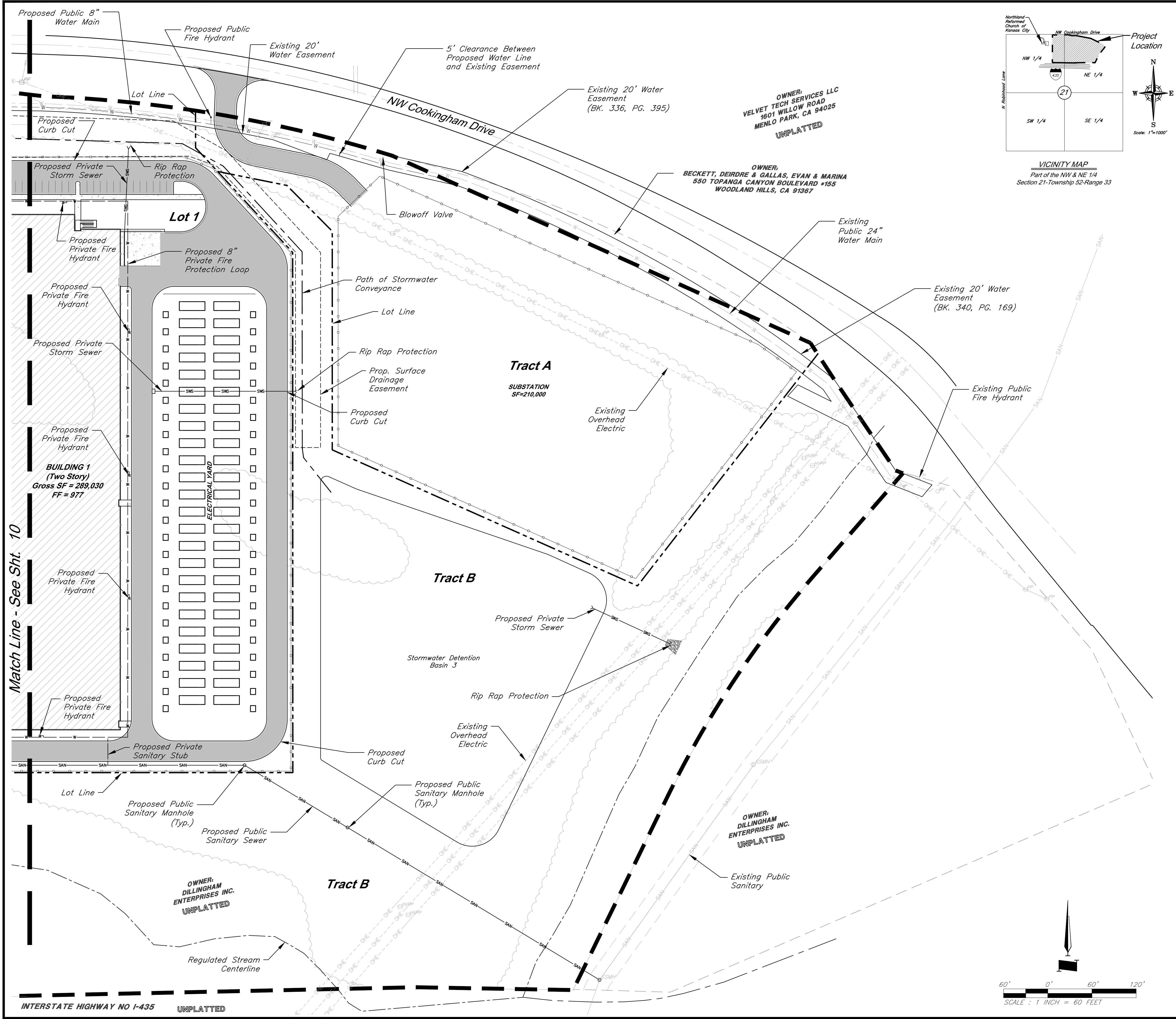
- Property Boundary
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- Proposed Water Line
- SWS Proposed Storm Sewer
- SAN Proposed Sanitary Sewer
- Proposed Drainage Easement
- Path of Stormwater Conveyance
- Proposed Building
- Concrete Sidewalk
- Proposed Asphalt Pavement
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant

- General Notes:**
- Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site.
  - The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018.
  - Required fire department access roads shall be all weather surfaces.
  - Security gates which span across a fire access road shall provide a means for emergency operation.
  - Required fire department access roads shall be designed to support a fire apparatus with a gross axle weight of 85,000 pounds.
  - All access roads must be completed within the first phase of construction.
  - Public sanitary sewer easements will be located in future work.
  - Public fire hydrants shall meet maximum 300' spacing along Cookingham Drive.



Utility Plan

C:\15410.11\Civil 3D\Production Drawings\Re zoning & Preliminary Development Plans\15410.11\02000.dwg Layout: 11 Utility Plan --- Friday April 19, 2024, 1:49pm --- Copyright 2024, George Buller Associates, Inc. Architect 20212, Professional Engineer 000133, Professional Land Surveyor 000259



VICINITY MAP  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33

**GBA**

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DATE:	3/15/2024
DESIGN BY:	CEL
DRAWN BY:	DRV/ELS
PROJECT NO.:	15410.11
SHEET NUMBER	
<b>11</b>	

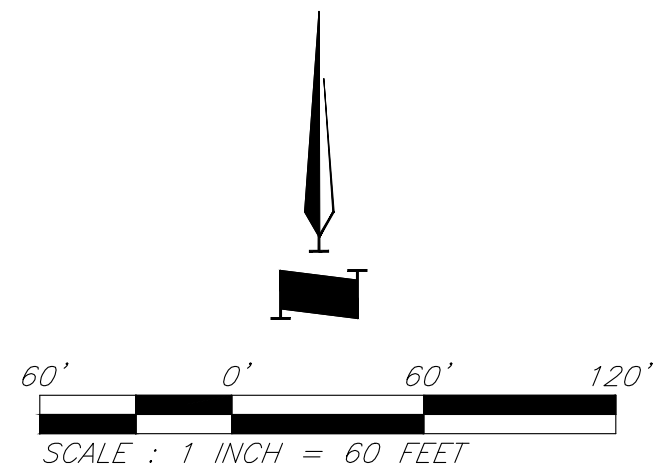
Clint Loumaster Professional Engineer License No. PB-2011009651		M2-3 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri	
NO.	DATE	REVISIONS	BY
1	4/19/24	City Comments	4/5/2024
			ELC

**Legend**

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**Utility Plan**



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General Notes:

1. No mitigation shall be required if contiguous tree canopy cover is less than one acre.

Tree Removal & Preservation Data Table	
Total Tree Acres on Property	21.25
Total Acres to be Removed	9.43
Total Acres to be Preserved	11.83
Total Acres of Undisturbed Stream Buffer	8.68
Total Acres of Canopy within Buffer	8.93

Planting Summary	
Tree Size (IN)	Quantity
2	16
2.5	139
Total Caliper Inch	379.5

Mitigation Rate Calculation (88-424-07)	
Step 1	9.43 AC
Step 2	0.74 AC
Step 3	0.26 AC
Step 4	39.08 IN
Step 5	-340.42 IN

No further mitigation is required.

Proposed Building

Concrete Sidewalk

Proposed Asphalt Pavement

Trees Removed

Trees Preserved

Existing Tree Line

Property Boundary

Proposed Right-of-Way

Lot Line

Proposed Security Fence

Proposed Water Line

Proposed Storm Sewer

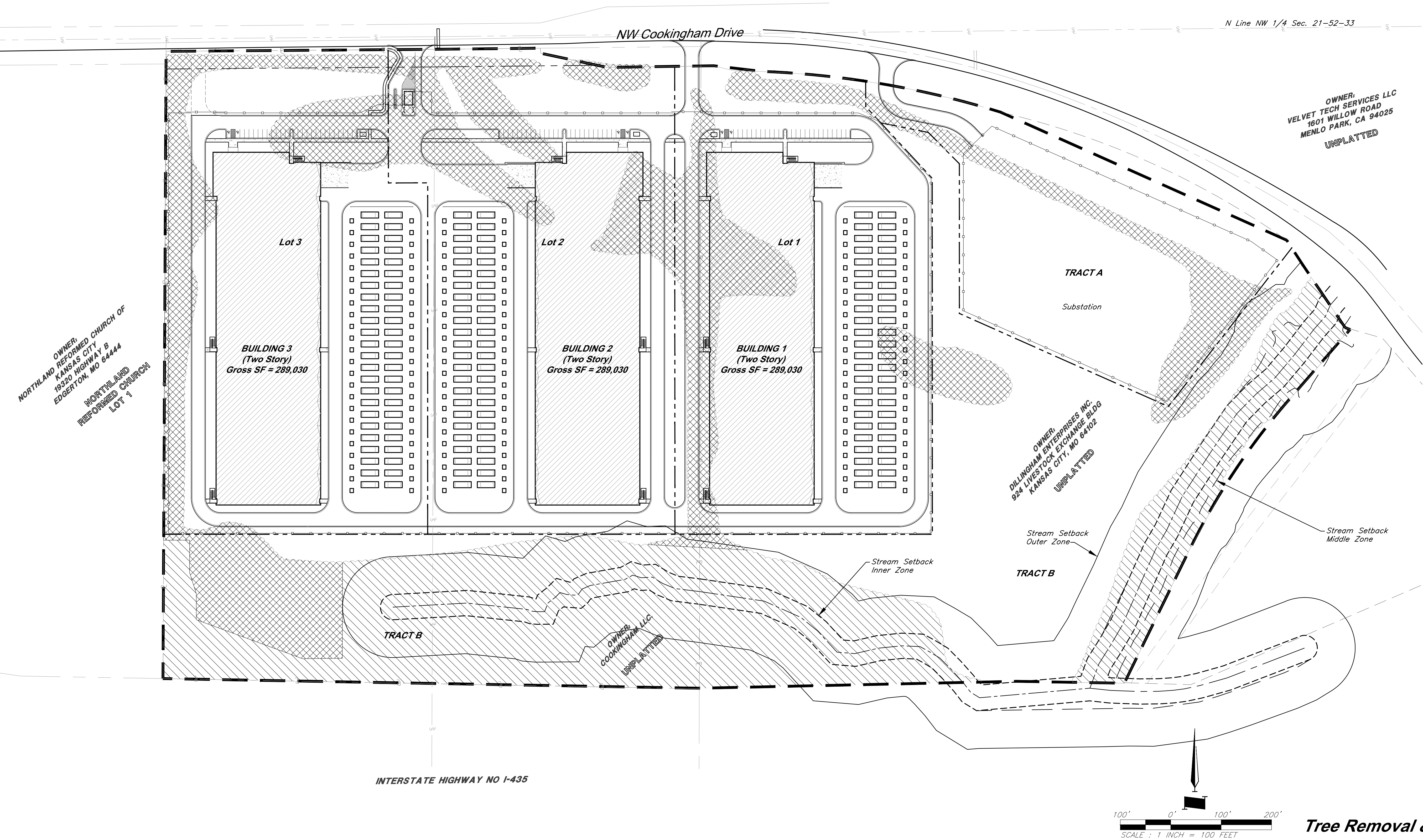
Proposed Sanitary Sewer

Proposed Sanitary Manhole

Proposed Storm Structure

Proposed Fire Hydrant

VICINITY MAP  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33



Tree Removal & Tree Preservation Plan

PRELIMINARY PLAT FOR  
COOKINGHAM DEVELOPMENT

Legend

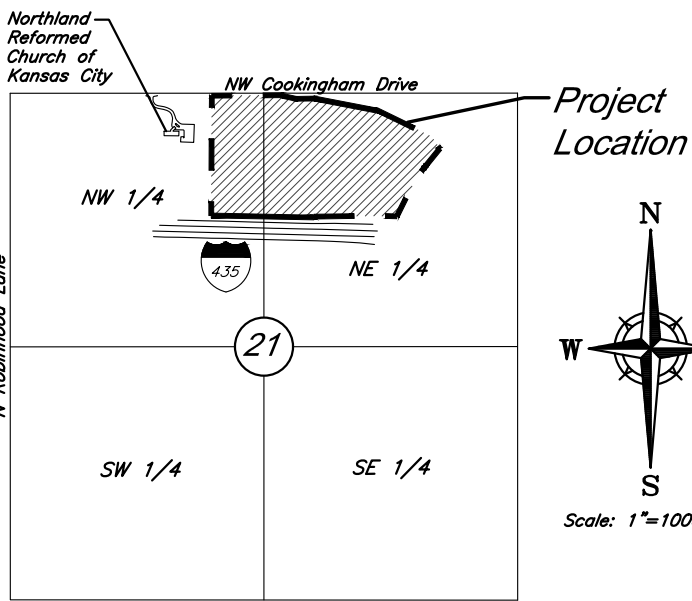
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- Proposed Fire Hydrant
- Existing Tree Line

SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS

a) Existing Zoning: AG-R & M2-3  
Proposed Zoning: M2-3

Item	Lot 1		Lot 2		Lot 3		Tract A		Tract B		Total
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
b) Total Land Area (SFT)	449,865	449,865	484,658	484,658	479,404	479,404	218,275	218,275	861,148	861,148	2,493,350
Total Land Area (AC)	10.33	10.33	11.13	11.13	11.01	11.01	5.01	5.01	19.77	19.77	57.24
c) Land Area for Street ROW (SFT)	0	0	0	11,992	0	15,413	0	0	0	0	27,405
Land Area for Street ROW (AC)	0.00	0.00	0.00	0.28	0.00	0.35	0.00	0.00	0.00	0.00	0.63
d) Net Land Area (SFT)	449,865		472,666		463,991		218,275		861,148		2,465,945
Net Land Area (AC)	10.33		10.85		10.65		5.01		19.77		56.61

Area to be Rezoned to M2-3



LEGAL DESCRIPTION

ALL THAT PART OF THE EAST 32 ACRES OF THE NORTHWEST 1/4 TOGETHER WITH THAT PART OF THE WEST 32.29 ACRES OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO. 291 AND NORTHERLY OF INTERSTATE HIGHWAY NO. 435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

\*COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON THE NORTH LINE OF SAID NORTHWEST 1/4, 2644.88 FEET TO AN AXLE AT THE APPARENT NORTHEAST CORNER OF SAID NORTHWEST 1/4; THENCE S0° 14' 35" W ON THE EAST LINE OF SAID NORTHWEST 1/4, 25.00 FEET TO THE \*\*POINT OF BEGINNING ON THE SOUTH RIGHT-OF-WAY LINE OF COOKINGHAM DRIVE; THENCE N89° 24' 05" E ON SAID SOUTH RIGHT-OF-WAY LINE, 209.70 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF MISSOURI HIGHWAY ROUTE 291; THENCE S0° 47' 11" E ON SAID SOUTH RIGHT-OF-WAY LINE, 9.53 FEET TO A POINT 30.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 665+00; THENCE S77° 57' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 135.17 FEET TO A POINT 60.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 664+10 BACK = 663+68.2 AHEAD; THENCE N89° 12' 49" E ON SAID SOUTH RIGHT-OF-WAY LINE, 185.61 FEET TO THE EAST LINE OF SAID WEST 32.29 ACRES; THENCE S0° 09' 10" W ON SAID EAST LINE, 1233.67 FEET TO THE NORTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY ROUTE 435; THENCE N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.74 FEET TO THE EAST LINE OF SAID NORTHWEST 1/4; THENCE CONTINUING N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.24 FEET TO THE WEST LINE OF SAID EAST 32 ACRES; THENCE N0° 08' 21" E ON SAID EAST LINE, 1243.85 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID COOKINGHAM DRIVE, BEING 25.00 FEET SOUTH FROM AS MEASURED PERPENDICULAR TO, THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 531.49 FEET TO THE POINT OF BEGINNING.

AND

ALL THAT PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO. 291 AND NORTHERLY OF INTERSTATE HIGHWAY NO. 435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

\*\*\*COMMENCING AT THE NORTH CORNER OF SAID SECTION 21; THENCE N89° 24' 10" E ON THE NORTH LINE OF SAID SECTION 21, A DISTANCE OF 527.78 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367; THENCE S00° 08' 57" W ON SAID EXTENDED LINE, A DISTANCE OF 63.48 FEET TO A POINT 1/2" REBAR, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY ROUTE 291, \*\*\*\*THE POINT OF BEGINNING; THENCE N89° 13' 23" E, ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 25.52 FEET, TO A POINT BEING 60 FEET SOUTH OF ROUTE NO. 291 CENTERLINE STATION 661+98.40; THENCE S83° 17' 47" E ON SAID SOUTH LINE, A DISTANCE OF 95.57 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 661+00.00, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE; THENCE ON SAID CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT OF N87° 49' 27" W, A RADIUS OF 1839.86, THROUGH A CENTRAL ANGLE OF 10° 00' 03", AND AN ARC LENGTH OF 321.63 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 657+66.62, AND THE MOST WESTERLY CORNER OF WARRANTY DEED #0903 BOOK 559 PG 708; THENCE S41° 01' 39" W, DEPARTING SAID RIGHT-OF-WAY LINE, ON SAID WEST LINE, A DISTANCE OF 185.49 FEET TO A POINT OF CURVATURE; THENCE ON SAID CURVE TO THE LEFT, AND ON SAID WEST LINE, HAVING A RADIUS OF 1367.39 FEET, THROUGH A CENTRAL ANGLE OF 15° 00' 00", AN ARC LENGTH OF 357.98 FEET, TO A POINT OF TANGENCY; THENCE S26° 01' 39" W ON SAID WEST LINE, A DISTANCE OF 293.70 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY NO. 435, 175.00 FEET NORTH OF STATION 931+88.32; THENCE N88° 58' 21" W ON SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 212.32 FEET, TO A POINT BEING 175.00 FEET NORTH OF STATION 924+76.00; THENCE S88° 45' 19" W ON SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 630.55 FEET, TO A FOUND 1/2" REBAR, ALSO BEING 150.00 FEET NORTH OF STATION 924+50.00; THENCE N00° 08' 57" E, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, ON THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367, A DISTANCE OF 1233.92 FEET, TO THE POINT OF BEGINNING.

CONTAINING 26.82 ACRES - 1,168,062.44 SQ FEET AND BEING SUBJECT TO THAT PART IN ROAD RIGHT-OF-WAY IF ANY.

PREPARED BY:  
GEORGE BUTLER ASSOCIATES, INC.  
9801 RENNER BOULEVARD  
LENEXA, KANSAS 66219  
PHONE: 913-492-0400  
CONTACT: CLINT LOUMASTER P.E.  
EMAIL: cloumaster@gbateam.com

\*Point of Commencing  
NW Corner, NW 1/4  
Section 21-52-33

\*\*Point of Commencing  
NE Corner, NW 1/4  
Section 21-52-33

OWNER:  
VELVET TECH SERVICES LLC  
1601 WILLOW ROAD  
MENLO PARK, CA 94025  
UNPLATTED

VICINITY MAP  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33

OWNER:  
NORTHLAND REFORMED CHURCH OF  
KANSAS CITY  
19320 HIGHWAY B  
EDGEMONT, MO 64444  
NORTHLAND  
REFORMED CHURCH  
LOT 1

OWNER:  
DALLAS EVAN & MARINA  
WOODLAND HILLS, CA 91367  
UNPLATTED

OWNER:  
DILLINGHAM ENTERPRISES INC.  
924 LIVES DOCK EXCHANGE BLDG  
KANSAS CITY, MO 64102  
UNPLATTED

100' 0' 100' 200'  
SCALE: 1 INCH = 100 FEET

Preliminary Plat



# STREAM BUFFER PLAN

**GBA**

9801 Renner Blvd., Ste. 300  
Lenexa, KS 66219  
913.492.0400  
gbateam.com

DATE: 3/15/2024

DESIGN BY: CEL

DRAWN BY: DRV/ELS

PROJECT NO.: 15410.11

SHEET NUMBER

**14**

Clint Loumaster  
Professional Engineer  
License No. PB-2011009651

M2-3 Rezoning - Pre. Development Plan & Pre. Plat  
**COOKINGHAM DEVELOPMENT**  
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	



## VICINITY MAP

Not to Scale

KCMO Regulated Stream within Property Boundary:  
Length = 2426 FT

## Stream Buffer Area

Total Stream Buffer Area within project area	9.81 AC
Total Streamside Zone	2.50 AC
Total Middle Zone	0.57 AC
Total Outer Zone	6.74 AC
Mature Vegetation/Steep Slopes in Outer Zone	4.85 AC
Proposed Stream-Side Impact	0.02 AC (0.80%)
Proposed Middle Zone Impact	0.007 AC (1.23%)
Proposed Outer Zone Impact	0.41 AC (6.08%)
Required Stream-Side Zone Mitigation (4:1)	0.08 AC
Required Middle Zone Mitigation (4:1)	0.03 AC
Required Outer Zone Mitigation (1.5:1)	0.62 AC
Total Required Mitigation	0.73 AC
Provided Mitigation	0.84 AC

## Legend

	Existing Contour
	Proposed Contour
	Property Line
	Limits of Disturbance
	Regulated Stream Channel
	Stream Buffer Limits of Streamside Zone
	Stream Buffer Limits of Middle Zone
	Stream Buffer Limits of Outer Zone

Proposed Asphalt Pavement

Trees Removed Existing Tree Line

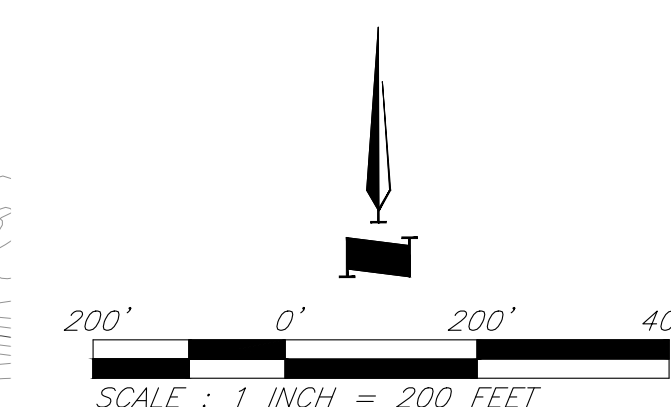
Trees Preservation Streamside Zone

Stream Buffer Impact Middle Zone

Proposed Mitigation

## Slope Map Legend

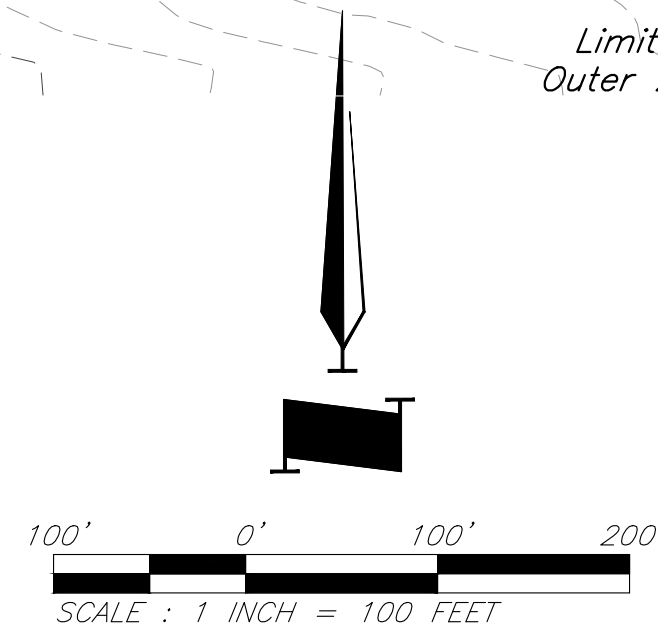
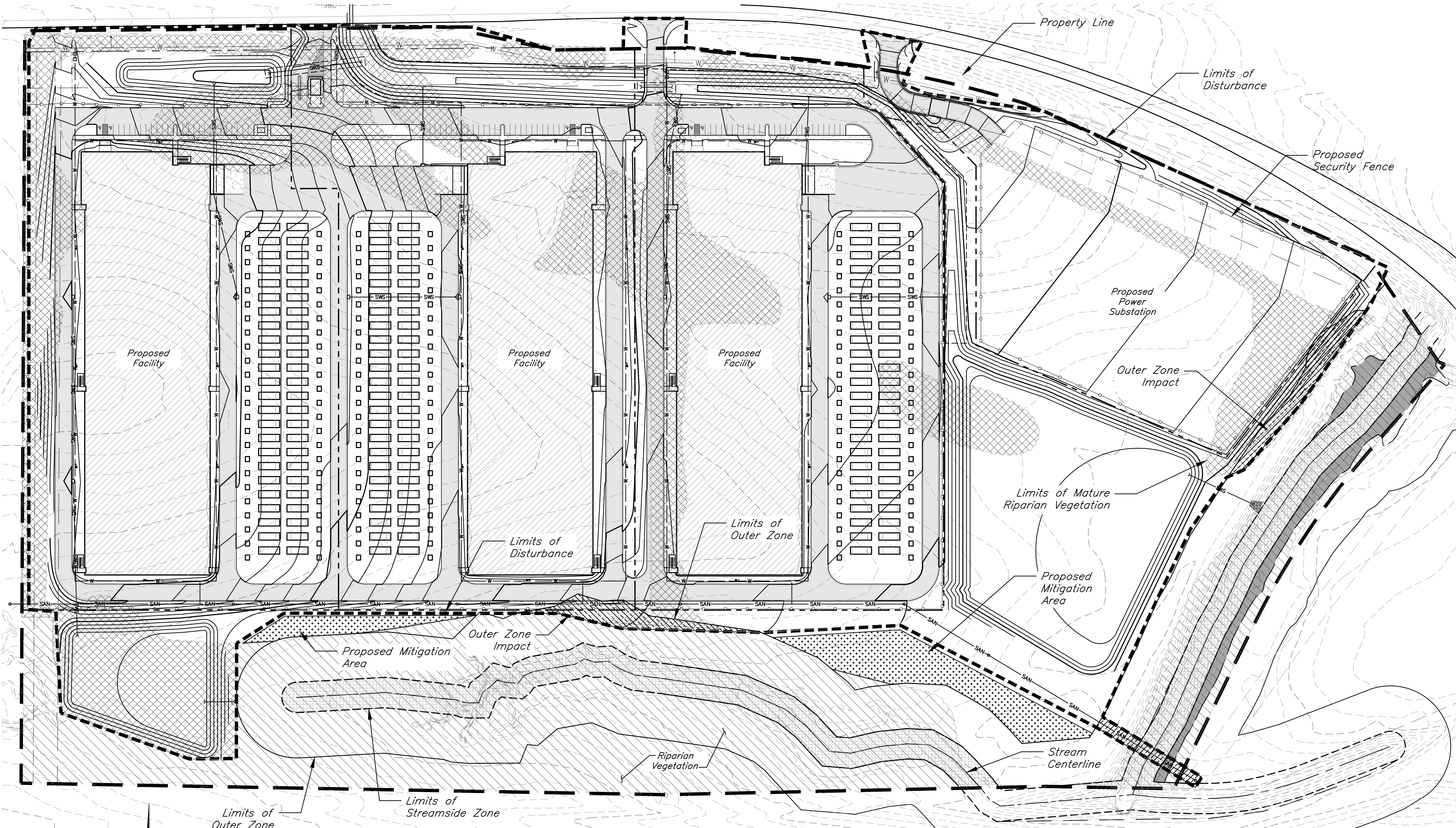
	0%-15%
	15% or Greater



SCALE : 1 INCH = 200 FEET

## General Notes:

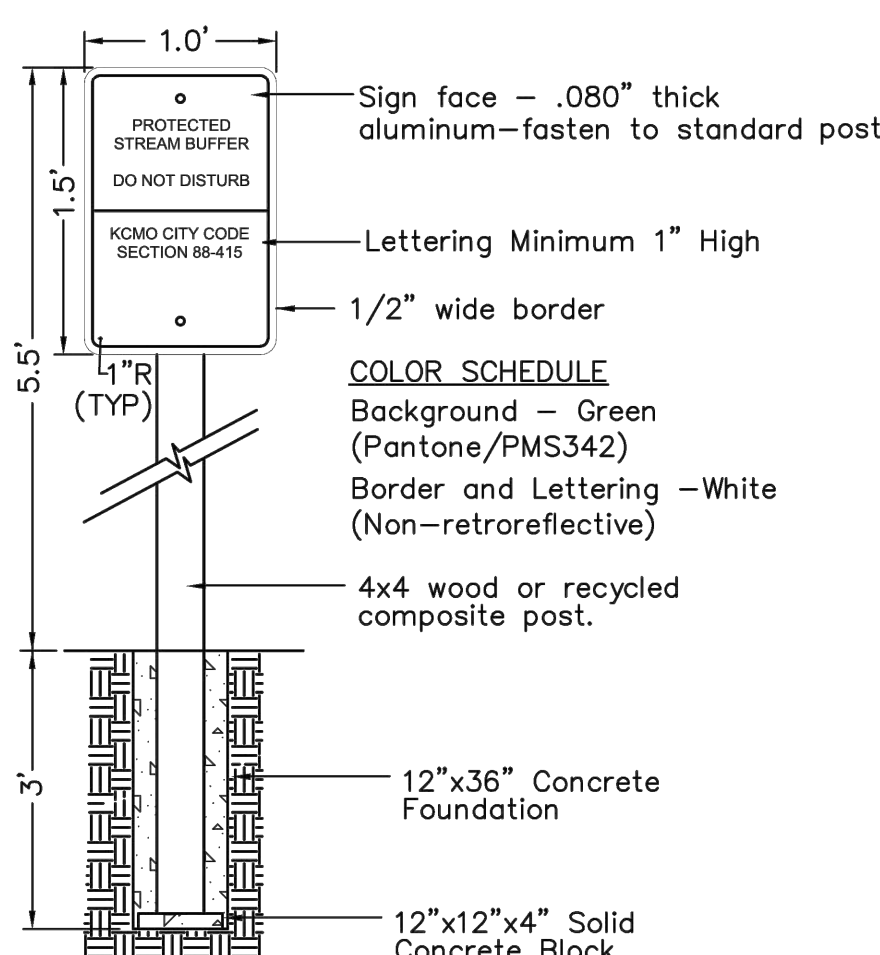
- Stream Buffer Signs shall be installed along project boundary at change in bearing and spaced no more than every 100 feet.
- According to the Flood Insurance Rate Maps (FIRMs) for the city of Kansas City, Missouri (29095C0061G, dated January 20th, 2017), the site is situated mainly within Zone X, areas determined to be outside the 0.2% annual chance floodplain. A channel on the site contains Zone AE, special flood hazard areas.
- The project is located in the First Creek Watershed.



SCALE : 1 INCH = 100 FEET

PREPARED FOR:  
GBA REALTY LLC  
9801 RENNER BOULEVARD  
LENEXA, KANSAS 66219  
PHONE: 816-876-3893  
CONTACT: GRAHAM JONES  
EMAIL: gjones@gbabuilders.com

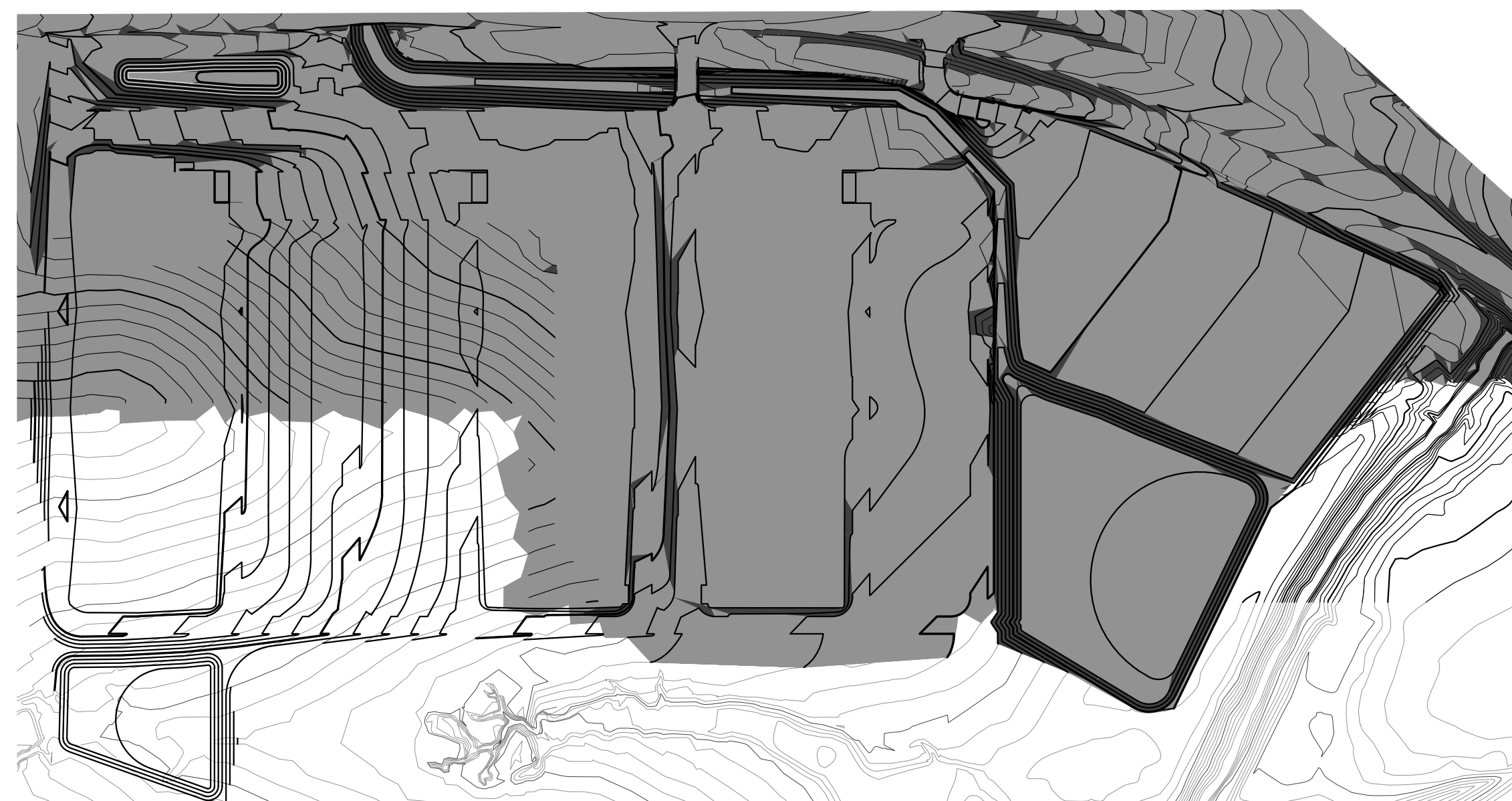
PREPARED BY:  
GEORGE BUTLER ASSOCIATES, INC.  
9801 RENNER BOULEVARD  
LENEXA, KANSAS 66219  
PHONE: 913-492-0400  
CONTACT: CLINT LOUMASTER P.E.  
EMAIL: cloumaster@gbateam.com



## STREAM BUFFER SIGN DETAIL

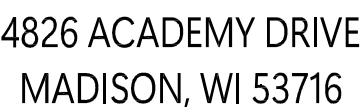
Not to Scale

**NOTE:**  
Contractor shall submit a shop drawing for approval prior to construction. Submission shall include a sample representing the noted color schedule.



## SLOPE MAP





JOB #

COOKINGHAM  
DEVELOPMENT  
KANSAS CITY, MISSOURI

## REVISIONS





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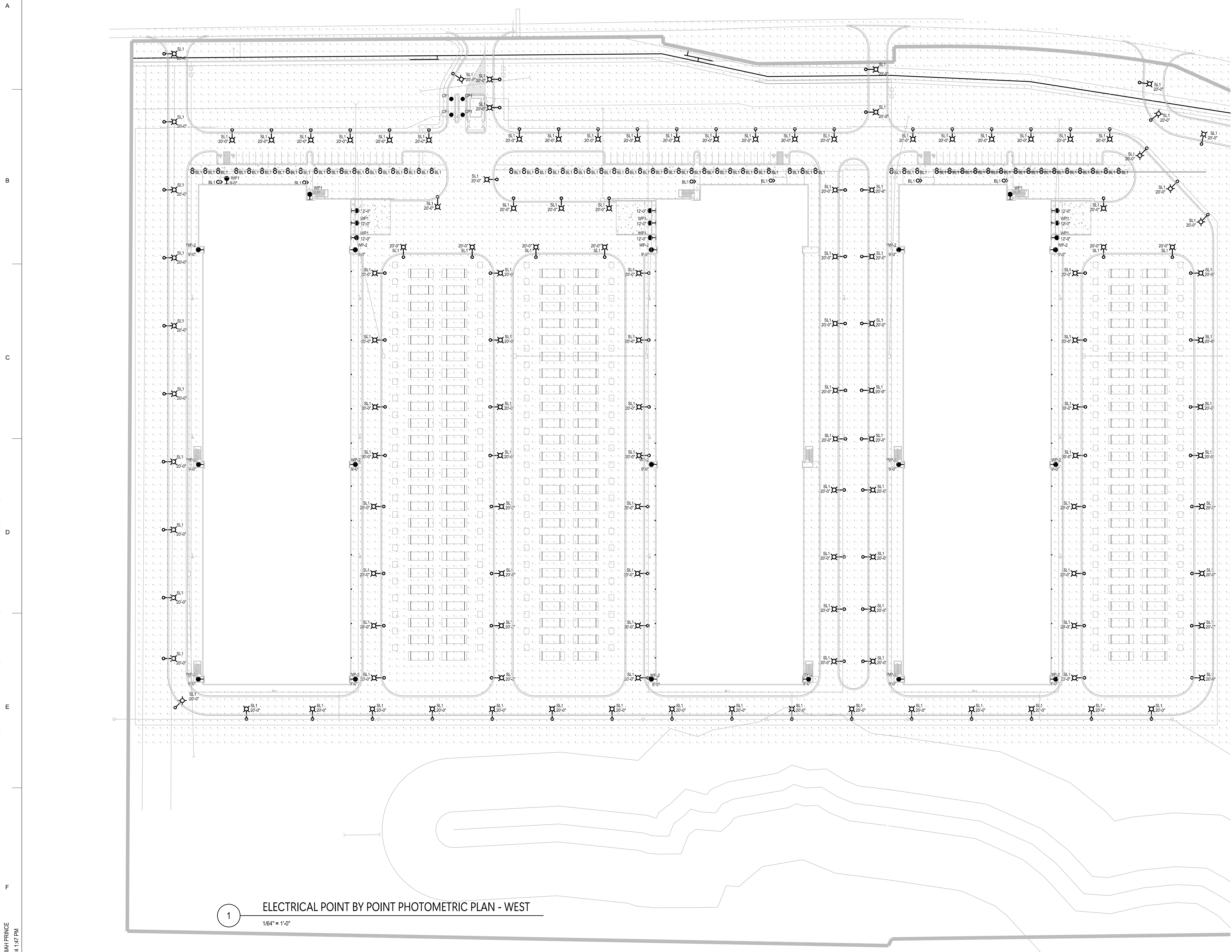
SHEET TITLE:

ELECTRICAL  
POINT BY POINT  
PHOTOMETRIC SITE PLAN  
WEST

# ESL 1.1

SHEET NO.

SYMBOL LIST	
SYMBOL	DESCRIPTION
	SINGLE POLE MOUNTED LUMINAIRE
	DOUBLE POLE MOUNTED LUMINAIRE
	BOLLARD (CHEVRON INDICATES DIRECTION)
	WALL MOUNTED LUMINAIRE (MOUNTING HEIGHT AS INDICATED)



MATCHLINE SEE SHEET ESL1.2 FOR CONTINUATION



C:\Users\jpm\OneDrive\Documents\Projects\Treat Consulting\GBA Kansas City\MO2-Design\Models and Drawings\AutoCAD\Electrical\GBA Site Lighting Plan2.dwg  
JEREMIAH PRINCE  
3/6/2024 3:08 PM

A

B

C

D

E

F

1

2

3

4

5

6

7

8

MATCHLINE SEE SHEET ESL1.1 FOR CONTINUATION

1 ELECTRICAL POINT BY POINT PHOTOMETRIC PLAN - EAST  
1/64" = 1'-0"

GBA Realty

9801 Renner Blvd.  
Lenexa, Kansas 66219



4826 ACADEMY DRIVE  
MADISON, WI 53716

JOB #:

COOKINGHAM  
DEVELOPMENT  
KANSAS CITY, MISSOURI

CHECKED BY JP  
ISSUE DATE 03/12/24

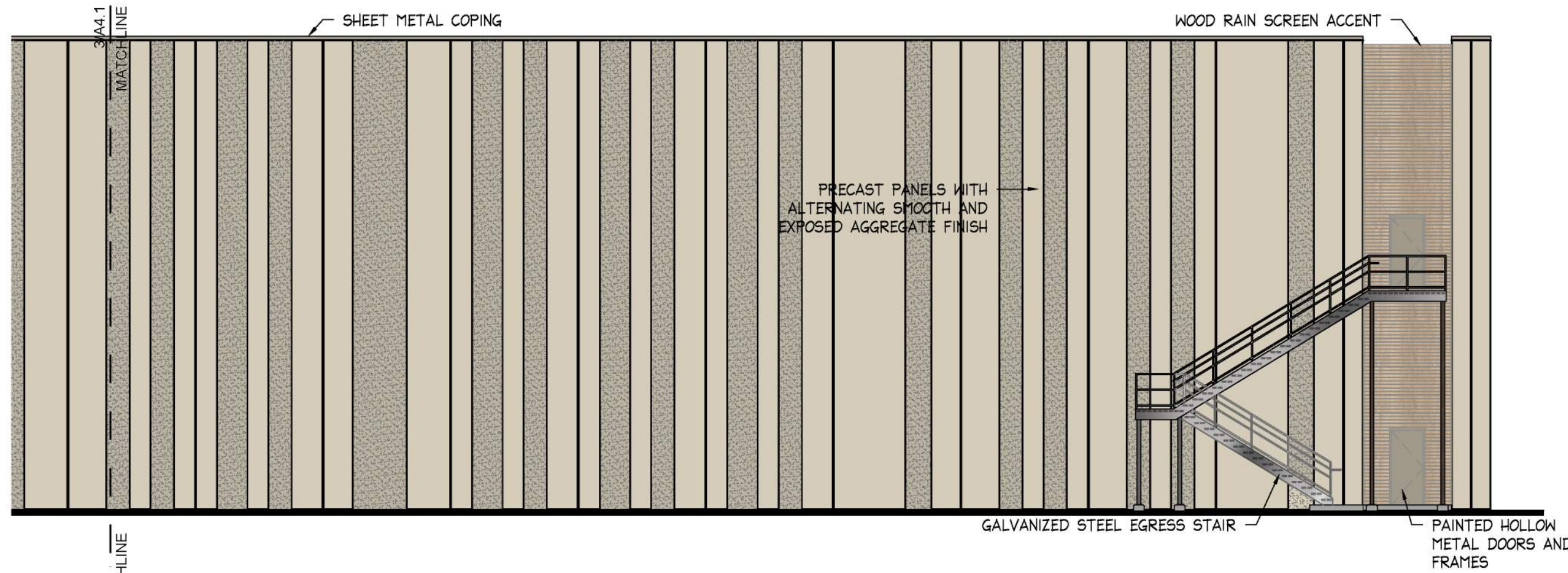
REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE:  
ELECTRICAL  
POINT BY POINT  
PHOTOMETRIC SITE PLAN  
EAST

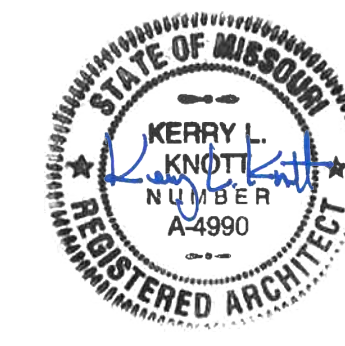
ESL1.2

SHEET NO.



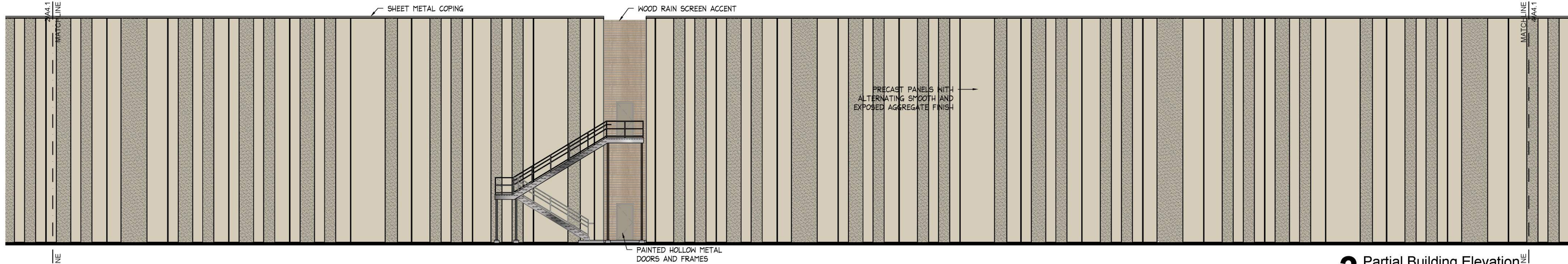


TOP OF PRECAST  
144' - 0"  
TOP OF JOISTS  
140' - 0"  
ACOUSTICAL CEILING  
132' - 0"  
FINISHED FLOOR (2ND)  
120' - 0"  
ACOUSTICAL CEILING  
112' - 0"  
FINISHED FLOOR (1ST)  
100' - 0"

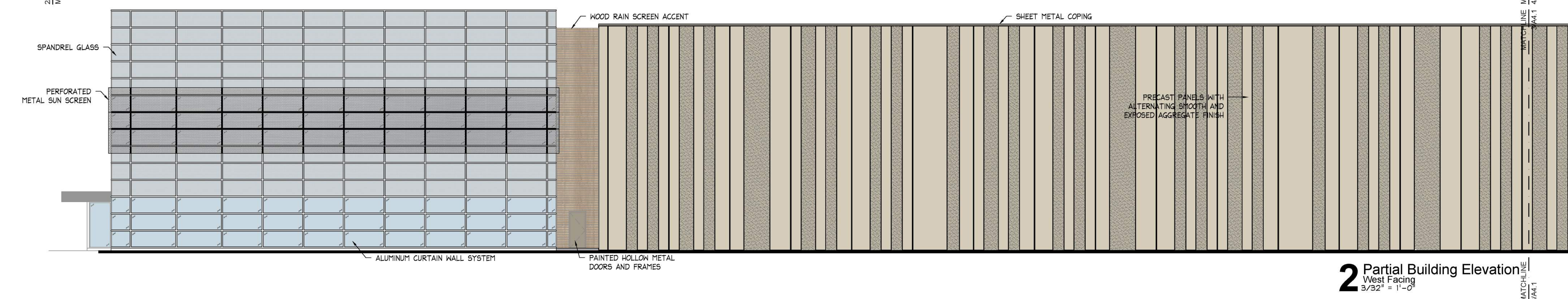
	<b>Bell / Knott &amp; Associates</b> CORPORATE ARCHITECTS, P.C. 12730 State Line Road Suite 100 Leawood, KS 66209 Voice: 913.378.1600 Fax: 913.378.1601 www.bellknott.com	DATE: 3/15/2024		
		DESIGN BY: SSC		
		DRAWN BY: SSC		
		PROJECT NO.: 23-034		
SHEET NUMBER <b>A4.1</b>				
Kerry L. Knott Registered Architect License No. A-4990		M2-3 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri		
NO.	DATE	REVISIONS	BY	APPROVED

General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.

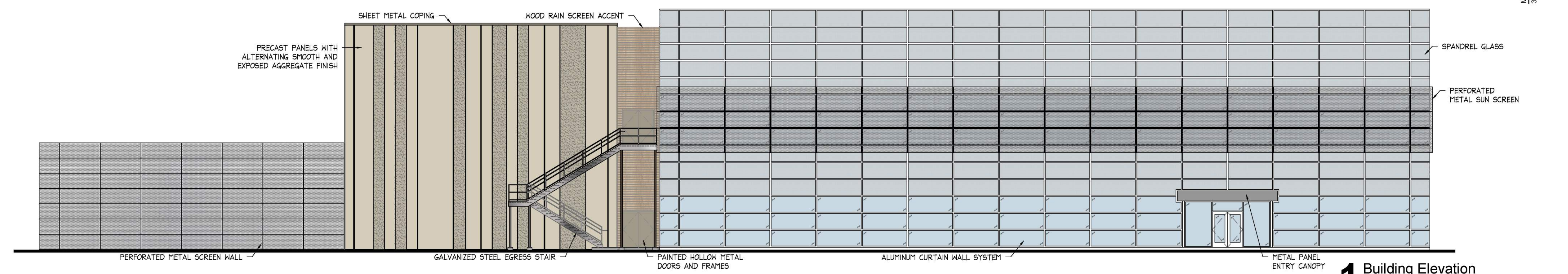
**4** Partial Building Elevation  
West Facing  
3/32" = 1'-0"



**3** Partial Building Elevation  
West Facing  
3/32" = 1'-0"



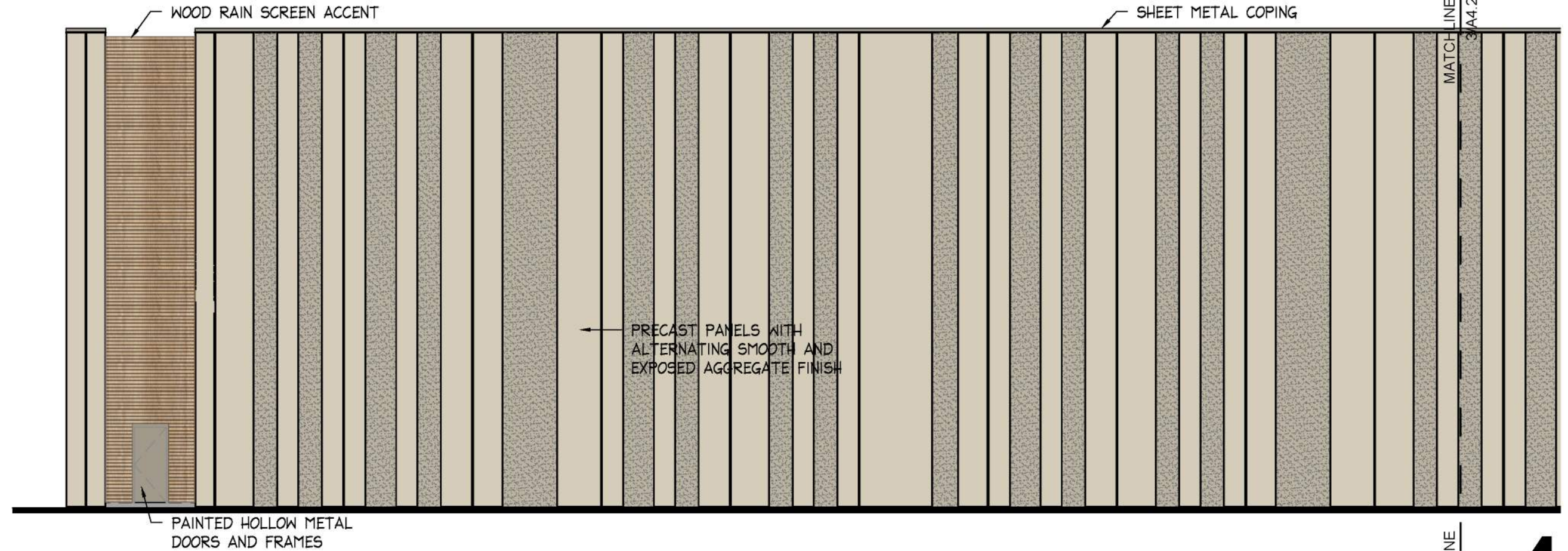
**2** Partial Building Elevation  
West Facing  
3/32" = 1'-0"




**1** Building Elevation  
North Facing  
3/32" = 1'-0"



- TOP OF PRECAST  
144' - 0"
- TOP OF JOISTS  
140' - 0"
- ACOUSTICAL CEILING  
132' - 0"
- FINISHED FLOOR (2ND)  
120' - 0"
- ACOUSTICAL CEILING  
112' - 0"
- FINISHED FLOOR (1ST)  
100' - 0"





**Bell / Knott & Associates**  
CORPORATE ARCHITECTS, P.C.  
12730 State Line Road Suite 100  
Leawood, KS 66209  
Voice: 913.378.1600  
Fax: 913.378.1601  
www.bellknott.com

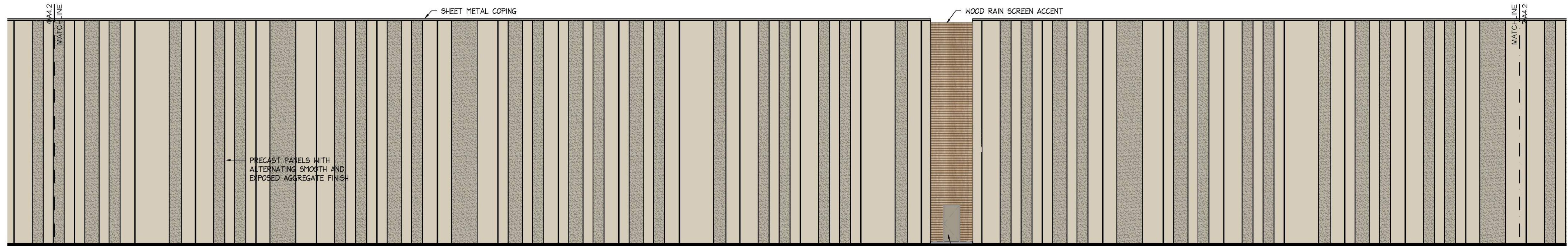
DATE: 3/15/2024  
DESIGN BY: SSC  
DRAWN BY: SSC  
PROJECT NO.: 23-034  
SHEET NUMBER  
**A4.2**

M2-3 Rezoning - Pre. Development Plan & Pre. Plat  
**COOKINGHAM DEVELOPMENT**  
Kansas City, Missouri

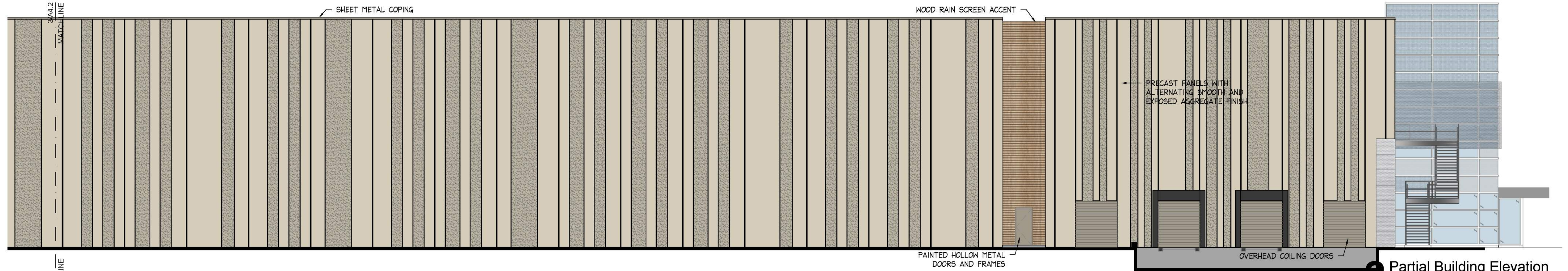
NO.	DATE	REVISIONS	BY	APPROVED

General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.

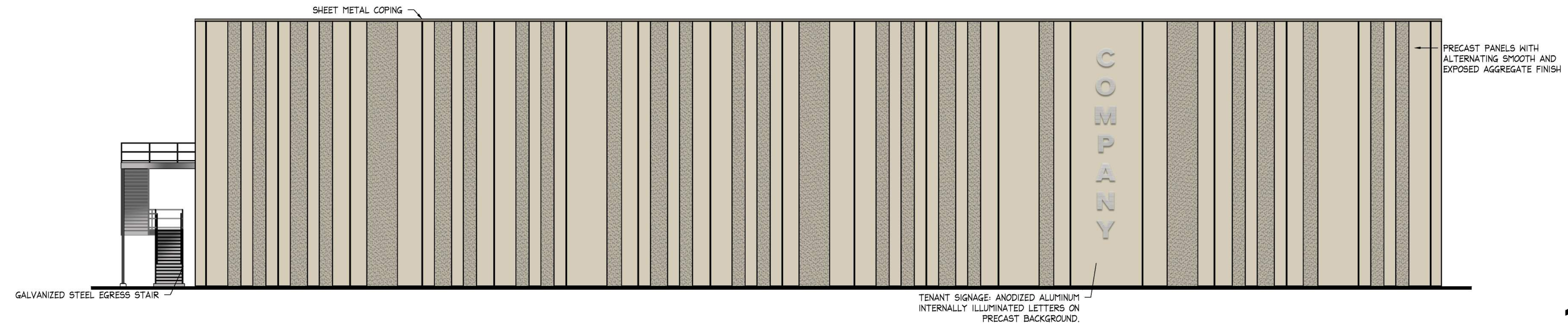
**4** Partial Building Elevation  
East Facing  
3/32" = 1'-0"



**3** Partial Building Elevation  
East Facing  
3/32" = 1'-0"



**2** Partial Building Elevation  
East Facing  
3/32" = 1'-0"



**1** Building Elevation  
South Facing  
3/32" = 1'-0"



SHEET METAL COPING



PRECAST  
CONCRETE PANELS  
WITH SMOOTH  
& EXPOSED  
AGGREGATE FINISH



WOOD RAIN SCREEN



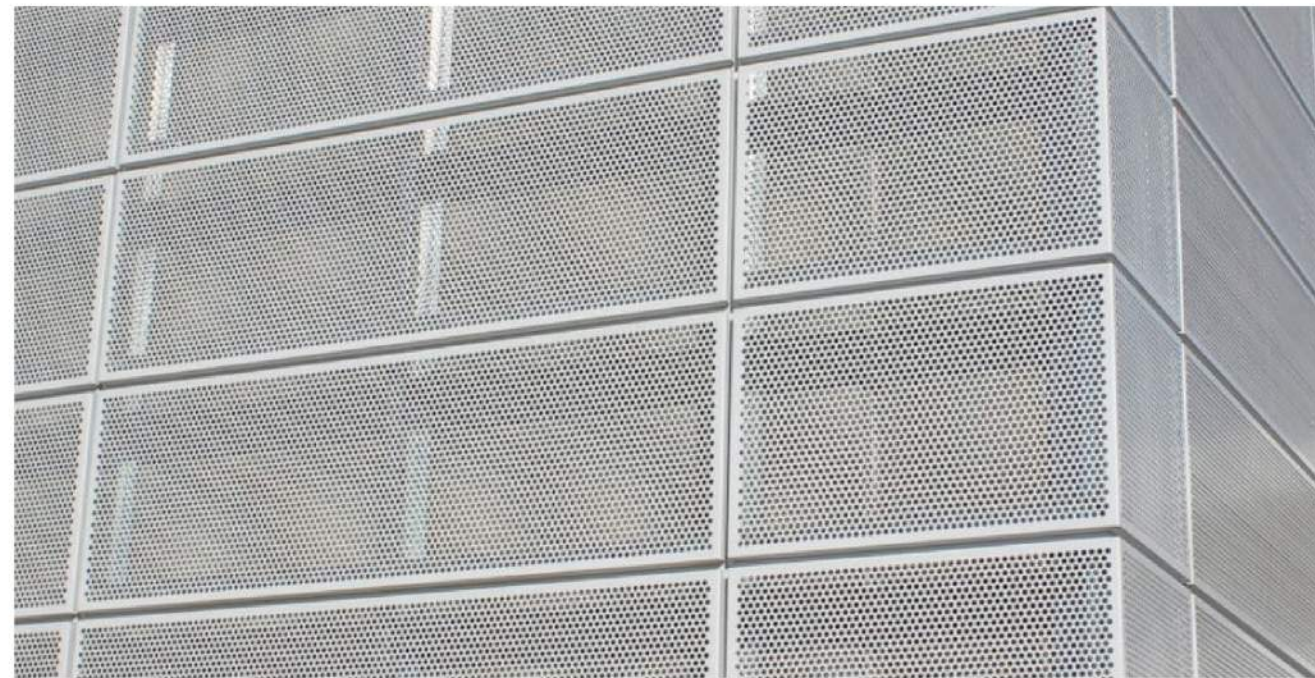
PAINTED HOLLOW METAL  
DOORS & FRAMES



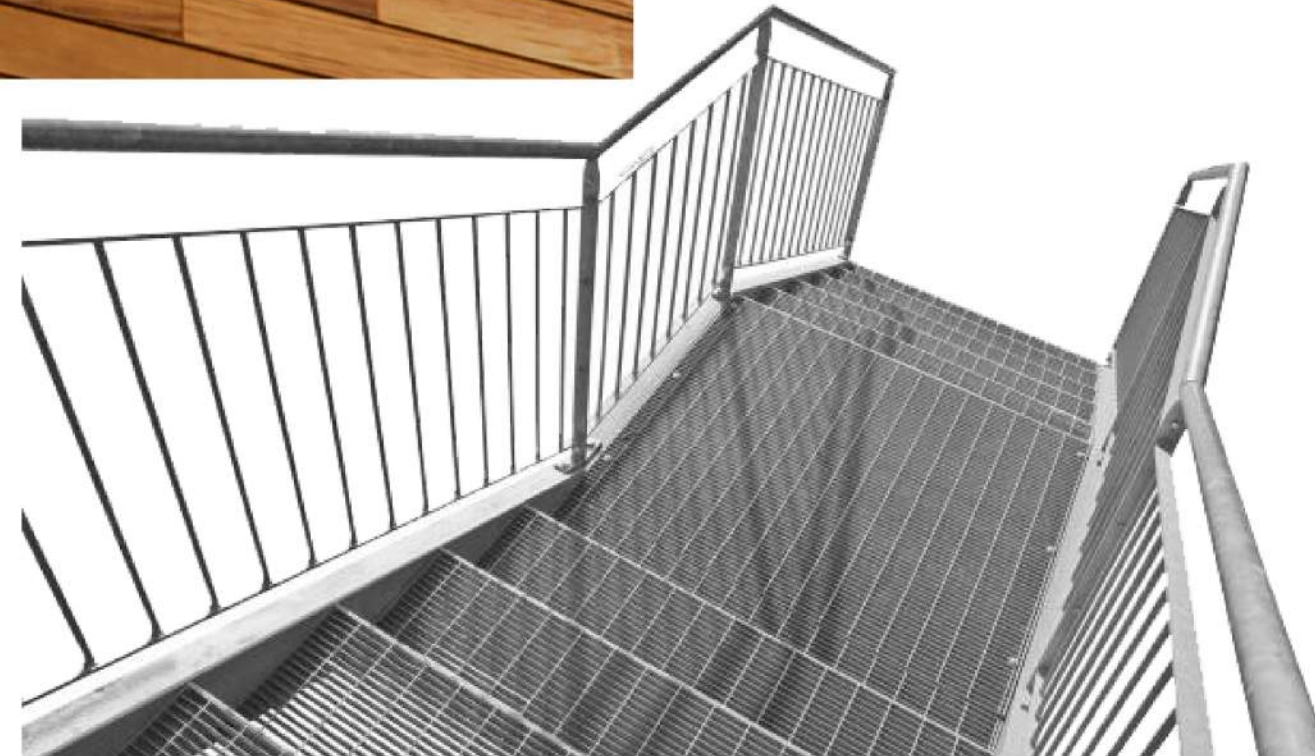
ALUMINUM CURTAIN  
WALL SYSTEM



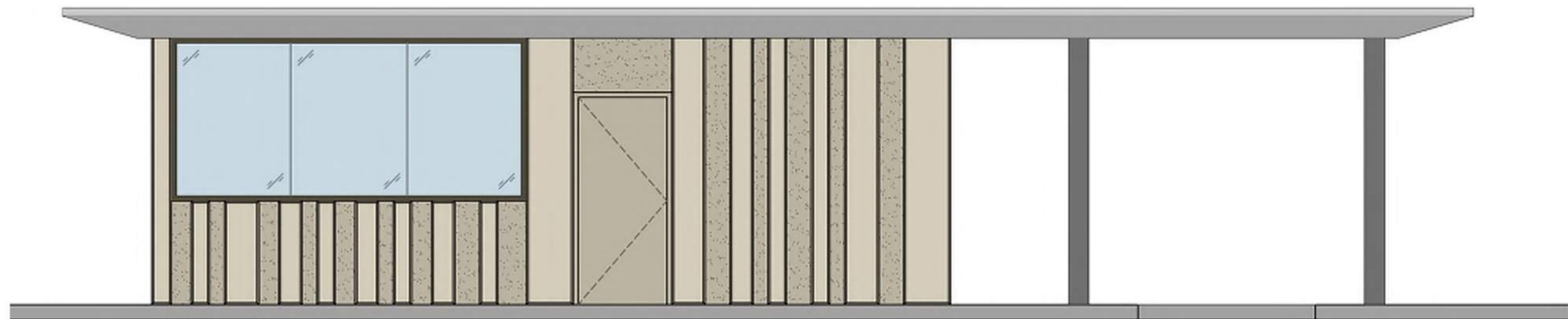
PERFORATED METAL SCREEN  
WALL / SUN SCREEN



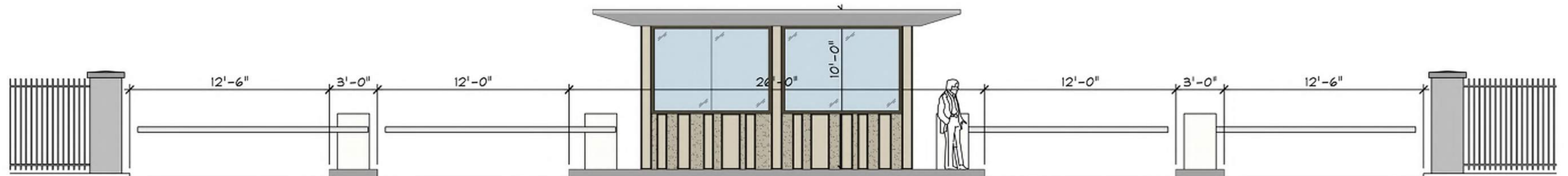
GALVANIZED STEEL  
STAIRS





DECORATIVE SECURITY  
FENCING



**2** Guard House Side Elevation  
1/4" = 1'-0"



**1** Guard House Front Elevation  
3/16" = 1'-0"

	 <b>Bell / Knott &amp; Associates</b> CORPORATE ARCHITECTS, P.C. 12730 State Line Road Suite 100 Leawood, KS 66209 Voice: 913.378.1600 Fax: 913.378.1601 www.bellknott.com	DATE: 3/15/2024		
		DESIGN BY: SSC		
		DRAWN BY: SSC		
		PROJECT NO.: 23-034		
		SHEET NUMBER <b>A4.3</b>		
Kerry L. Knott Registered Architect License No. A-4990		M2-3 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri		
NO.	DATE	REVISIONS	BY	APPROVED





CITY OF  
KANSAS CITY,  
MISSOURI

## CITY PLANNING & DEVELOPMENT

### Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

## Meeting Sign-In Sheet

## Project Name and Address

---

[illegible]