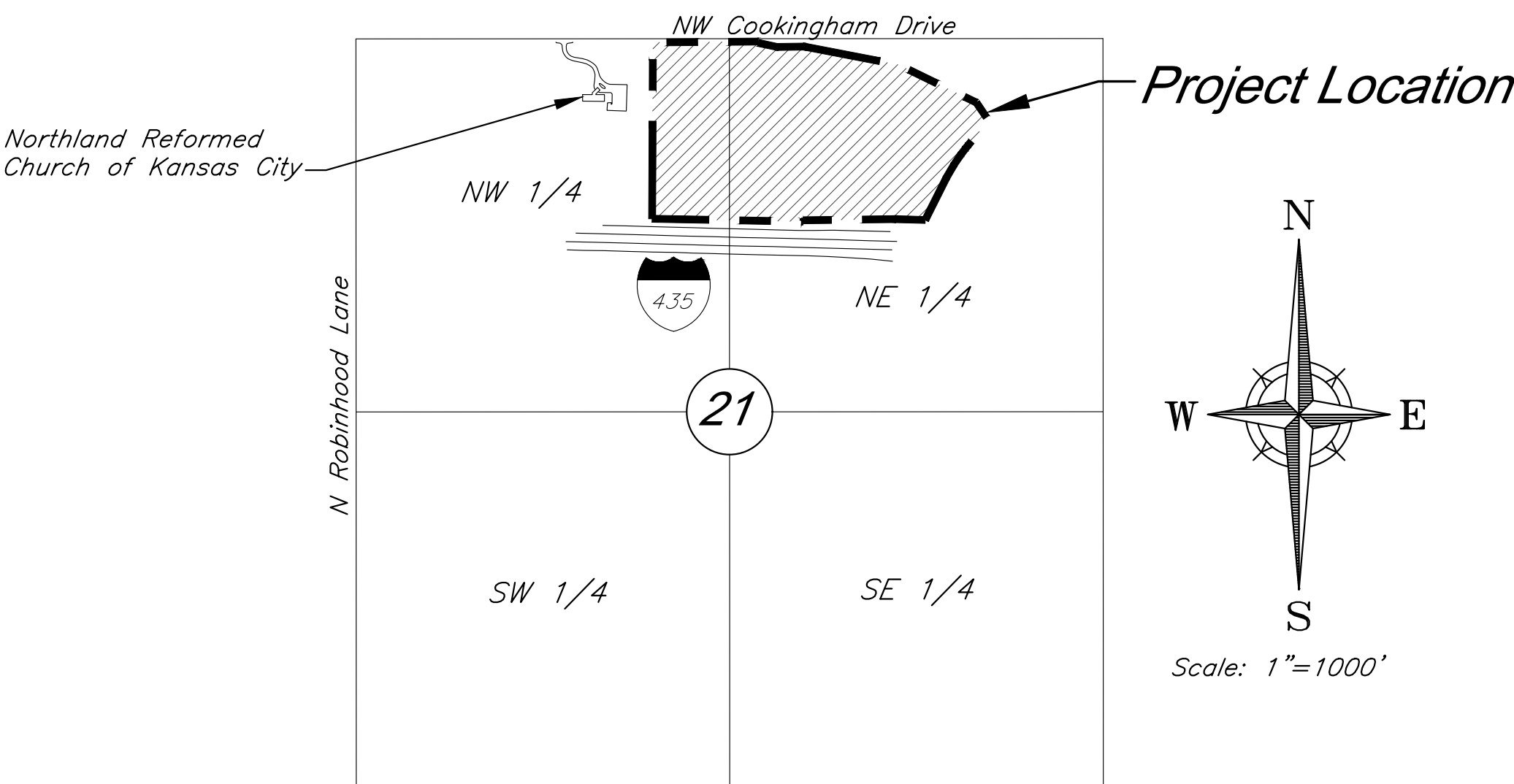


PRELIMINARY DEVELOPMENT PLAN & PRELIMINARY PLAT
FOR
COOKINGHAM DEVELOPMENT

Part of the NW & NE 1/4
Section 21–Township 52S–Range 33E
in the
City of Kansas City
Platte County, Missouri



VICINITY MAP
Part of the NW & NE 1/4
Section 21–Township 52–Range 33

INDEX OF SHEETS

Sht. No.	Description
1	Title Sheet
2	General Layout
3	Phasing Plan
4-5	Site Plan
6	Landscape Plan
7	Street Tree Plan
8	Planting Details
9-10	Grading Plan
11-12	Utility Plan
13	Tree Removal & Tree Preservation Plan
14	Preliminary Plat
15	Section Exhibit
16	Stream Buffer Plan
E1.1	Lighting Plan
E1.2	Lighting Plan
A4.1 - Color	Partial Building Elevations
A4.2 - Color	Partial Building Elevations
A4.3 - Color	Partial Building Elevations

PREPARED FOR:
GBA REALTY LLC
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 816-876-3893
CONTACT: GRAHAM JONES LEED AP
EMAIL: gjones@gbabuilders.com

PREPARED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
CONTACT: BRIAN BOYD
EMAIL: bboyd@gbateam.com

FLOODPLAIN:

According to the Flood Insurance Rate Maps (FIRMs) for the city of Kansas City, Missouri (29095C0061G, dated January 20th, 2017), the site is situated mainly within Zone X, areas determined to be outside the 0.2% annual chance floodplain. A channel on the site contains Zone AE, special flood hazard areas.

DEVIATIONS REQUESTED:

- A deviation is requested to allow facilities up to 70 feet in height on each of the proposed lots.



PROJECT ENGINEER: JAY HEALY, P.E.

DATE:

APPROVED BY:

MANAGER, ENGINEERING SERVICES DIVISION:

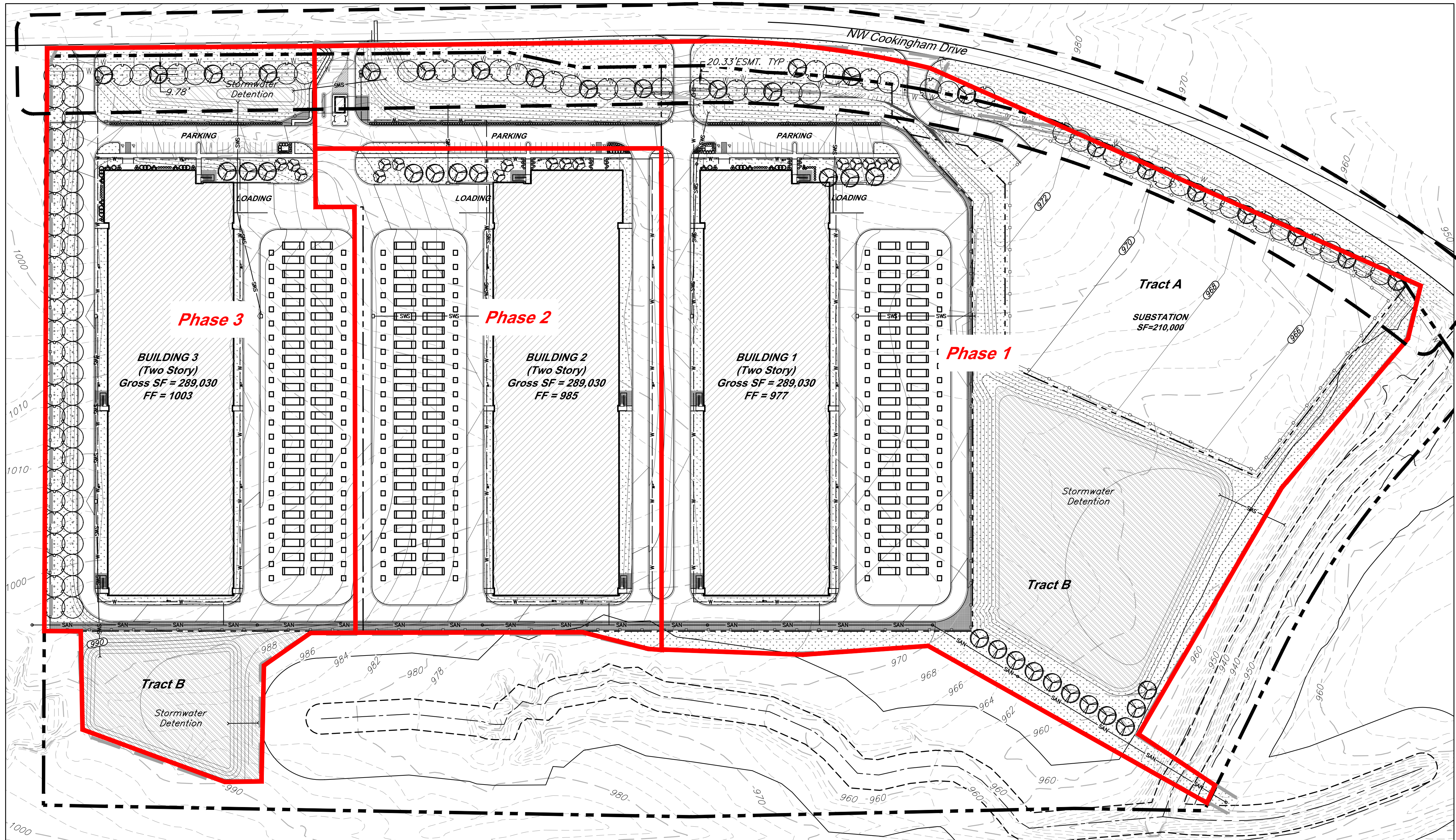
DATE:


GBA

9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com

General Layout

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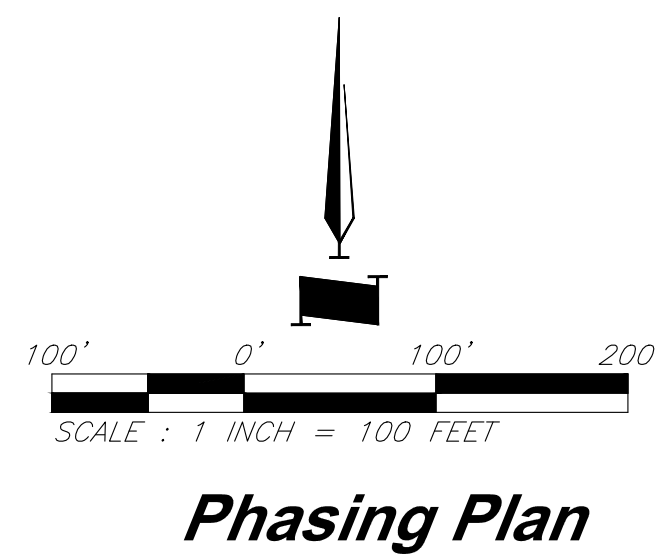
GBA
9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

DATE: 3/15/2024
DESIGN BY: JRH
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11
SHEET NUMBER
3

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

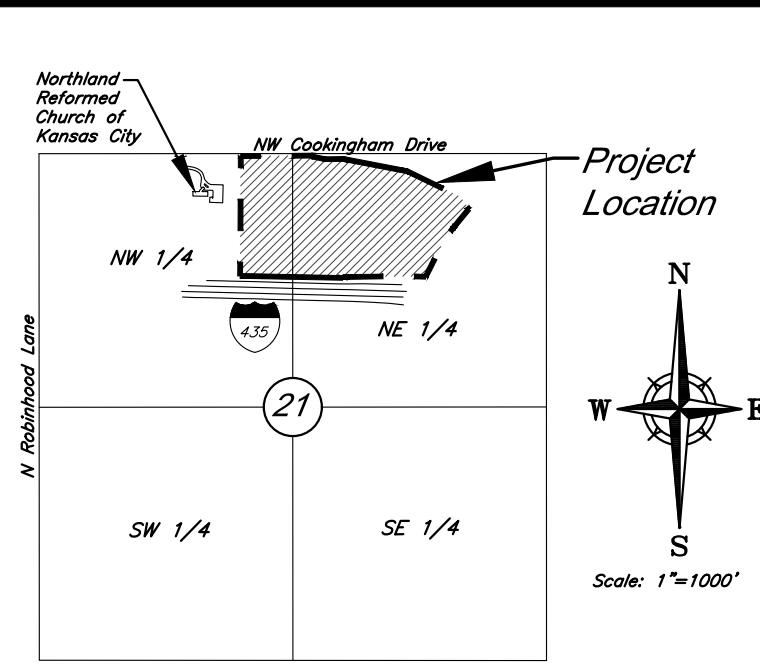
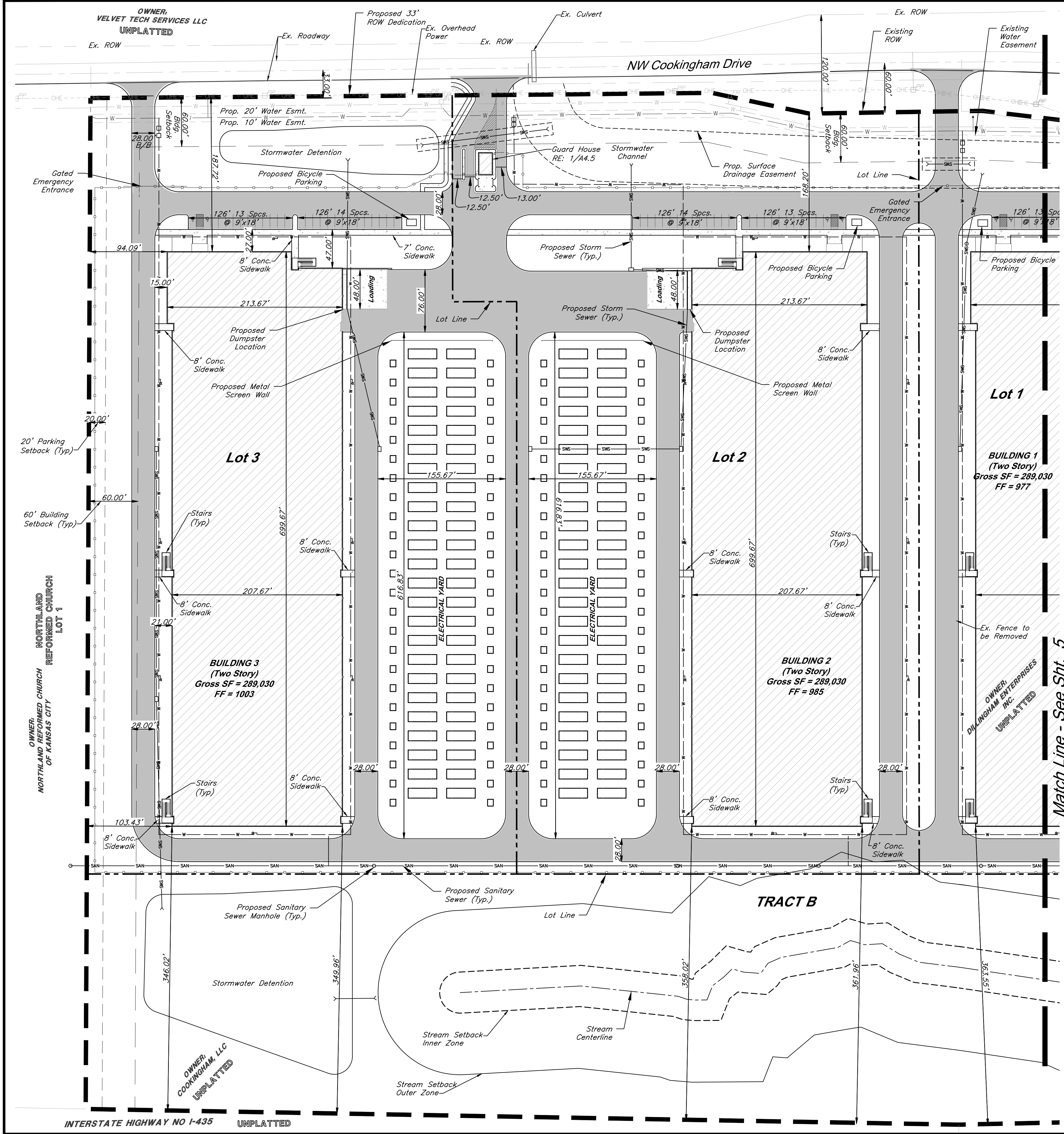
Jay Healy
Professional Engineer
License No. PB-2018003126

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments	4/5/2024	ELS
2	12/30/24	Right-of-way/Easement Updates		ELS



Phasing Plan

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VICINITY MAP
Part of the NW & NE 1/4
Section 21-Township 52-Range 33

DATE: 3/15/2024

DESIGN BY: JRH

DRAWN BY: DRV/ELS

PROJECT NO.: 15410.11

SHEET NUMBER

4

OWNER: VELVET TECH SERVICES LLC
UNPLATTED

8901 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

Jay Healy
Professional Engineer
License No. PB-2018003126

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO. DATE

1 4/19/24

2 12/30/24

REVISIONS

City Comments 4/5/2024

Right-of-way/Easement Updates

BY

ELS

APPROVED

ELS

Allowable Uses:

The Uses allowed as of right under zoning district M-2 shall be permitted within this Preliminary Development Plan including, but not limited to: Utilities and Services, Building Maintenance Services, Business Equipment Sales and Service, Business Support Service, Parking (Accessory), Parking (Non-Accessory), Manufacturing, Production, and Industrial Service including: Artisan, Limited, General, Warehousing, Wholesaling, Storage, and Freight Movement including: Indoor, Outdoor, Wireless Communication Facility (Freestanding, Co-located Antenna), Communication Service Establishments, Office, Administrative, Professional, or General, and any and all related accessory uses thereto.

General Notes:

- All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass, and metal (when used in an incidental role). Specific materials which will be excluded include exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.
- All signage will comply with Section 88-445 of the zoning and development code and will be reviewed at time of sign permit.
- All rooftop mechanical equipment will be screened as required by 88-425-08 of the zoning and development code.
- Each security gate shall be provided with a siren sensor (Yelp Gate) for Fire Department access.
- Two way emergency radio communication system provided in accordance with NFPA 1221 and IFC Section 5. A minimum inbound/outbound -95db signal strength or as required by the authority having jurisdiction will be provided.
- Proposed address for each facility is to be located in a highly visible and prominent location.
- Facility will be secured by guards in two shifts, with overnight internal monitoring and CCTV cameras. Access gates to facility will be locked at night.
- A waiver of the right-of-way dedication requirement, in the amount of 17 feet, is requested pursuant to 88.405-02-D.

SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS

a) Existing Zoning: AG-R & M2-3
Proposed Zoning: M2-3

Item	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Total
b) Total Land Area (SFT)	449,865	449,865	484,620	484,620	479,403	479,403	218,275	218,275	861,148	861,148	2,493,311
Total Land Area (AC)	10.33	10.33	11.13	11.13	11.01	11.01	5.01	5.01	19.77	19.77	57.24
c) Street ROW (SFT)	0	0	0	3,894	0	5,724	0	0	0	0	9,618
Land Area for Street ROW (AC)	0.00	0.00	0.00	0.09	0.00	0.13	0.00	0.00	0.00	0.00	0.22
d) Net Land Area (SFT)		449,865		480,726		473,679		218,275		861,148	2,483,693
Net Land Area (AC)		10.33		11.04		10.87		5.01		19.77	57.02
e) Building Use	AG-R	Communication Service Establishment	AG-R	Communication Service Establishment	AG-R	Communication Service Establishment					
f) Building Height Above Grade (FT)		44*		44*		44*					
# of Floors		2		2		2					
g) Gross Floor Area per Floor (SFT)		144,515		144,515		144,515					
Gross Floor Area per Lot (SFT)		289,030		289,030		289,030					867,090
h) Coverage (SFT)		144,515		144,515		144,515					433,545
Floor Area Ratio		0.642		0.601		0.610					0.349
i) NA											
j) Vehicle Parking Spaces	18	27	18	27	18	27					81
k) Bicycle Parking Spaces	7	7	7	7	7	7					21
l) NA											
m) NA											

* A deviation is requested to allow building heights up to 70 feet on each of the proposed lots.

DEVELOPMENT STANDARDS

88-425 - OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-415 Stream Buffers	
88-445 Signs	

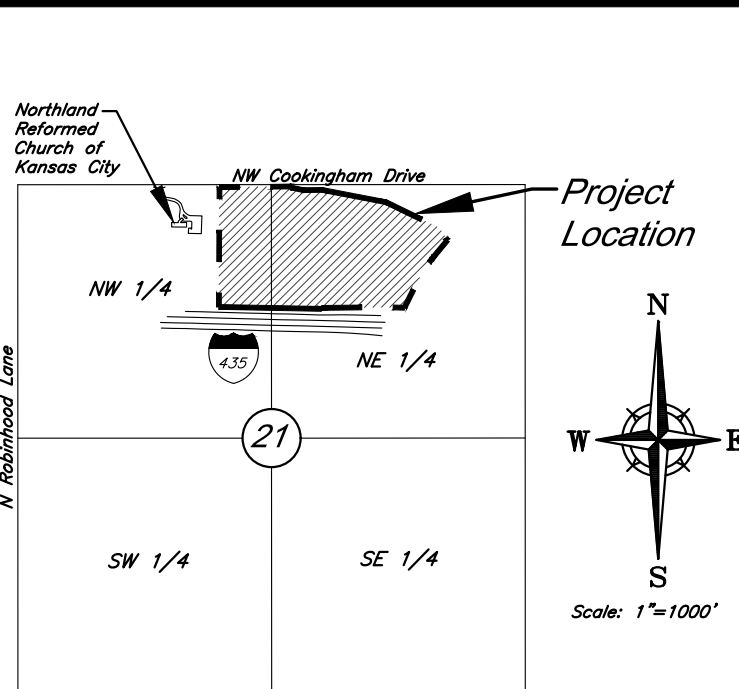
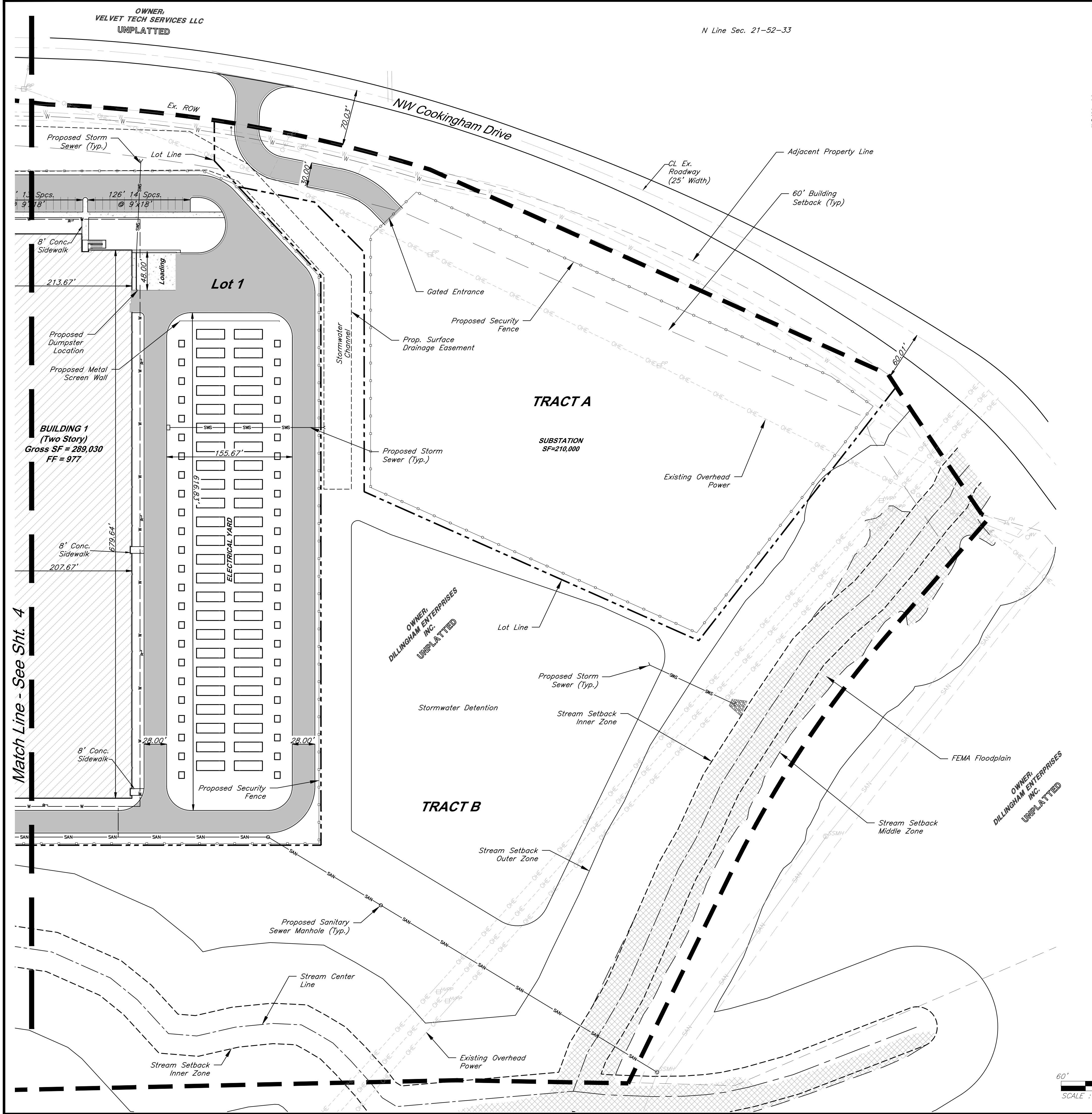
Legend

- Proposed Building
- Concrete Sidewalk
- Proposed Asphalt Pavement
- Zone AE FEMA Floodplain
- Property Boundary
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Security Fence
- Proposed Water Easement
- Proposed Water Line
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant

SCALE: 1 INCH = 60 FEET

Site Plan

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VICINITY MAP

Part of the NW & NE 1/4
Section 21-Township 52-Range 33



GBA
9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

DATE: 3/15/2024
DESIGN BY: JRH
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11
SHEET NUMBER
5

Jay Healy
Professional Engineer
License No. PB-2018003126

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments	4/5/2024	ELS
2	12/30/24	Right-of-way/Easement Updates		ELS

Allowable Uses:

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General Notes:

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- A waiver of the right-of-way dedication requirement, in the amount of 17 feet, is requested pursuant to 88.405-02-D.

SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS

a) Existing Zoning: AG-R & M2-3
Proposed Zoning: M2-3

Item	Lot 1		Lot 2		Lot 3		Tract A		Tract B		Total
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
b) Total Land Area (SFT)	449,865	449,865	484,620	484,620	479,403	479,403	218,275	218,275	861,148	861,148	2,493,311
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f) Building Height Above Grade (FT)		44*		44*		44*					
# of Floors		2		2		2					
g) Gross Floor Area per Floor (SFT)		144,515		144,515		144,515					
Gross Floor Area per Lot (SFT)		289,030		289,030		289,030					867,090
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Floor Area Ratio		0.642		0.601		0.610					0.349
i) NA											
Vehicle Parking											
j) Spaces	18	27	18	27	18	27					81
k) Bicycle Parking											
l) NA											
m) NA											

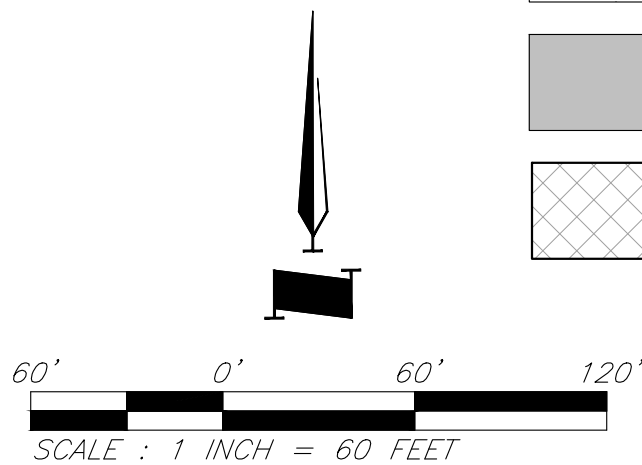
* A deviation is requested to allow building heights up to 70 feet on each of the proposed lots.

DEVELOPMENT STANDARDS


88-425 - OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-415 Stream Buffers	
88-445 Signs	


Legend

	Proposed Building		Property Boundary
	Concrete Sidewalk		Lot Line
	Proposed Asphalt Pavement		60' Building Setback
	Zone AE FEMA Floodplain		20' Parking Setback
			Proposed Security Fence
			Proposed Water Easement
			Proposed Water Line
			Proposed Storm Sewer
			Proposed Sanitary Sewer
			Proposed Sanitary Manhole
			Proposed Storm Structure
			Proposed Fire Hydrant

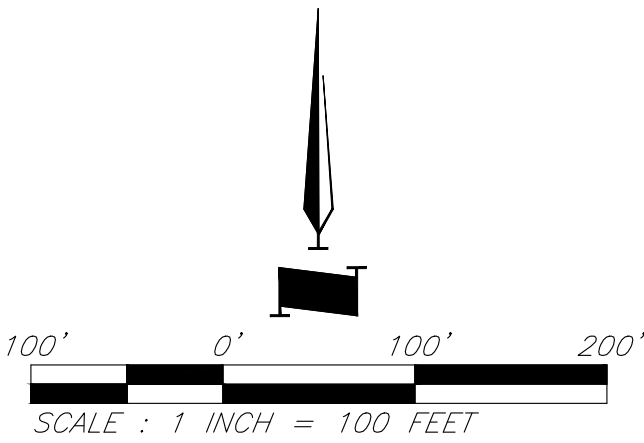


Site Plan

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
TREES					
	AS	10	Acer saccharum 'John Pair' / Fall Fiesta Maple	2.5" Cal.	B&B
	CO	16	Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud	2" Cal.	
SHRUBS					
	HK	27	Hypericum kalmianum 'Deppe' / Sunny Boulevard* St. Johnswort		
	JK	16	Juniperus chinensis 'Kallays Compact' / Kallay Juniper		
	JF	20	Juniperus chinensis 'Sea Green' / Sea Green Juniper		
	PV	110	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass		
	VN	32	Viburnum opulus 'Nanum' / Dwarf European Cranberrybush		

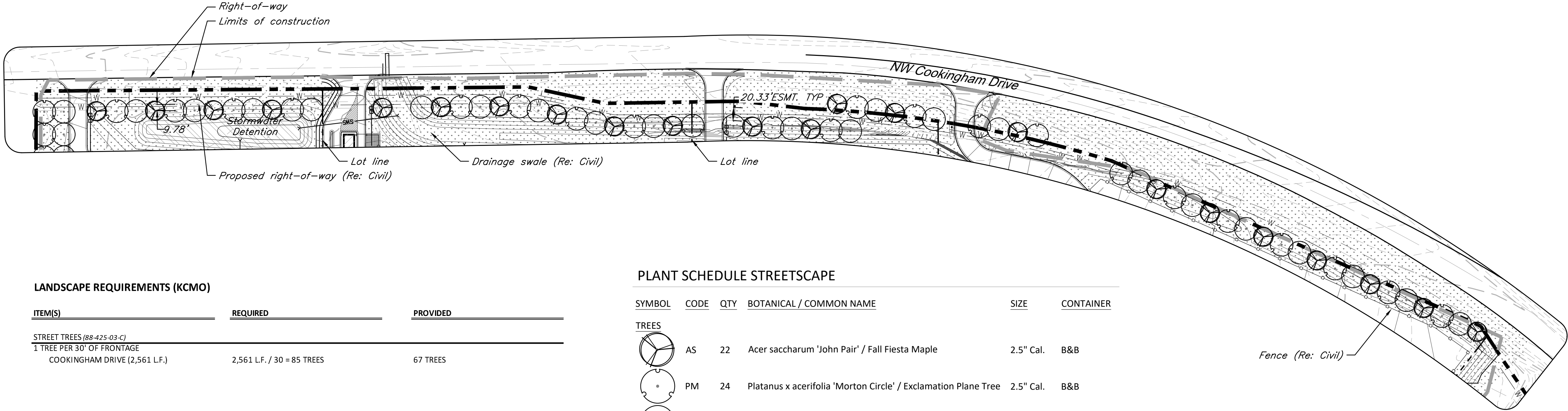
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			DESIGN BY: <u>JRH</u>		
			DRAWN BY: <u>DRV/ELS</u>		
			PROJECT NO.: <u>15410.11</u>		
			SHEET NUMBER		
			<div>6</div>		
<div>Jay Healy Professional Engineer License No. PB-2018003126</div>		<div>M2-3 Rezoning – Pre. Development Plan & Pre. Plat</div>			
		<div>COOKINGHAM DEVELOPMENT Kansas City, Missouri</div>			
NO.	DATE	REVISIONS		BY	APPROVED
1	4/19/24	City Comments 4/5/2024		ELS	
2	12/30/24	Right-of-way/Easement Updates		ELS	

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
TREES			
	AS	43	Acer saccharum 'John Pair' / Fall Fiesta Maple
	CO	16	Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud
	PM	48	Platanus x acerifolia 'Morton Circle' / Exclamation Plane Tree
	QS	48	Quercus shumardii / Shumard Oak
SHRUBS			
	HK	27	Hypericum kalmianum 'Deppe' / Sunny Boulevard® St. Johnswort
	IS	130	Ilex glabra 'Shamrock' / Shamrock Holly
	JK	16	Juniperus chinensis 'Kallays Compact' / Kallay Juniper
	JF	20	Juniperus chinensis 'Sea Green' / Sea Green Juniper
	JA	131	Juniperus x pfitzeriana 'Armstrongii' / Armstrong Pfitzer Juniper
	PV	110	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
	VN	32	Viburnum opulus 'Nanum' / Dwarf European Cranberrybush
GROUND COVERS			
	DR	45,320 sf	Decorative Landscapes Rock
	FG	544,345 sf	Festuca var.
	NM	211,375 sf	Native Mix Oval Sedge - Carex brevior Canada Wild Rye - Elymus canadensis Bottlebrush Sedge - Elymus hystix Tussock Sedge Common Rush Fox Sedge American Sweet Flag



Landscape Plan

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LANDSCAPE REQUIREMENTS (KCMO)

ITEM(S)	REQUIRED	PROVIDED
STREET TREES (88-425-03-C)		
1 TREE PER 30' OF FRONTAGE		
COOKINGHAM DRIVE (2,561 L.F.)	2,561 L.F. / 30 = 85 TREES	67 TREES

PLANT SCHEDULE STREETSCAPE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TREES					
	AS	22	Acer saccharum 'John Pair' / Fall Fiesta Maple	2.5" Cal.	B&B
	PM	24	Platanus x acerifolia 'Morton Circle' / Exclamation Plane Tree	2.5" Cal.	B&B
	QS	24	Quercus shumardii / Shumard Oak	2.5" Cal.	B&B

GBA
9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

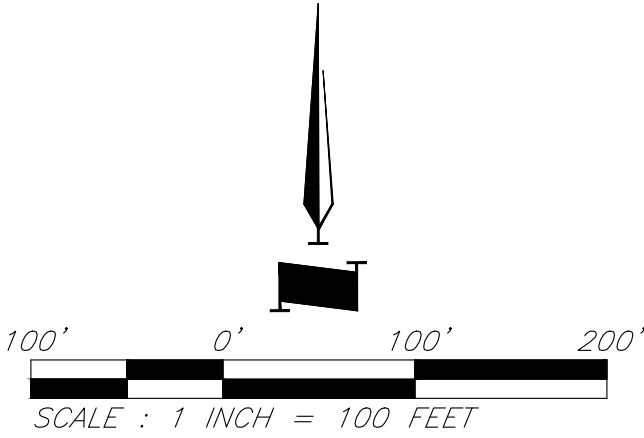
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DESIGN BY: JRH
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11

SHEET NUMBER
7

Jay Healy
Professional Engineer
License No. PB-2018003126

M2-3 Rezoning — Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	
2	12/30/24	Right-of-way/Easement Updates	ELS	



Street Tree Plan

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LANDSCAPE NOTES:

1. FIELD VERIFY UTILITIES SHOWN ON PLANS PRIOR TO WORK COMMENCEMENT. INFORMATION SHOWN ON PLAN IS FROM AVAILABLE INFORMATION AND ALL LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO UTILITIES MADE FROM CONSTRUCTION ACTIVITY. IMMEDIATELY NOTIFY PROJECT LANDSCAPE ARCHITECT AND ENGINEER IF DISCREPANCIES ARISE.
2. COMPLETE REQUIRED LANDSCAPING FOR THE ENTIRE SITE IN CONFORMANCE TO THE PLANS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO: SEEDED AREAS, SODDED AREAS, SHRUB BEDS, AND SITE CLEAN-UP.
3. VERIFY QUANTITIES PRIOR TO COMMENCING WORK. REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT. PLANT MATERIAL TO BE SPACED AS SHOWN, UNLESS OTHERWISE NOTED.
4. PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK (A.S.N.S.) LATEST EDITION PUBLISHED BY (ANLA) ANSI 260.1. THIS IS A REPRESENTATIVE GUIDELINE SPECIFICATION ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR THE PLANT MATERIAL.
5. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL, TYPE, SIZE AND/OR QUANTITY. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.S.N.S. VEGETATION SUBSTITUTIONS SHALL BE APPROVED BY PROJECT LANDSCAPE ARCHITECT. SUBSTITUTIONS MADE WITHOUT WRITTEN APPROVAL WILL BE REPLACED WITH APPROVED SELECTIONS AT CONTRACTOR'S COST.
6. DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITIES NOT IDENTIFIED ON THESE PLANS SHALL BE REPAIRED AND RESTORED TO ORIGINAL OR BETTER CONDITIONS AT CONTRACTOR'S COST. SOD WITH A TURF-TYPE TALL FESCUE BLEND SHALL BE PROVIDED FOR AREAS NOT DESIGNATED AS BEDS & PAVEMENT.
7. CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING. REFER TO SPECIFICATIONS FOR PLANT MATERIAL, SOILS, AND INSTALLATION METHODS.
8. INSTALL PLANT MATERIAL IN ACCORDANCE WITH A.S.N.S. STANDARDS.
9. INSTALL FINISHED GRADES OF SOD, LANDSCAPE BEDS, AND MULCH 1" BELOW ABUTTING PAVEMENT SURFACES TO ALLOW UNINHIBITED DRAINAGE TO NON-PAVEMENT SURFACES.
10. REMOVE ALL TWINE, WIRE, AND BURLAP FROM TREE AND SHRUB ROOT BALLS. REMOVE ALL PLASTIC WRAP, FABRIC ROPE, ROT PROOF WRAP, AND PLANT IDENTIFICATION TAGS.
11. TREES SHALL NOT BE PLANTED CLOSER THAN EIGHT HORIZONTAL FEET OF UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED OR PER PLANS. MODIFICATIONS TO TREE PLACEMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND CAN BE SUBJECT TO CITY REVIEW AND APPROVAL. CONTRACTOR IS RESPONSIBLE FOR UNAPPROVED RELOCATION(S) OR MODIFICATION(S) TO TREE LOCATIONS.
12. PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.

13. PLANT MATERIAL TO BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE. PLANT MATERIALS SHALL BE A ONE-TIME-REPLACEMENT AND RECORDS KEPT BY THE LANDSCAPE CONTRACTOR FOR ALL REPLACEMENTS.
14. PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION-TRUE TO TYPE, VARIETY, SIZE SPECIFIED, & FORM PER ANSI STANDARDS.
15. WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING ROUTINE UNTIL SUBSTANTIAL PROJECT COMPLETION. CONTRACTOR IS REQUIRED TO COORDINATE WATERING REQUIREMENTS TO THE OWNER THEREAFTER.
16. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
17. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.
18. THE LANDSCAPE CONTRACTOR SHALL TEST PROPOSED PLANTING AREAS FOR SOIL NUTRIENT DEFICIENCIES AND UNDESIRABLE SOIL TEXTURE AND STRUCTURE. BASED ON THE RESULTS OF THIS TESTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND INCORPORATE SOIL CONDITIONING MATERIALS (IE: FERTILIZER, SAND, COMPOST, ETC.) AS NECESSARY TO DEVELOP A PLANT GROWTH MEDIUM OF ADEQUATE FERTILITY, STRUCTURE, AND TEXTURE FOR THE ESTABLISHMENT OF LANDSCAPE MATERIALS. PEAT IS NOT ACCEPTABLE.
19. THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE ALL ROCK GREATER THAN 1-INCH AND ALL DEBRIS IN THE AREAS OF PROPOSED NEW PLANTINGS.
15. DAMAGED TURF AREAS ADJACENT TO PLANTING AREAS SHALL BE RESTORED AND SODDED TO MATCH EXISTING ADJACENT TOPOGRAPHY AND TURF TYPE.
16. PLANTING SCHEDULE:

TREE PLANTING: MARCH 15 - JUNE 15 OR SEPTEMBER 15 - DECEMBER 31

SHRUB PLANTING: APRIL 15 - JUNE 15 OR AUGUST 15 - OCTOBER 15

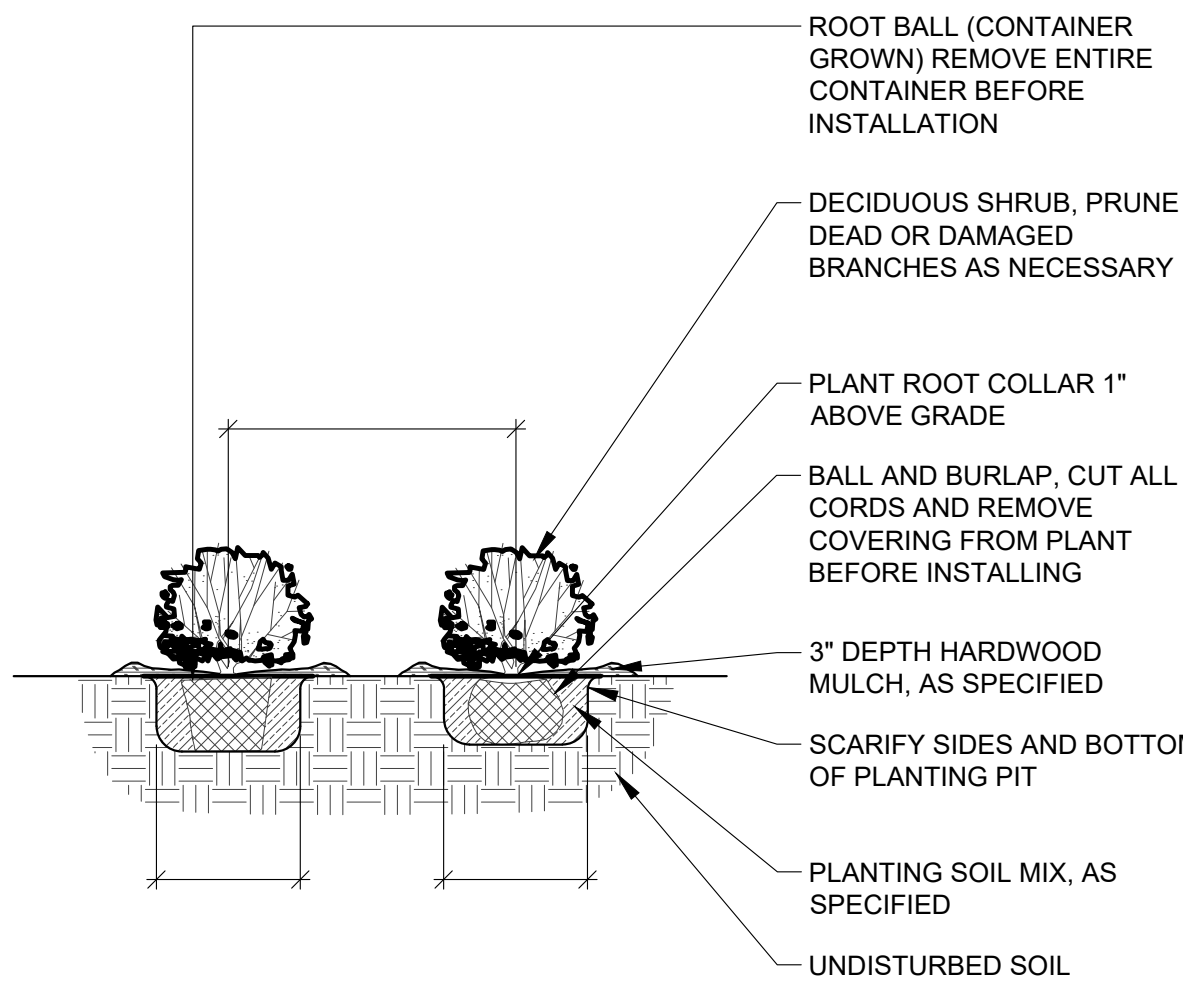
SOD/SEED PLANTING: MARCH 15 - JUNE 15 OR SEPTEMBER 15 - DECEMBER 1
17. ALL PLANTING METHODS SHALL COMPLY WITH CITY OF KANSAS CITY, MO STANDARDS.

PLANTING BED INSTALLATION NOTES:

1. ALL PLANTATION BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF COTTON BOLL COMPOST PER 1000 SQUARE FEET. FILL COTTON BOLL INTO SOIL TO A 6" DEPTH. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2000 SQ. FT.
2. AFTER PLANTING HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH OR ROCK APPLICATION.
3. PLANT PIT BACKFILL FOR SHRUBS SHALL BE 25% COTTON BOLL COMPOST AND 25% TOP SOIL AND 50% EXISTING SOIL. TOP SOIL SHALL BE NATURAL FERTILE, FRIABLE SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE AREAS. SOIL SHALL NOT BE EXCESSIVELY ACID, ALKALINE OR TOXIC THAT MAY BE HARMFUL TO PLANT GROWTH. ALSO, FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS OR SUBSTANCE 2" OR MORE IN DIAMETER.
4. PLANTING TABLETS: INSTALL MANUFACTURER GRO-POWER, INC. PRODUCT: GROWPOWER TABLETS, SIZE: 7-GRAM TABLETS, RATE: 1 TABLETS PER 1-GALLON CONTAINER AND 4 TABLETS PER 3-GALLON CONTAINER AND 7 TABLETS PER 5-GALLON CONTAINER.
5. PLANTED BED EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FOLLOWING CURVES. SUDDEN CURVES OR SHARP ANGLE SHOULD BE AVOIDED.

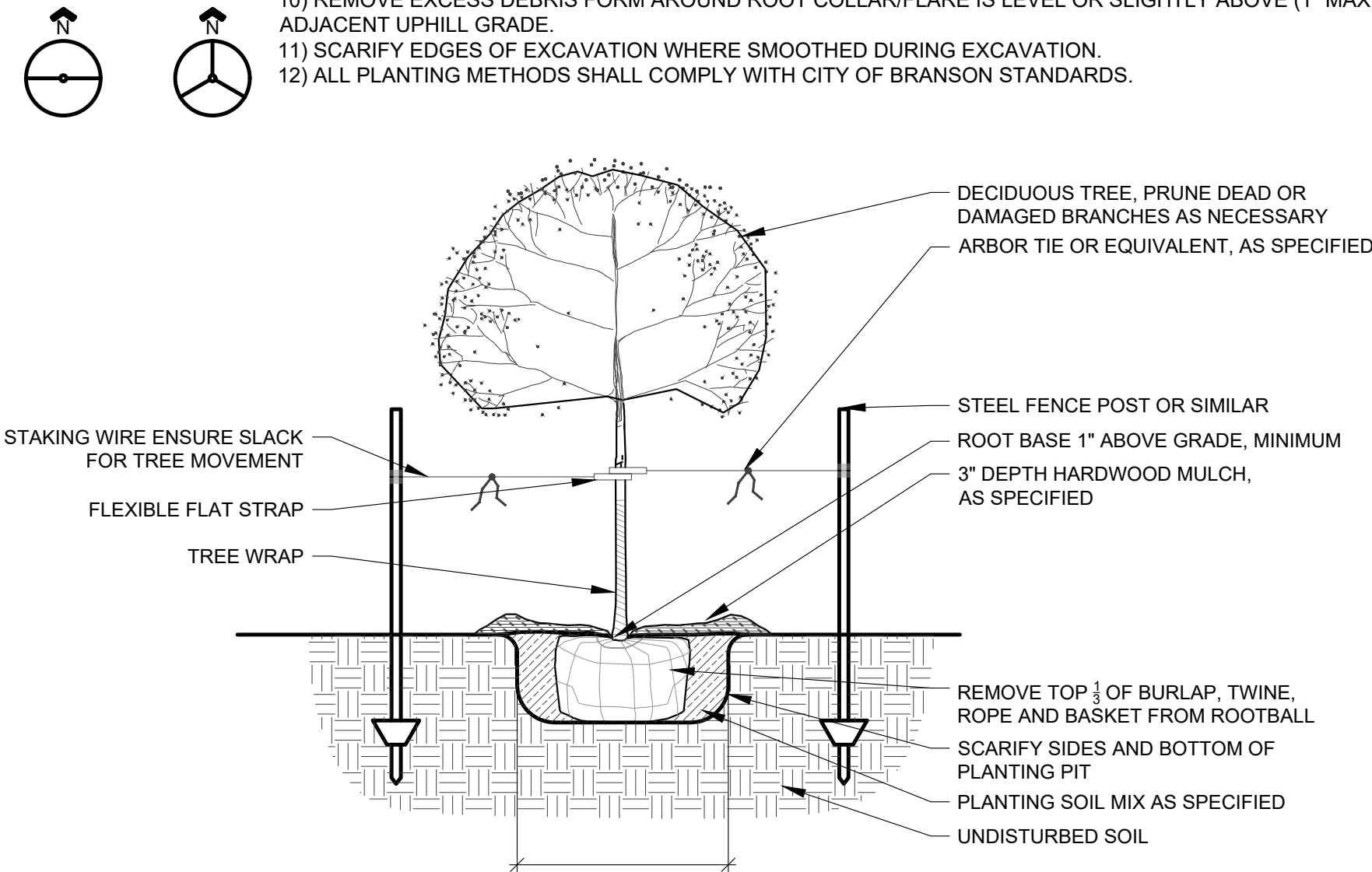
TREE NOTES:

- 1) EXCAVATE A PIT WHICH IS AT LEAST TWICE THE DIAMETER OF THE ROOTBALL AND THE SAME DEPTH-NO DEEPER. HANDLE THE TREE BY THE ROOT BALL, NOT THE TRUNK. BE SURE THE ROOT BALL RESTS ON SOLID GROUND.
- 2) BACKFILL WITH PLANTING SOIL.
- 3) SATURATE THE ENTIRE BACKFILL SOIL WITH WATER. ADD MORE SOIL IF NEEDED TO COMPENSATE FOR SETTLING.
- 4) MULCH: COVER SMOOTHED SOIL WITH 2 INCHES OF MULCH. LEAVE GAP NEAR THE TRUNK. KEEP MULCH WEEDED. REPLACE AS NEEDED.
- 5) PRUNE ONLY BROKEN OR BADLY DEFORMED BRANCHES TO RETAIN SHAPE OF THE SPECIES. PRUNE OUT SECONDARY AND COMPETING GROWTH. DO NOT SHEAR. DO NOT CUT LEADER. BEGIN A REGULAR PRUNING PROGRAM THE SECOND YEAR AFTER PLANTING.
- 6) CHAFING GUARDS: REMOVE GUARDS AS SOON AS THE TREE CAN STAND ALONE ABOUT 3 MONTHS OR LONGER IF NEEDED.
- 7) DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- 8) DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING. CRACKED OR OTHERWISE DAMAGED ROOT BALLS SHALL BE REJECTED.
- 9) WATER THOROUGHLY FOLLOWING PLANTING.
- 10) REMOVE EXCESS DEBRIS FORM AROUND ROOT COLLAR/FLARE IS LEVEL OR SLIGHTLY ABOVE (1" MAX) ADJACENT UPHILL GRADE.
- 11) SCARIFY EDGES OF EXCAVATION WHERE SMOOTHED DURING EXCAVATION.
- 12) ALL PLANTING METHODS SHALL COMPLY WITH CITY OF BRANSON STANDARDS.



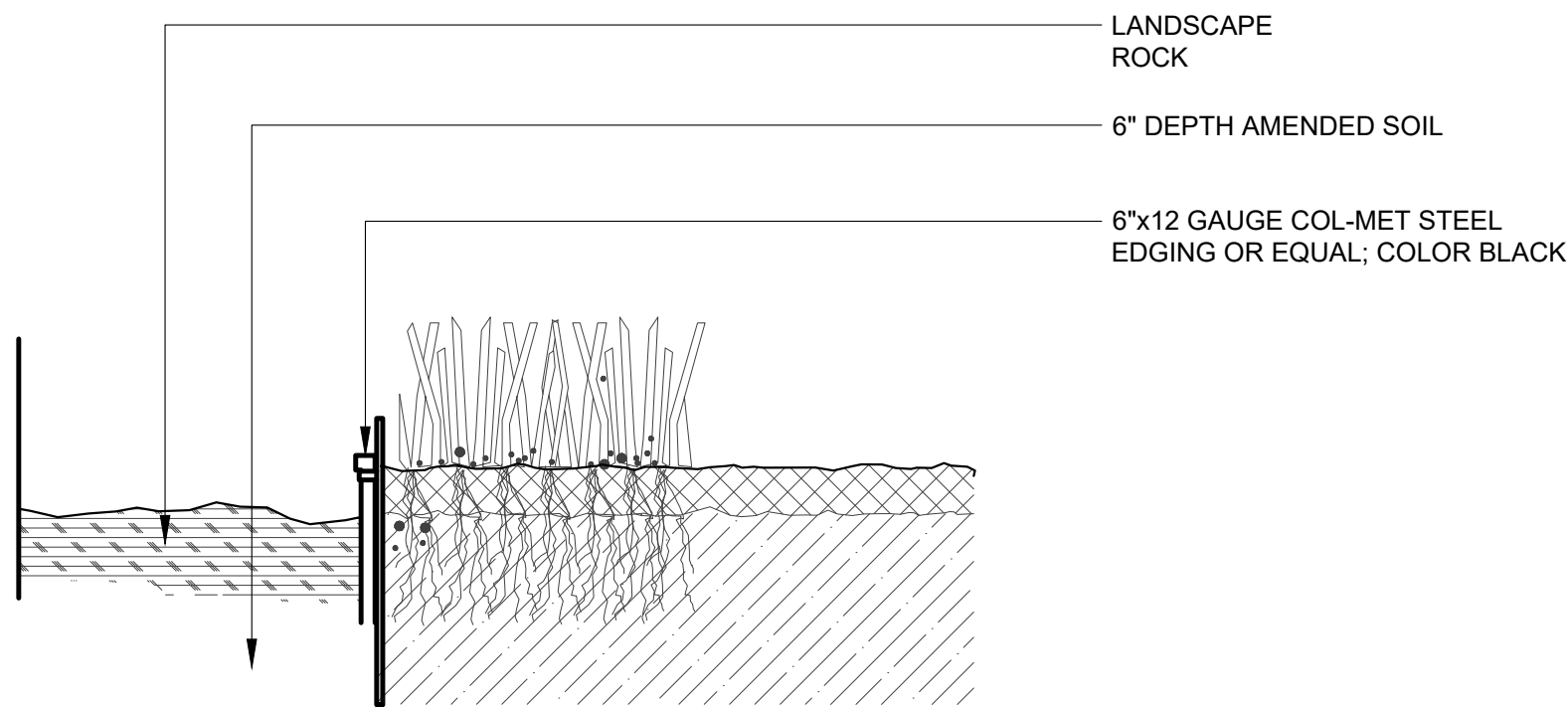
1 SHRUB AND PERENNIAL PLANTING
1/2" = 1'-0"

329333.01-04



2 DECIDUOUS TREE PLANTING
1/2" = 1'-0"

329343.01-03



3 METAL EDGING
3" = 1'-0"

DATE: 3/15/2024

DESIGN BY: JRH

DRAWN BY: DRV/ELS

PROJECT NO.: 15410.11

SHEET NUMBER

8

9801 Renner Blvd., Ste. 300

Lenexa, KS 66219

913.492.0400

gbateam.com

Jay Healy

Professional Engineer

License No. PB-2018003126

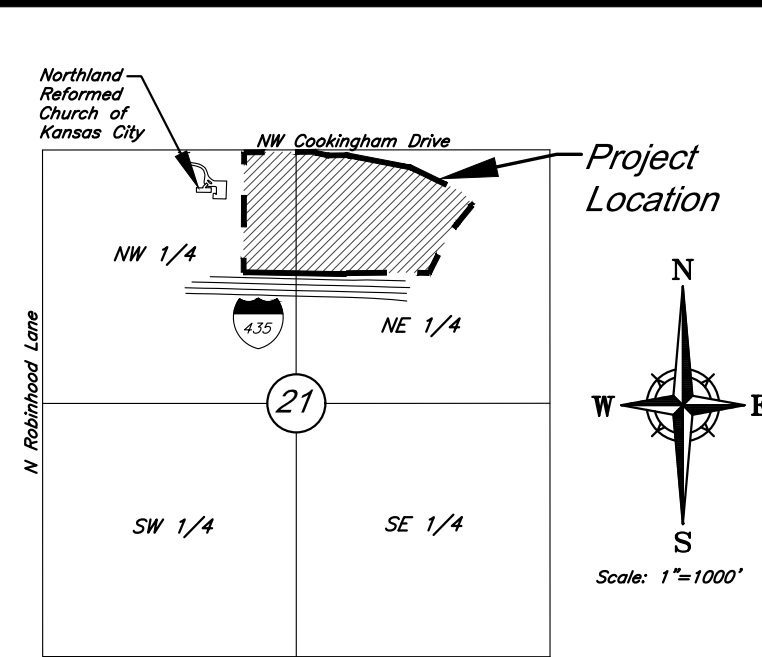
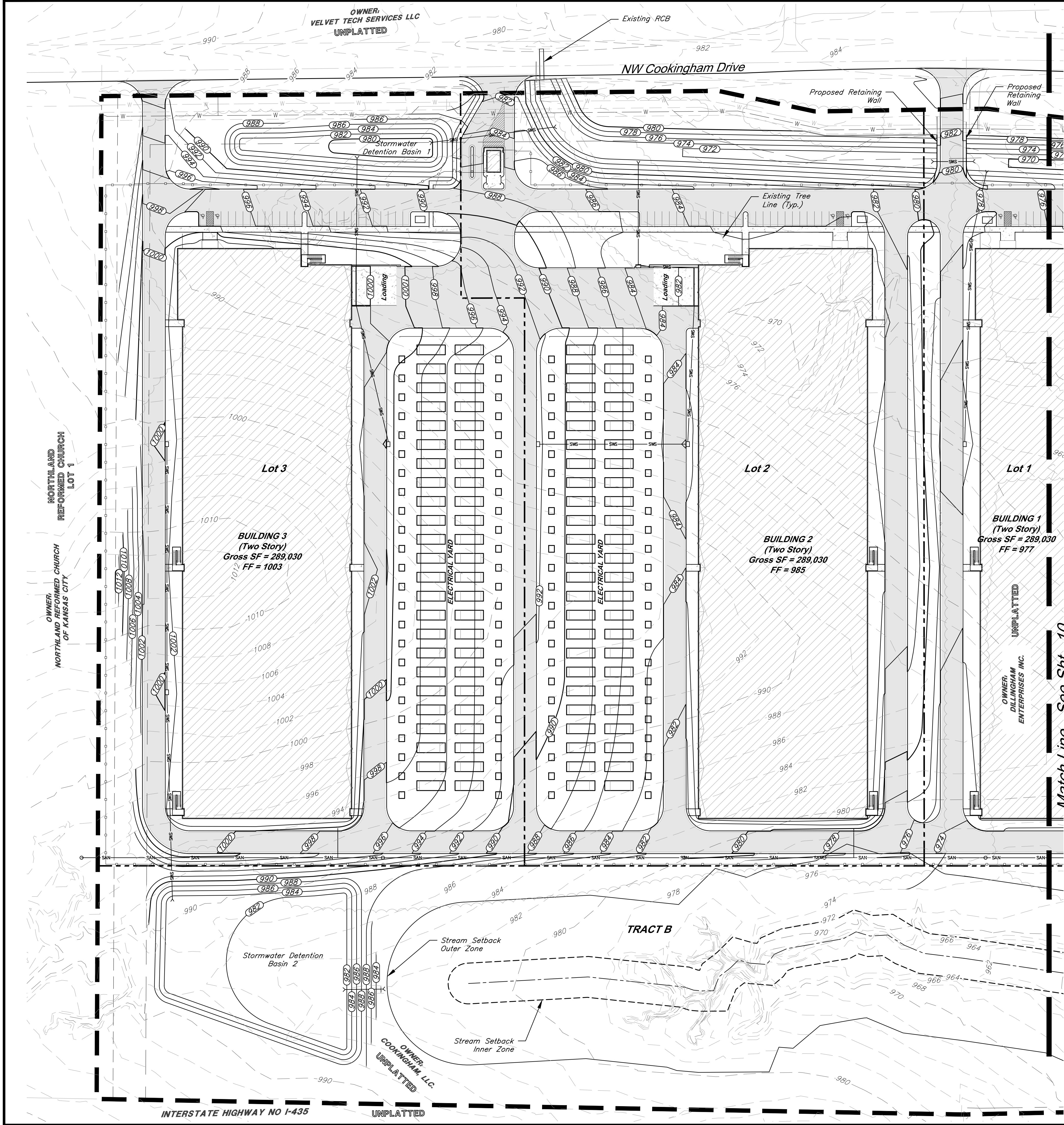
M2-3 Rezoning – Pre. Development Plan & Pre. Plat

COOKINGHAM DEVELOPMENT

Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	
2	12/30/24	Right-of-way/Easement Updates	ELS	

C:\15410.1\15410.1\Production Drawings\Rezoning & Preliminary Development Plans\15410.1\100700.dwg Layout: 9 Grading Plan --- Monday December 30, 2024, 9:08am --- Copyright 2024, George Buller Associates, Incorporated 000133, Professional Land Surveyor 000259

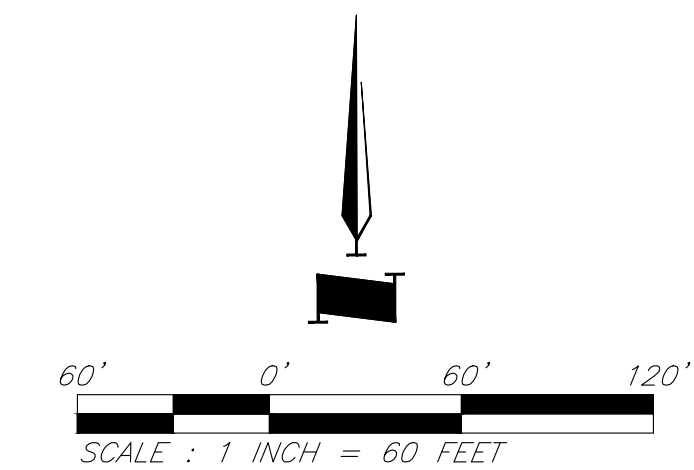


VICINITY MAP
Part of the NW & NE 1/4
Section 21-Township 52-Range 33

		DATE: 3/15/2024
		DESIGN BY: JRH
8901 Renner Blvd., Ste. 300 Lenexa, KS 66219 913.492.0400 gbateam.com		DRAWN BY: DRV/ELS
		PROJECT NO.: 15410.11
Jay Healy Professional Engineer License No. PB-2018003126		SHEET NUMBER
		9
M2-3 Rezoning - Pre. Development Plan & Pre. Plat COOKINGHAM DEVELOPMENT Kansas City, Missouri		BY: APPROVED
		ELS
NO.	DATE	REVISIONS
1	4/19/24	City Comments 4/5/2024
2	12/30/24	Right-of-way/Easement Updates

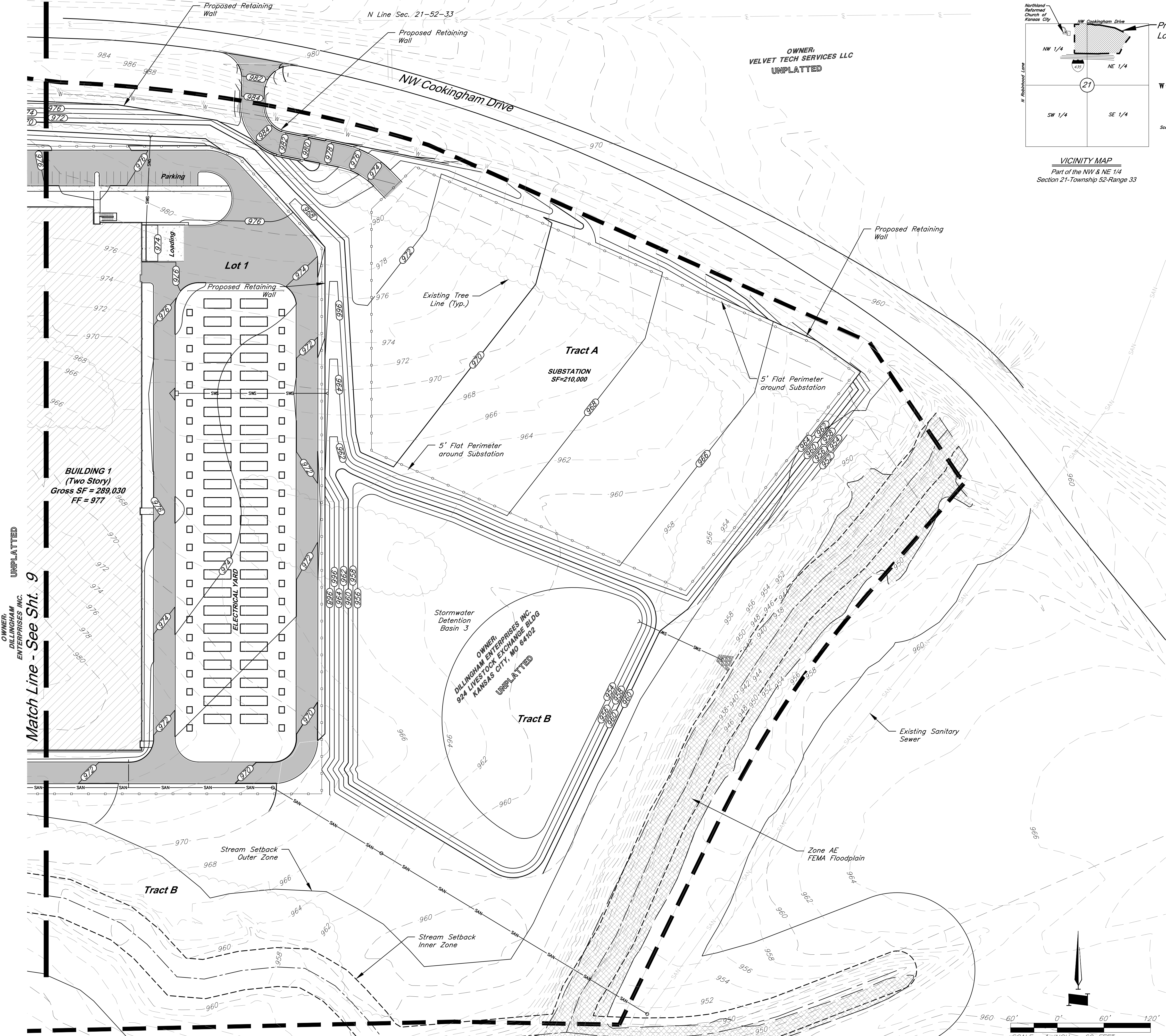
Legend	
	Proposed Building
	Concrete Sidewalk
	Proposed Asphalt Pavement
	Property Boundary
	Lot Line
	60' Building Setback
	20' Parking Setback
	Proposed Security Fence
	Proposed Water Easement
	Proposed Water Line
	Proposed Storm Sewer
	Proposed Sanitary Sewer
	Proposed Sanitary Manhole
	Proposed Storm Structure
	Proposed Fire Hydrant
	Proposed Contours
	Existing Contour Major
	Existing Contour Minor
	Existing Tree Line
	Top of Wall
	Base of Wall

- Grading Notes:**
- Proposed grading shall comply with ADA requirements.
 - Grading within water easement shall maintain 60" minimum cover over existing 24" transmission main. Proposed grading within easement shall be approved by KC Water prior to commencement.



Grading Plan

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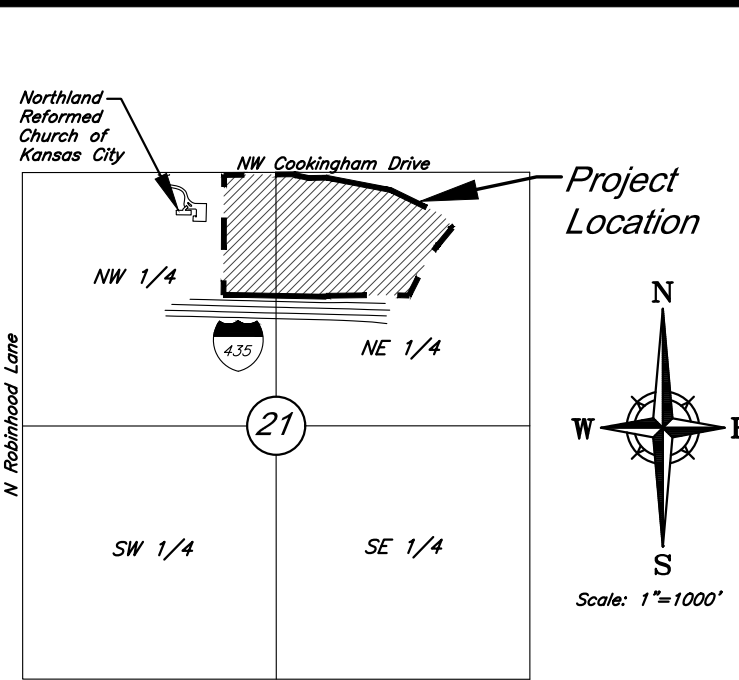


OWNER: DILLINGHAM ENTERPRISES INC. UNPLATTED

Match Line - See Sht. 9

OWNER: VELVET TECH SERVICES LLC UNPLATTED

OWNER: DILLINGHAM ENTERPRISES INC. 924 LIVESTOCK EXCHANGE BLDG KANSAS CITY, MO 64102 UNPLATTED



VICINITY MAP
Part of the NW & NE 1/4
Section 21-Township 52-Range 33

STATE OF MISSOURI
JONATHAN HEALY
PROFESSIONAL ENGINEER
NUMBER
PE-2018003126
12/30/24

GBA

9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

DATE: 3/15/2024
DESIGN BY: JRH
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11
SHEET NUMBER
10

Jay Healy
Professional Engineer
License No. PB-2018003126

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments	4/5/2024	ELS
2	12/30/24	Right-of-way/Easement Updates		ELS

Legend

- Proposed Building
- Concrete Sidewalk
- Proposed Asphalt Pavement
- Zone AE FEMA Floodplain
- Property Boundary
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Security Fence
- Proposed Water Easement
- Proposed Water Line
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant
- Proposed Contours
- Existing Contour Major
- Existing Contour Minor
- Existing Tree Line
- TW Top of Wall
- BW Base of Wall

Grading Notes:

- Proposed grading shall comply with ADA requirements.
- Grading within water easement shall maintain 60" minimum cover over existing 24" transmission main. Proposed grading within easement shall be approved by KC Water prior to commencement.

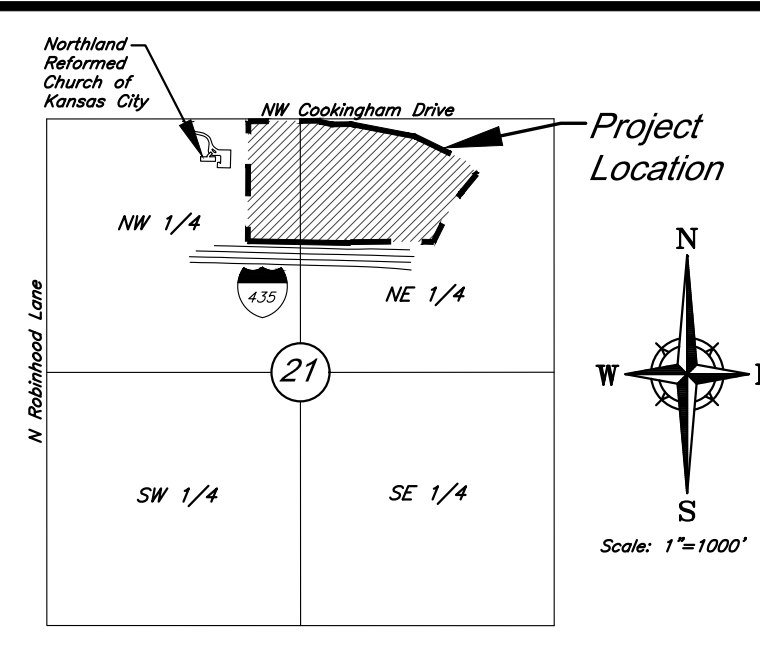
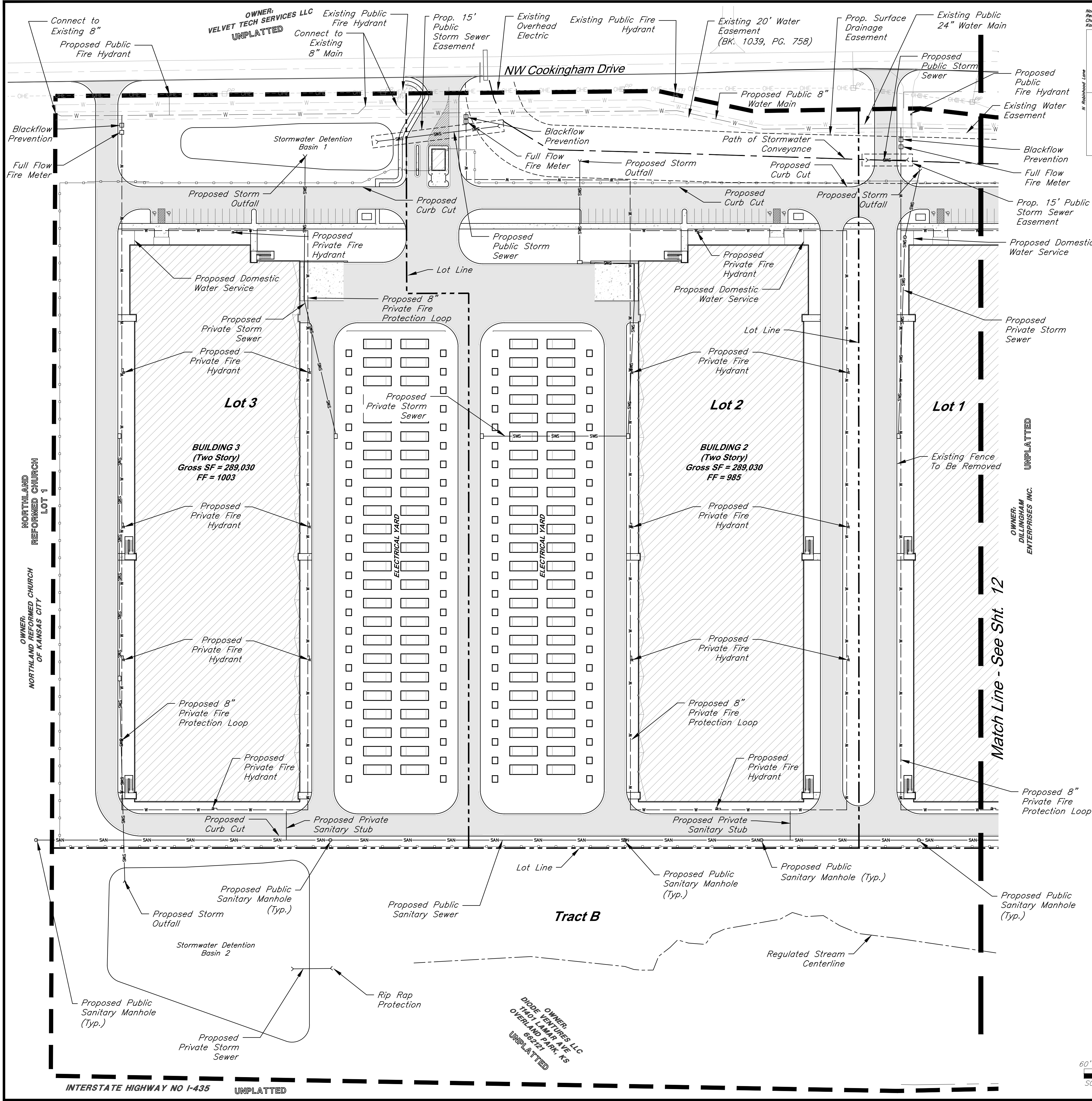
Floodplain Notes:

According to the Flood Insurance Rate Maps (FIRMs) for the city of Kansas City, Missouri (29095C0061G, dated January 20th, 2017), the site is situated mainly within Zone X, areas determined to be outside the 0.2% annual chance floodplain. A channel on the site contains Zone AE, special flood hazard areas.

The north arrow points towards the top of the page. The scale bar indicates a scale of 1"=60'-0".

Grading Plan

C:\15410.1\Civil 3D\Production Drawings\Resizing & Preliminary Development Plans\15410.1\102000.dwg Layout: 11 Utility Plan --- Monday December 30, 2024, 9:08am --- Copyright 2024, George Butler Associates, Inc./Architect 20212, Professional Engineer 000113, Professional Land Surveyor 000259



DATE: 3/15/2024

DESIGN BY: JRH

DRAWN BY: DRV/ELS

PROJECT NO.: 15410.11

SHEET NUMBER

11

OWNER: VELVET TECH SERVICES LLC

UNPLATTED

STATE OF MISSOURI

JONATHAN HEALY

PROFESSIONAL ENGINEER

NUMBER: PE-2018003126

12/30/24

Jay Healy

Professional Engineer

License No. PB-2018003126

M2-3 Rezoning - Pre. Development Plan & Pre. Plat

COOKINGHAM DEVELOPMENT

Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments	4/5/2024	ELS
2	12/30/24	Right-of-way/Easement Updates		ELS

Legend

Property Boundary

Lot Line

60' Building Setback

20' Parking Setback

Proposed Security Fence

Proposed Water Easement

Proposed Water Line

SWS Proposed Storm Sewer

SAN Proposed Sanitary Sewer

Proposed Drainage Easement

Path of Stormwater Conveyance

Proposed Building

Concrete Sidewalk

Proposed Asphalt Pavement

Proposed Sanitary Manhole

Proposed Storm Structure

Proposed Fire Hydrant

General Notes:

1. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site.

2. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018.

3. Required fire department access roads shall be all weather surfaces.

4. Security gates which span across a fire access road shall provide a means for emergency operation.

5. Required fire department access roads shall be designed to support a fire apparatus with a gross axle weight of 85,000 pounds.

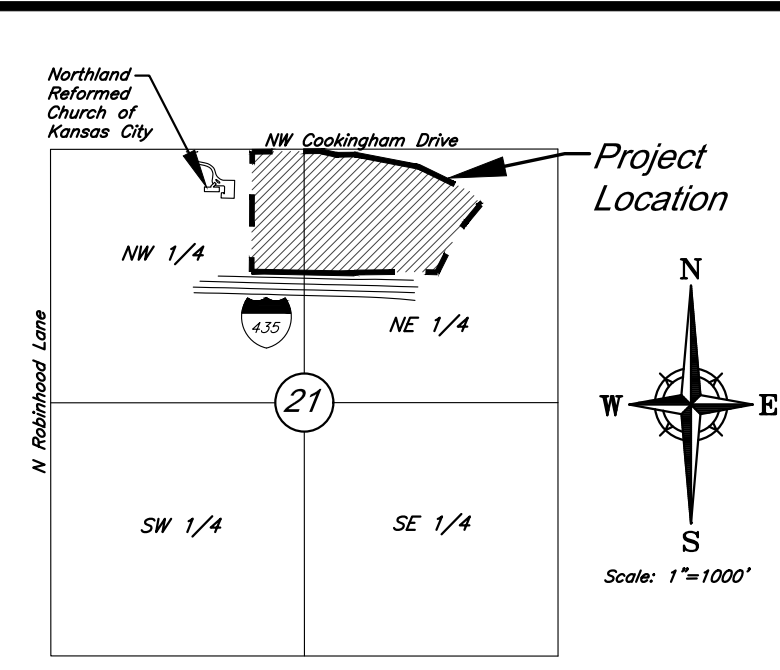
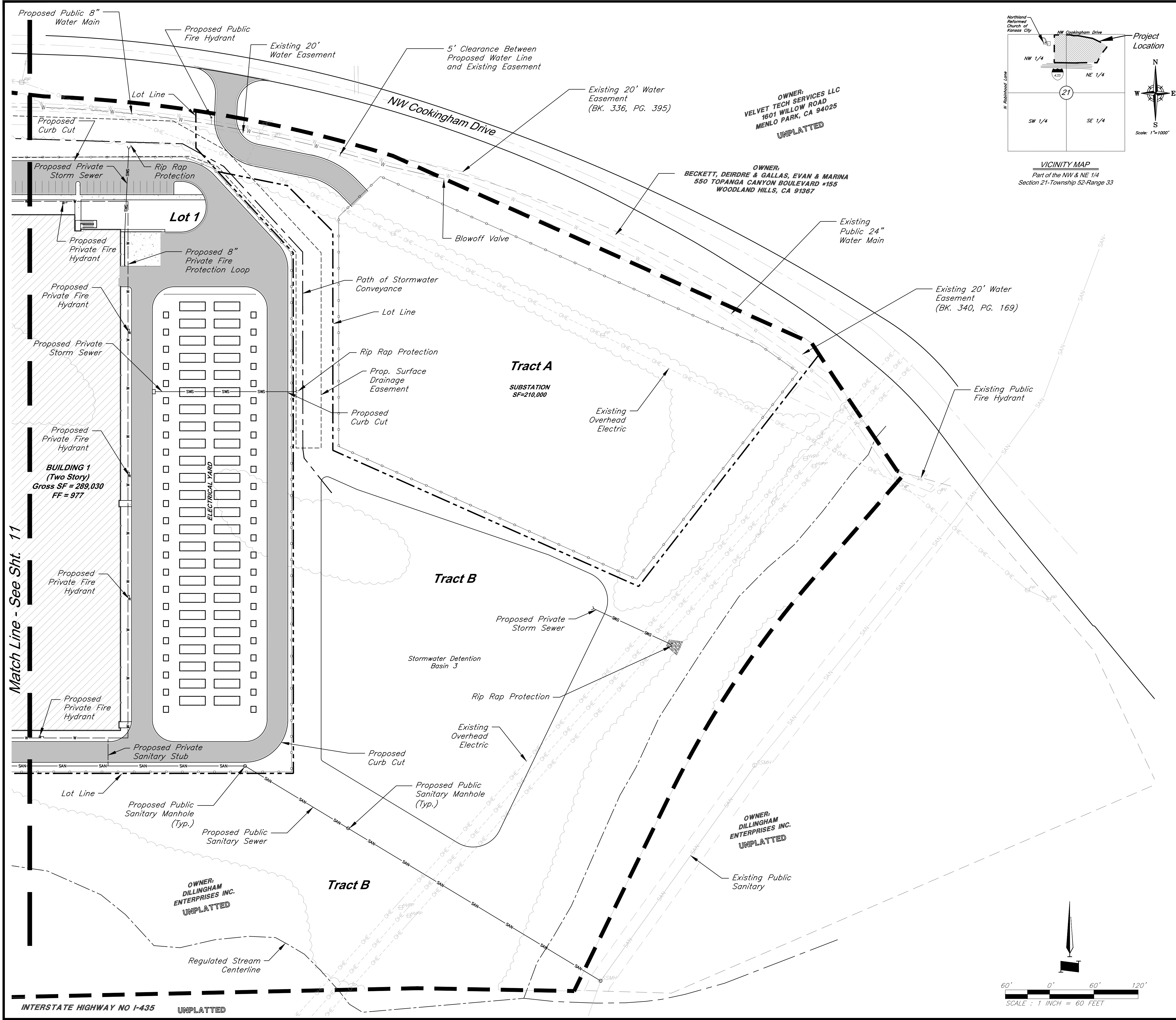
6. All access roads must be completed within the first phase of construction.

7. Public sanitary sewer easements will be located in future work.

8. Public fire hydrants shall meet maximum 300' spacing along Cookingham Drive.

Utility Plan

C:\15410.11\Civil\Production Drawings\Resoning & Preliminary Development Plans\15410.11\CD0900.dwg Layout: 12 Utility Plan --- Monday, December 30, 2024, 9:08am --- Copyright 2024, George Butler Associates, Inc./Architect 20212, Professional Engineer 000133, Professional Land Surveyor 000259



STATE OF MISSOURI
JONATHAN HEALY
PROFESSIONAL ENGINEER
NUMBER
PG-2018003126
12/30/24

8901 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbteam.com

DATE: 3/15/2024
DESIGN BY: JRH
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11
SHEET NUMBER
12

Jay Healy
Professional Engineer
License No. PB-2018003126

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments	4/5/2024	ELS
2	12/30/24	Right-of-way/Easement Updates		ELS

Legend

Property Boundary

Lot Line

60' Building Setback

20' Parking Setback

Proposed Security Fence

Proposed Water Easement

Proposed Water Line

SWS

Proposed Storm Sewer

SAN

Proposed Sanitary Sewer

Proposed Drainage Easement

Path of Stormwater Conveyance

Proposed Building

Concrete Sidewalk

Proposed Asphalt Pavement

Proposed Sanitary Manhole

Proposed Storm Structure

Proposed Fire Hydrant

General Notes:

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6. All access roads must be completed within the first phase of construction.

7. Public sanitary sewer easements will be located in future work.

8. Public fire hydrants shall meet maximum 300' spacing along Cookingham Drive.

Utility Plan

C:\15410.11\Civil\3D\Production Drawings\Rezoning & Preliminary Development Plans\ Preliminary Plat\ 15410.11C3000.dwg Layout: 14 Preliminary Plat Monday, December 30, 2024, 9:08am Copyright 2024, George Butler & Associates, Inc. Professional Engineer 000133, Professional Land Surveyor 000259

PRELIMINARY PLAT FOR COOKINGHAM DEVELOPMENT

Legend

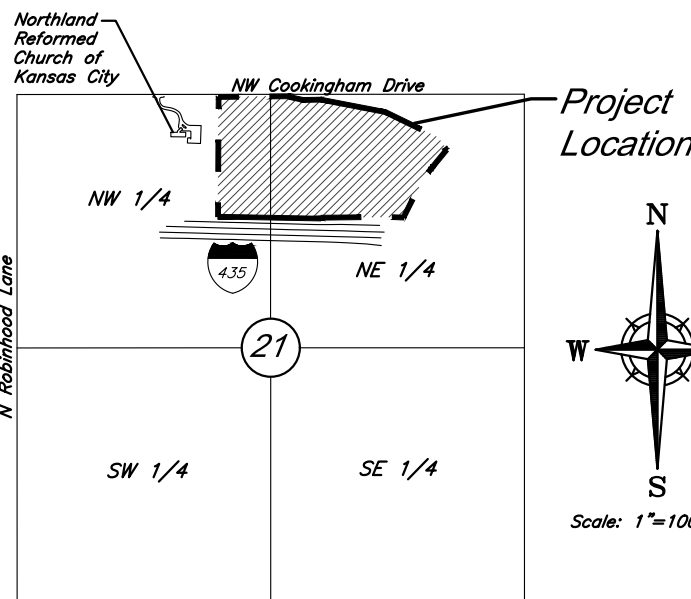
	Property Boundary
	Lot Line
	60' Building Setback
	20' Parking Setback
	Proposed Drainage Easement
	Proposed Water Easement
	Proposed Water Line
	Proposed Storm Sewer
	Proposed Sanitary Sewer
	Proposed Sanitary Manhole
	Proposed Storm Structure
	Proposed Fire Hydrant
	Existing Tree Line
	Area to be Rezoned to M2-3

SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS

a) Existing Zoning: AG-R & M2-3
Proposed Zoning: M2-3

Item	Lot 1		Lot 2		Lot 3		Tract A		Tract B		Total
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
b) Total Land Area (SFT)	449,865	449,865	484,620	484,620	479,403	479,403	218,275	218,275	861,148	861,148	2,493,311
Total Land Area (AC)	10.33	10.33	11.13	11.13	11.01	11.01	5.01	5.01	19.77	19.77	57.24
c) Land Area for Street ROW (SFT)	0	0	0	3,894	0	5,724	0	0	0	0	9,618
Land Area for Street ROW (AC)	0.00	0.00	0.00	0.09	0.00	0.13	0.00	0.00	0.00	0.00	0.22
d) Net Land Area (SFT)		449,865		480,726		473,679		218,275		861,148	2,483,693
Net Land Area (AC)		10.33		11.04		10.87		5.01		19.77	57.02

Note:
A waiver of the right-of-way dedication requirement, in the amount of 17 feet, is requested pursuant to 88.405-02-D.



VICINITY MAP
Part of the NW & NE 1/4
Section 21-Township 52-Range 33

LEGAL DESCRIPTION

ALL THAT PART OF THE EAST 32 ACRES OF THE NORTHWEST 1/4 TOGETHER WITH THAT PART OF THE WEST 32.29 ACRES OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO. 291 AND NORTHERLY OF INTERSTATE HIGHWAY NO. 435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

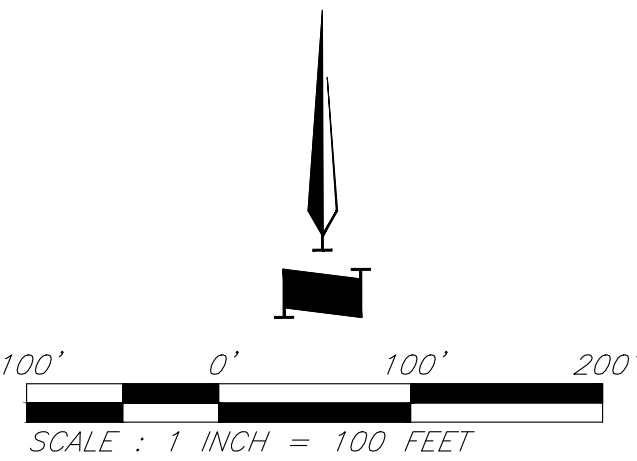
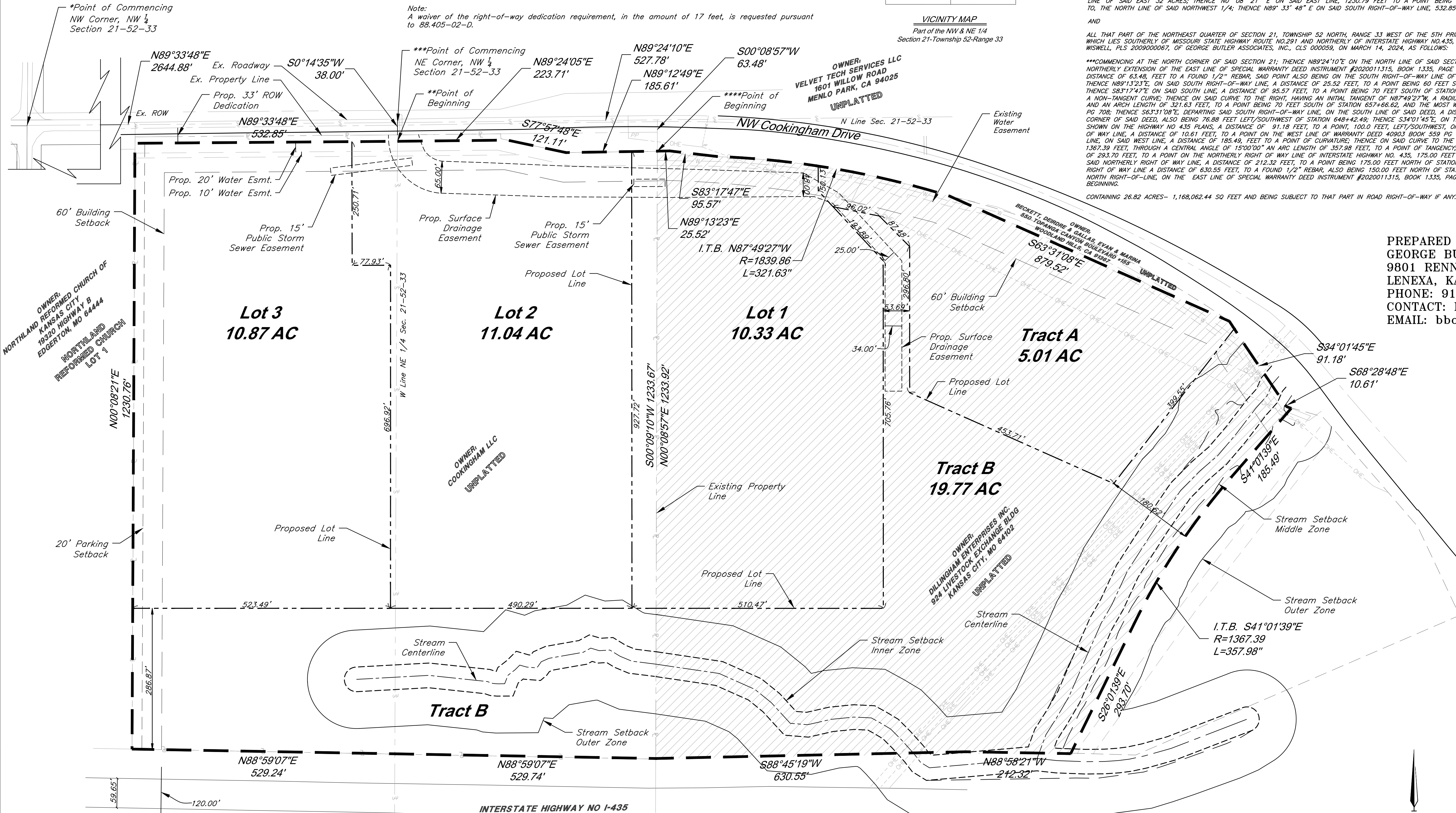
*COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON THE NORTH LINE OF SAID NORTHWEST 1/4, 2644.88 FEET TO AN AXLE AT THE APPARENT NORTHEAST CORNER OF SAID NORTHWEST 1/4; THENCE S0° 14' 35" W ON THE EAST LINE OF SAID NORTHWEST 1/4, 38.00 FEET TO THE *POINT OF BEGINNING; THENCE N89° 24' 05" E ON SAID SOUTH RIGHT-OF-WAY LINE, 223.71 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF MISSOURI HIGHWAY ROUTE 291; THENCE S77° 57' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 121.11 FEET TO A POINT 60.00 FEET LEFT OF CENTERLINE HIGHWAY STATION 664+10 BACK = 663+68.2 AHEAD; THENCE N89° 12' 49" E ON SAID SOUTH RIGHT-OF-WAY LINE, 185.61 FEET TO THE EAST LINE OF SAID WEST 32.29 ACRES; THENCE S0° 09' 10" W ON SAID EAST LINE, 1233.67 FEET TO THE NORTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY ROUTE 435; THENCE N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.74 FEET TO THE EAST LINE OF SAID NORTHWEST 1/4; THENCE CONTINUING N88° 59' 07" W ON SAID NORTH RIGHT-OF-WAY LINE, 529.24 FEET TO THE WEST LINE OF SAID EAST 32 ACRES; THENCE N0° 08' 21" E ON SAID EAST LINE, 1233.79 FEET TO A POINT BEING 38.00 FEET SOUTH FROM, AS MEASURED PERPENDICULAR TO, THE NORTH LINE OF SAID NORTHWEST 1/4; THENCE N89° 33' 48" E ON SAID SOUTH RIGHT-OF-WAY LINE, 532.85 FEET TO THE POINT OF BEGINNING.

AND
ALL THAT PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 52 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, KANSAS CITY, PLATTE COUNTY, MISSOURI, WHICH LIES SOUTHERLY OF MISSOURI STATE HIGHWAY ROUTE NO. 291 AND NORTHERLY OF INTERSTATE HIGHWAY NO. 435, MORE PARTICULARLY DESCRIBED BY TIMOTHY BLAIR WISWELL, PLS 2009000067, OF GEORGE BUTLER ASSOCIATES, INC., CLS 000059, ON MARCH 14, 2024, AS FOLLOWS:

COMMENCING AT THE NORTH CORNER OF SAID SECTION 21; THENCE N89° 24' 10" E ON THE NORTH LINE OF SAID SECTION 21, A DISTANCE OF 527.78 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367; THENCE S00° 08' 57" W ON SAID EXTENDED LINE, A DISTANCE OF 63.48 FEET TO A FOUND 1/2" REBAR, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY ROUTE 291, **THE POINT OF BEGINNING; THENCE N89° 13' 23" E ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 25.52 FEET, TO A POINT BEING 60 FEET SOUTH OF ROUTE NO. 291 CENTERLINE STATION 661+98.40; THENCE S83° 17' 47" E ON SAID SOUTH LINE, A DISTANCE OF 95.57 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 661+00.00, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE; THENCE ON SAID CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT OF N87° 49' 27" W, A RADIUS OF 1839.86, THROUGH A CENTRAL ANGLE OF 10° 00' 03", AND AN ARC LENGTH OF 321.63 FEET, TO A POINT BEING 70 FEET SOUTH OF STATION 657+66.62, AND THE MOST WESTERLY CORNER OF WARRANTY DEED 40903 BOOK 559 PG 708; THENCE S83° 31' 08" E, DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, ON THE SOUTH LINE OF SAID DEED, A DISTANCE OF 879.52 FEET TO THE MOST SOUTHEASTERLY CORNER OF SAID DEED, ALSO BEING 76.88 FEET LEFT/SOUTHWEST OF STATION 648+42.49; THENCE S34° 01' 45" E, ON THE SOUTH RIGHT-OF-WAY LINE OF SAID ROUTE 291, SHOWN ON THE HIGHWAY NO. 435 PLANS, A DISTANCE OF 91.18 FEET, TO A POINT, 100.0 FEET, LEFT/SOUTHWEST, OF STATION 647+50; THENCE S68° 28' 48" E, ON SAID RIGHT OF WAY LINE, A DISTANCE OF 10.61 FEET, TO A POINT ON THE WEST LINE OF WARRANTY DEED 40903 BOOK 559 PG 708; THENCE S41° 01' 39" W, DEPARTING SAID RIGHT-OF-WAY LINE, ON SAID WEST LINE, A DISTANCE OF 185.49 FEET TO A POINT OF CURVATURE; THENCE ON SAID CURVE TO THE LEFT, AND ON SAID WEST LINE, HAVING A RADIUS OF 1367.39 FEET, THROUGH A CENTRAL ANGLE OF 15° 00' 00", AN ARC LENGTH OF 357.98 FEET, TO A POINT OF TANGENCY; THENCE S26° 01' 39" E ON SAID WEST LINE, A DISTANCE OF 293.70 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY NO. 435, 175.00 FEET NORTH OF STATION 931+88.32; THENCE N88° 58' 21" W ON SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 212.32 FEET, TO A POINT BEING 175.00 FEET NORTH OF STATION 729+76.00; THENCE S88° 45' 19" W ON SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 630.55 FEET, TO A FOUND 1/2" REBAR, ALSO BEING 150.00 FEET NORTH OF STATION 924+50.00; THENCE N00° 08' 57" E, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, ON THE EAST LINE OF SPECIAL WARRANTY DEED INSTRUMENT #2020011315, BOOK 1335, PAGE 367, A DISTANCE OF 1233.92 FEET, TO THE POINT OF BEGINNING.


CONTAINING 26.82 ACRES- 1,168,062.44 SQ FEET AND BEING SUBJECT TO THAT PART IN ROAD RIGHT-OF-WAY IF ANY.

PREPARED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
CONTACT: BRIAN BOYD
EMAIL: bboyd@gbateam.com



Preliminary Plat

C:\15410.11\Civil 3D\Production Drawings\Exhibits\2024.05.30_KC Water Coordination Exhibit.dwg Layout: 15 Section Exhibit -- Monday, December 30, 2024, 9:08am -- Copyright 2024, George Butler Associates, Inc. Architect 20212, Professional Engineer 000133, Professional Land Surveyor 000259



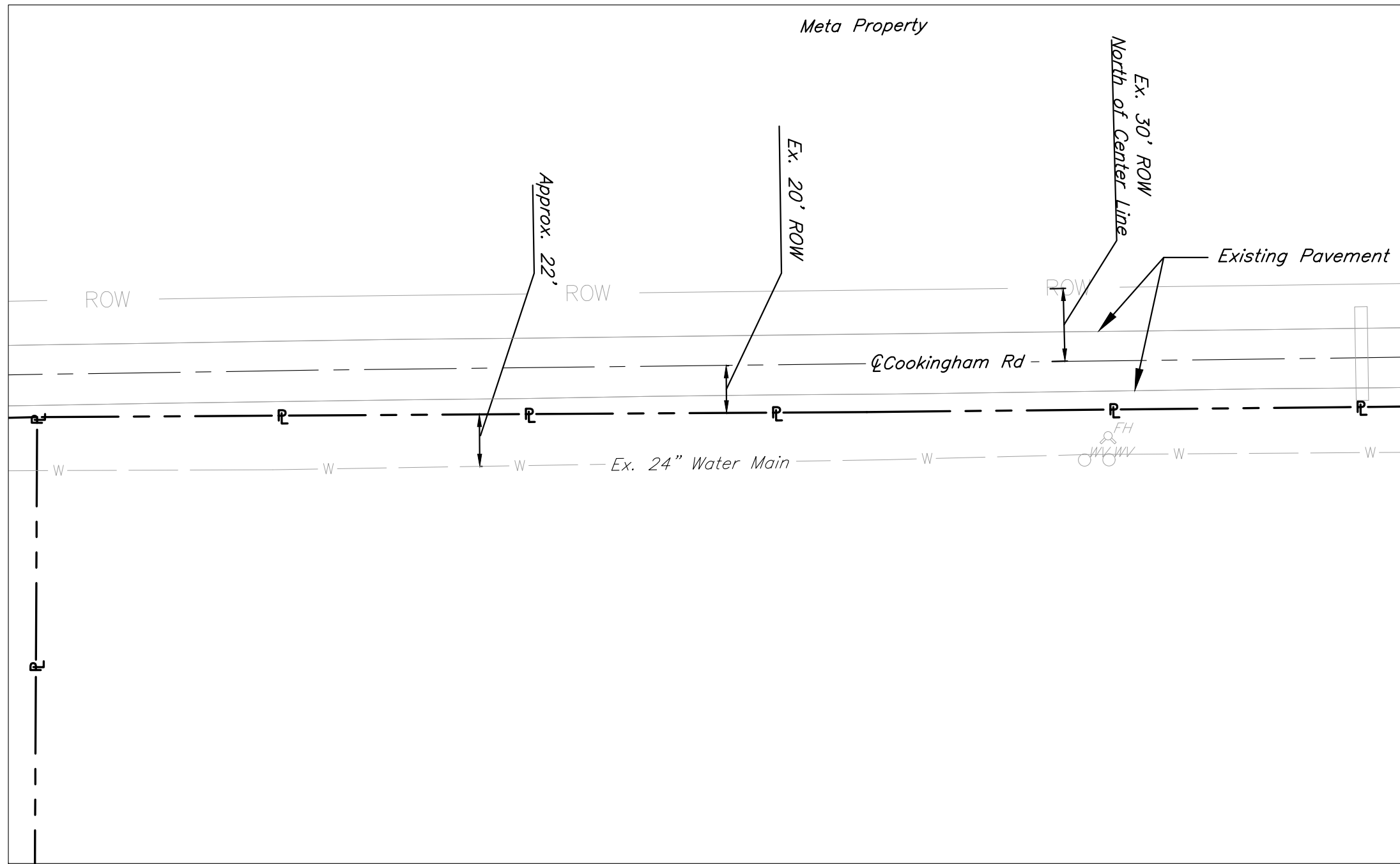
GBA
9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

DATE: 3/15/2024
DESIGN BY: JRH
DRAWN BY: DRV/ELS
PROJECT NO.: 15410.11
SHEET NUMBER
15

Jay Healy
Professional Engineer
License No. PB-2018003126

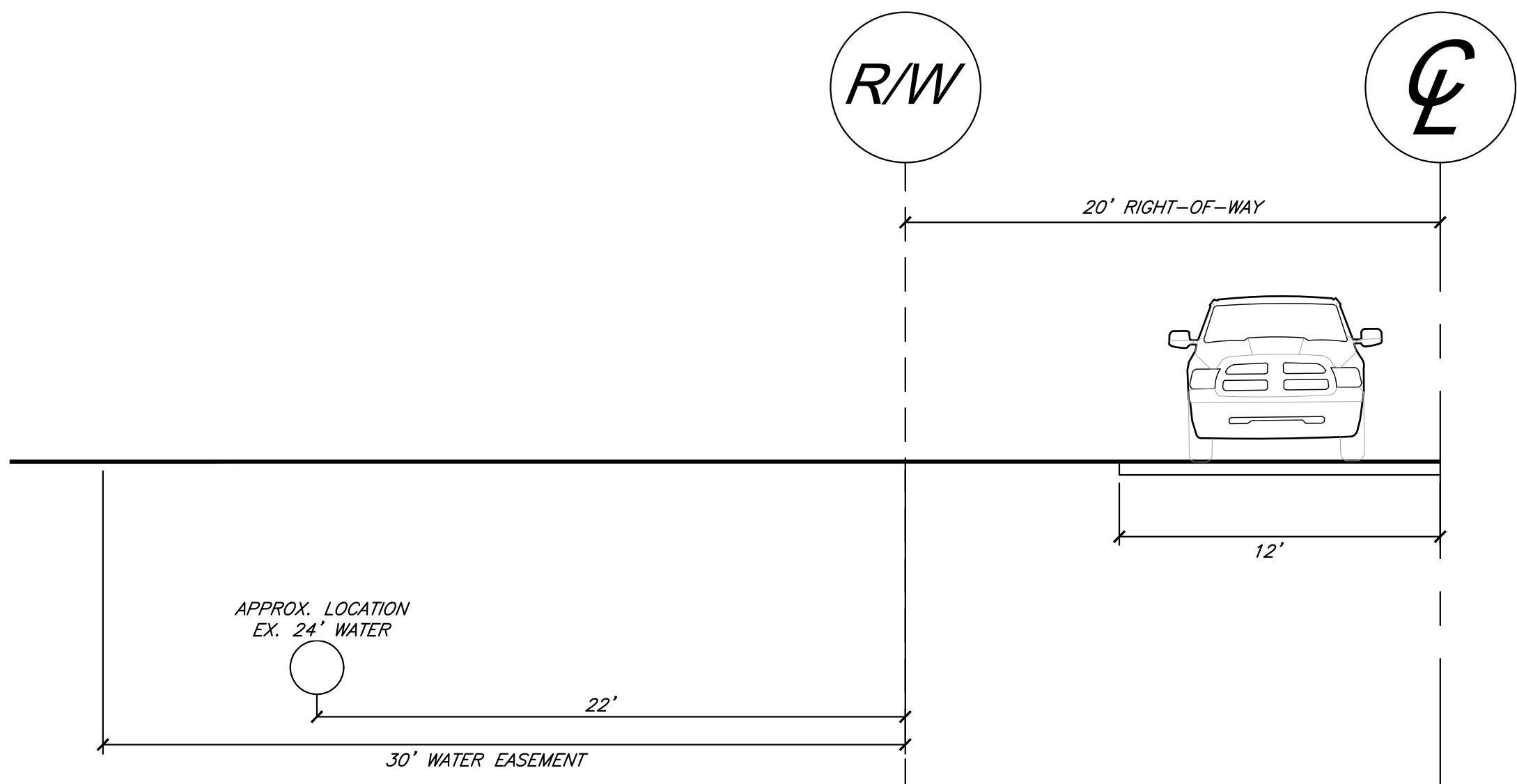
M2-3 Rezoning — Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	4/19/24	City Comments 4/5/2024	ELS	
2	12/30/24	Right-of-way/Easement Updates	ELS	



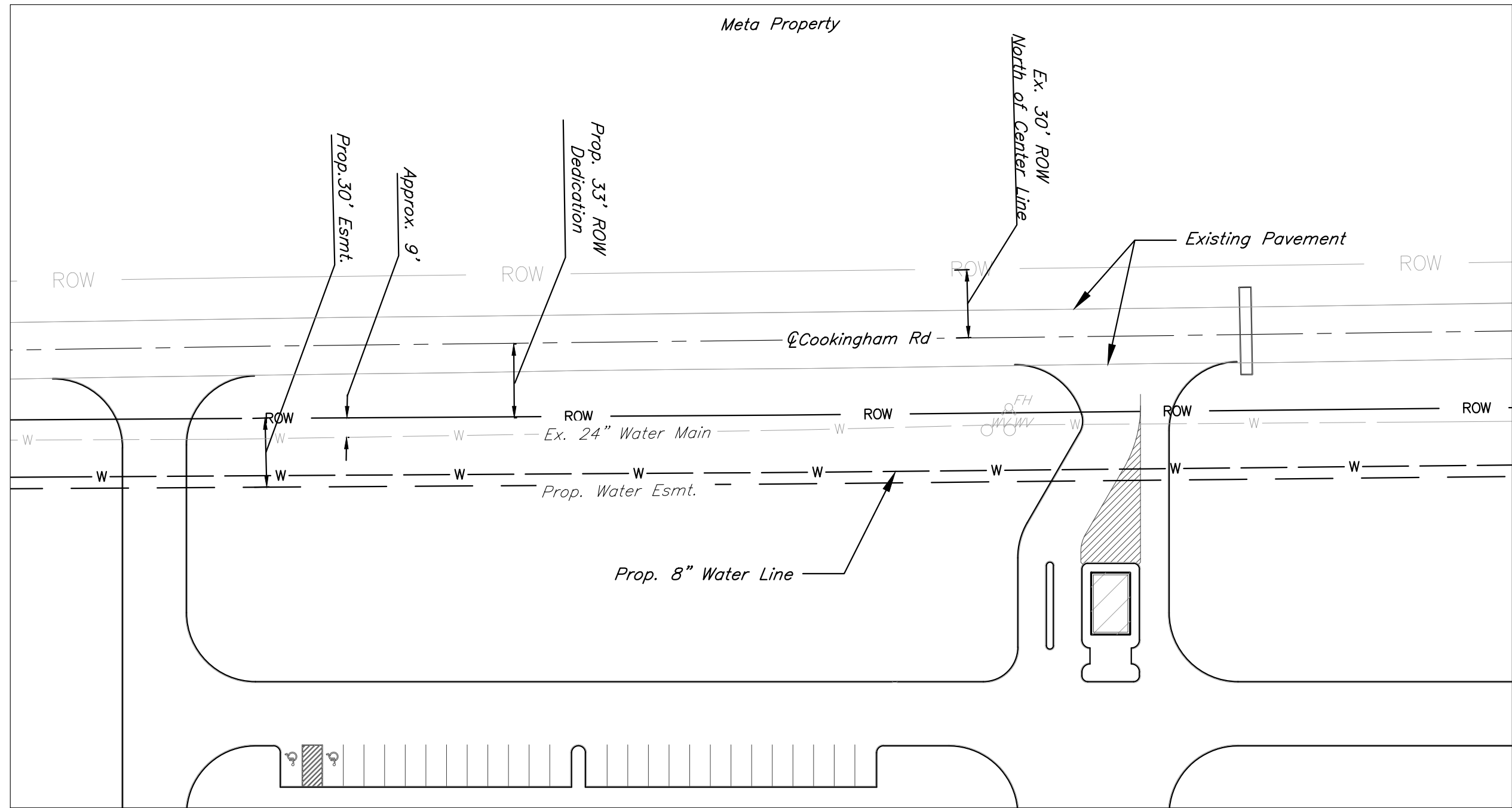
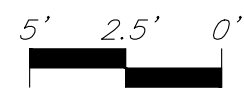
EXISTING CONDITIONS PLAN VIEW

SCALE: 1" = 50'-0"



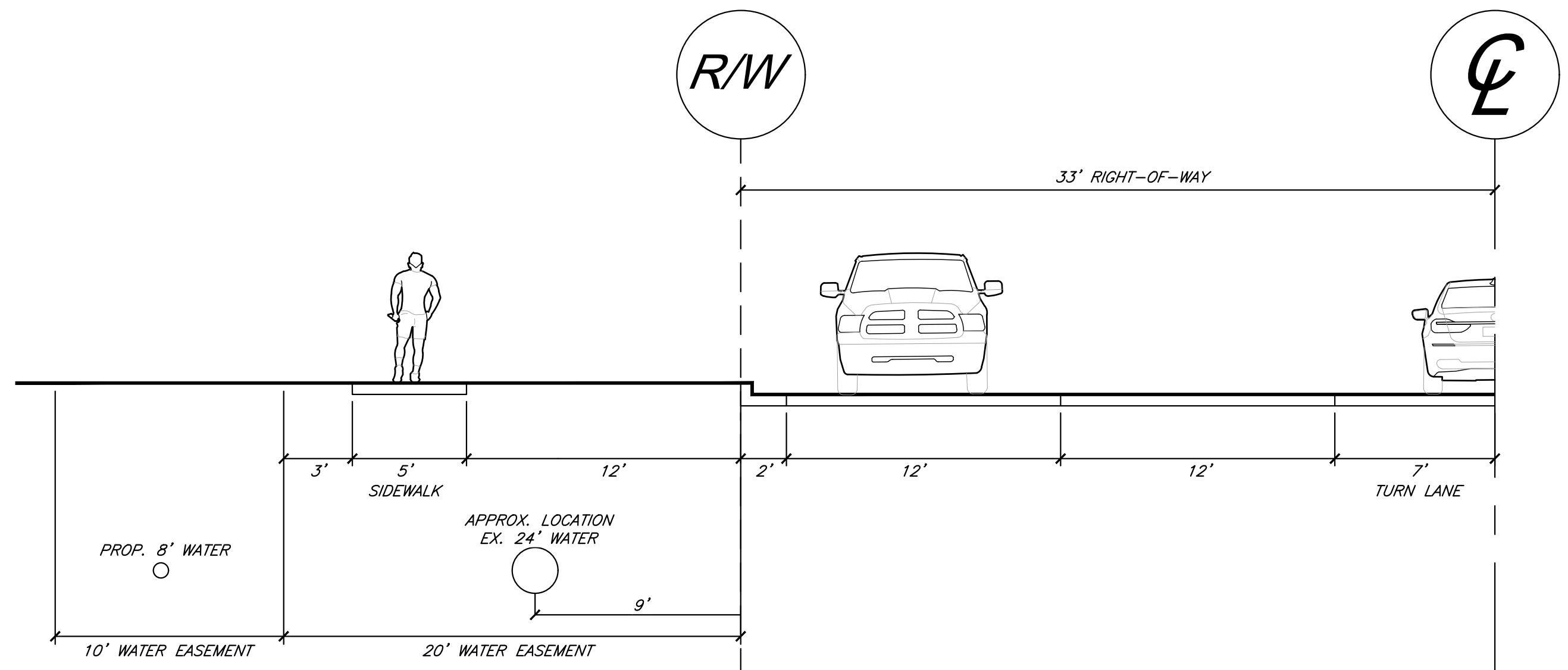
EXISTING TYPICAL RIGHT-OF-WAY SOUTH SECTION - NW COOKINGHAM DRIVE

SCALE: 1" = 5'-0"



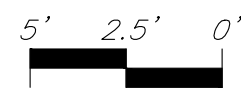
PROPOSED CONDITIONS PLAN VIEW

SCALE: 1" = 50'-0"

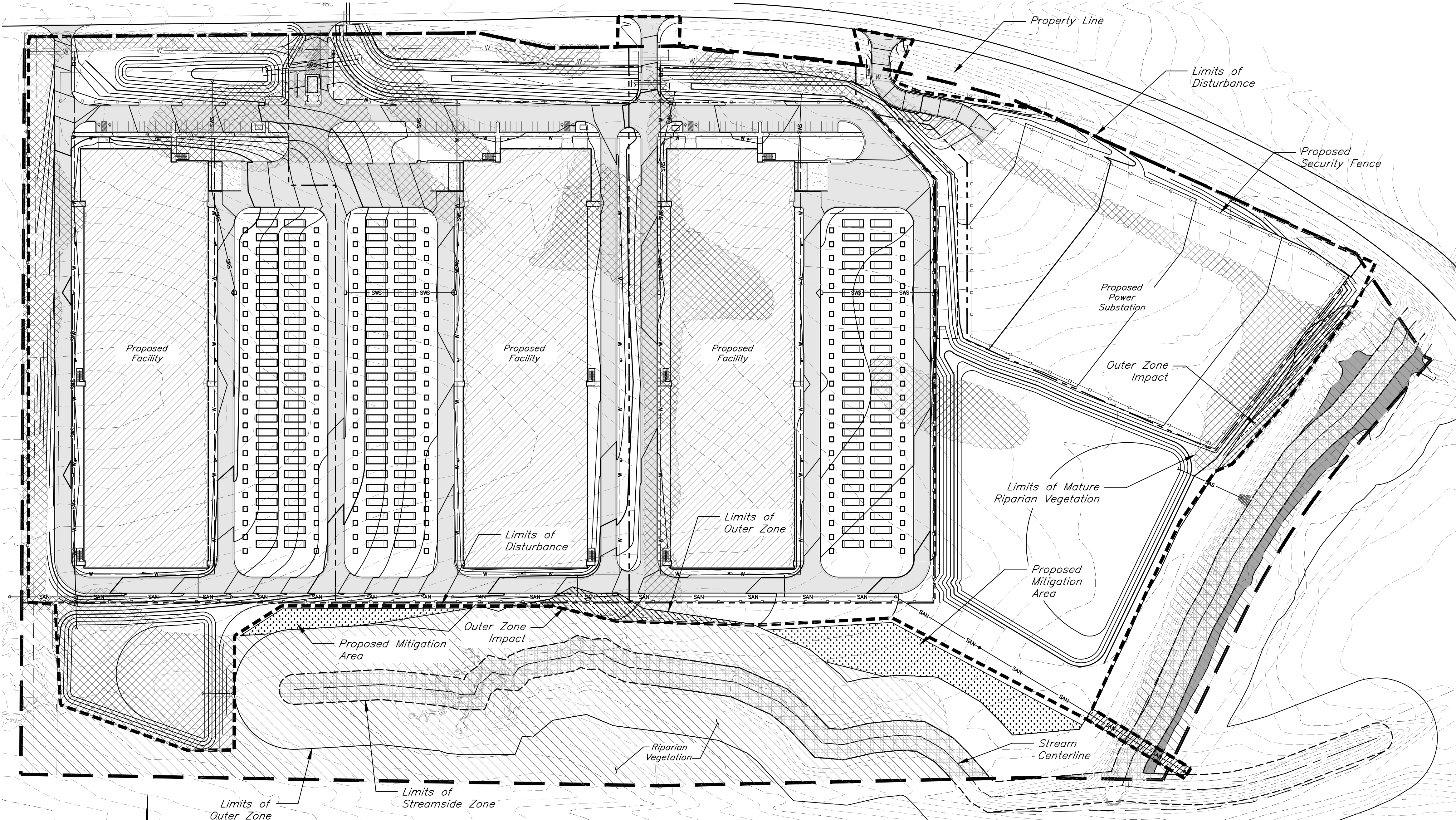


FUTURE THOROUGHFARE WITH 33' RIGHT-OF-WAY SOUTH SECTION - NW COOKINGHAM DRIVE

SCALE: 1" = 5'-0"



STREAM BUFFER PLAN



GBA
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M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

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VICINITY MAP
Not to Scale
KCMO Regulated Stream within Property Boundary:
Length = 2426 FT

Stream Buffer Area	
Total Stream Buffer Area within project area	9.81 AC
Total Streamside Zone	2.30 AC
Total Middle Zone	0.57 AC
Total Outer Zone	6.74 AC
Mature Vegetation/Steep Slopes in Outer Zone	4.85 AC
Proposed Stream-Side Impact	0.02 AC (0.80%)
Proposed Middle Zone Impact	0.007 AC (1.23%)
Proposed Outer Zone Impact	0.41 AC (6.08%)
Required Stream-Side Zone Mitigation (4:1)	0.08 AC
Required Middle Zone Mitigation (4:1)	0.03 AC
Required Outer Zone Mitigation (1.5:1)	0.62 AC
Total Required Mitigation	0.73 AC
Provided Mitigation	0.84 AC

Legend

- Existing Contour
- Proposed Contour
- Property Line
- Limits of Disturbance
- Regulated Stream Channel
- Stream Buffer Limits of Streamside Zone
- Stream Buffer Limits of Middle Zone
- Stream Buffer Limits of Outer Zone
- Proposed Asphalt Pavement
- Trees Removed
- Trees Preservation
- Stream Buffer Impact
- Existing Tree Line
- Streamside Zone
- Middle Zone
- Proposed Mitigation

Slope Map Legend

- 0%-15%
- 15% or Greater

SCALE : 1 INCH = 200 FEET

SLOPE MAP

SCALE : 1 INCH = 100 FEET

PREPARED FOR:
GBA REALTY LLC
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 816-876-3893
CONTACT: GRAHAM JONES
EMAIL: gjones@gbabuilders.com

PREPARED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
CONTACT: BRIAN BOYD
EMAIL: bboyd@gbateam.com

STREAM BUFFER SIGN DETAIL
Not to Scale

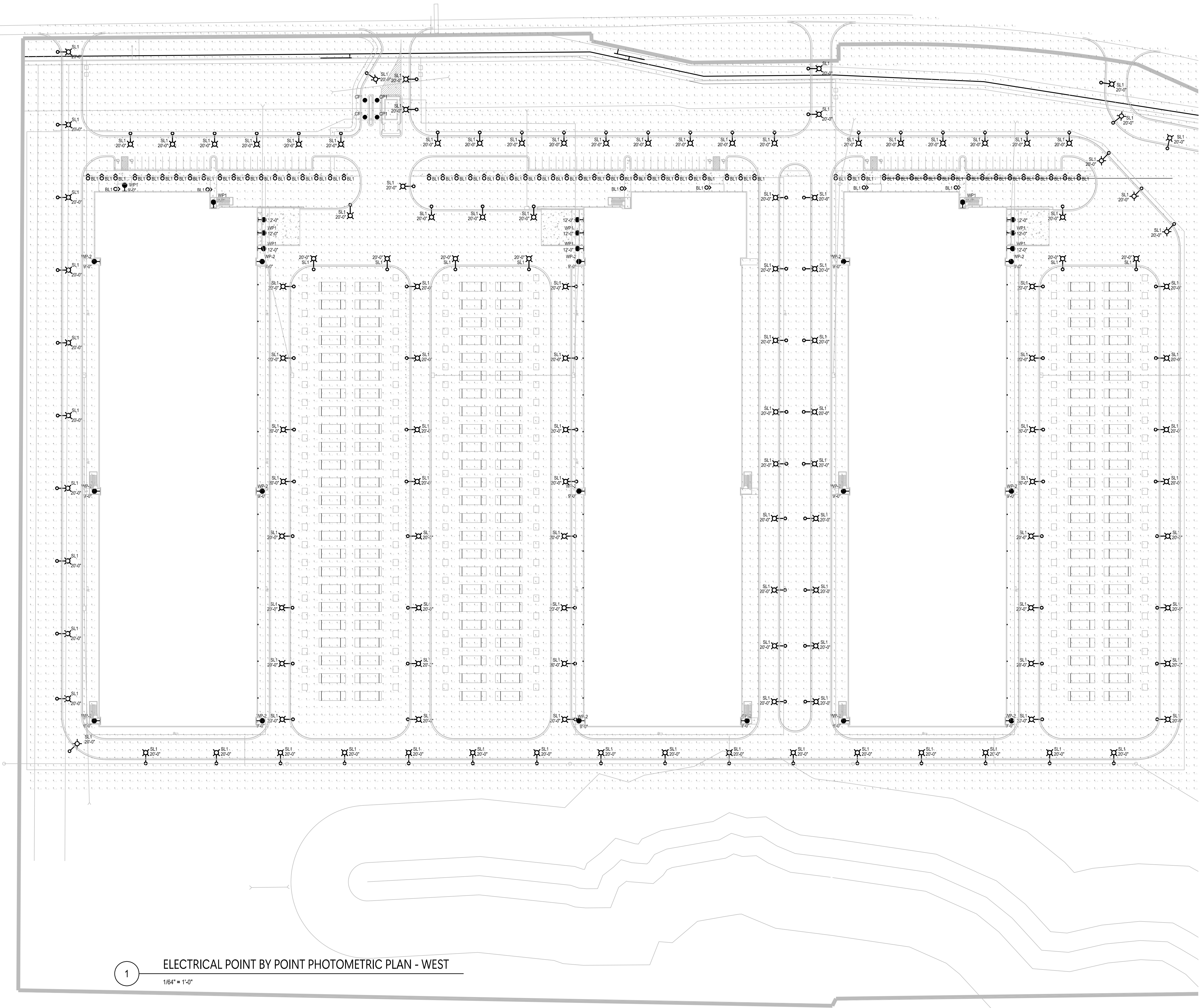
Sign face - .080" thick aluminum-fasten to standard post
Lettering Minimum 1" High
1/2" wide border
COLOR SCHEDULE
Background - Green (Pantone/PMS342)
Border and Lettering -White (Non-retroreflective)
4x4 wood or recycled composite post.
12"x36" Concrete Foundation
12"x12"x4" Solid Concrete Block

NOTE:
Contractor shall submit a shop drawing for approval prior to construction. Submission shall include a sample representing the noted color schedule.

C:\Users\jpm\OneDrive\Documents\TWO OAKS - Design\Projects\Treat Consulting\GBA Kansas City\MO-2-Design\Drawings\AutoCAD\Electrical\GBA Site Lighting Plan2.dwg
JEREMIAH PRINCE
3/6/2024 1:47 PM

Light Fixture Schedule						
ID	DESCRIPTION	MOUNTING	LAMP TYPE	VOLTAGE	WATTS	CATALOG NUMBER
SL1	SINGLE-TYPE 3-30" POLE MOUNTED	POLE	LED	MV/DLT	99	LITHONIA ESX1 LED P2
SL2	SINGLE-TYPE 3-30" POLE MOUNTED	POLE	LED	MV/DLT	99	LITHONIA ESX1 LED P2
WP1	WALL PACK WEDGE	WALL	LED	MV/DLT	18	LITHONIA WEDGE P3 LED 40K 80CRI TSM MV/DLT
BL1	ROUND BOLLARD 40"	GRADE	LED	MV/DLT	16	LITHONIA KBR8 LED LSC 350 40W AS1 MV/DLT
CP1	CANOPY	SURFACE	LED	MV/DLT	17	LITHONIA VCP6 VAP1 40K 80CRI TSM MV/DLT

SYMBOL LIST	
○	DESCRIPTION
—H—	SINGLE POLE MOUNTED LUMINAIRE
—H—H—	DOUBLE POLE MOUNTED LUMINAIRE
○	BOLLARD (CHEVROON INDICATES DIRECTION)
●	WALL MOUNTED LUMINAIRE (MOUNTING HEIGHT AS INDICATED)



1 ELECTRICAL POINT BY POINT PHOTOMETRIC PLAN - WEST
1/64" = 1'-0"

GBA Realty

9801 Renner Blvd.
Lenexa, Kansas 66219

TWO OAKS

DESIGN & CONSULTING

4826 ACADEMY DRIVE
MADISON, WI 53716

JOB #:

COOKINGHAM
DEVELOPMENT
KANSAS CITY, MISSOURI

CHECKED BY		JP
ISSUE DATE		03/12/24
REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE:
ELECTRICAL
POINT BY POINT
PHOTOMETRIC SITE PLAN
WEST

ESL1.1

SHEET NO.

C:\Users\jpm\TWO OAKS\DESIGN\CONSULTING\TWO OAKS - Documents\Projects\Treat Consulting\GBA Kansas City\MO2-Design\Models and Drawings\AutoCAD\Electrical\GBA Site Lighting Plan2.dwg
JEREMIAH PRINCE
3/6/2024 3:08 PM

A

B

C

D

E

F

1

2

3

4

5

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7

8

GBA Realty

9801 Renner Blvd.
Lenexa, Kansas 66219



4826 ACADEMY DRIVE
MADISON, WI 53716

JOB #:

COOKINGHAM
DEVELOPMENT
KANSAS CITY, MISSOURI

CHECKED BY JP
ISSUE DATE 03/12/24

REVISIONS		
NO.	DATE	DESCRIPTION

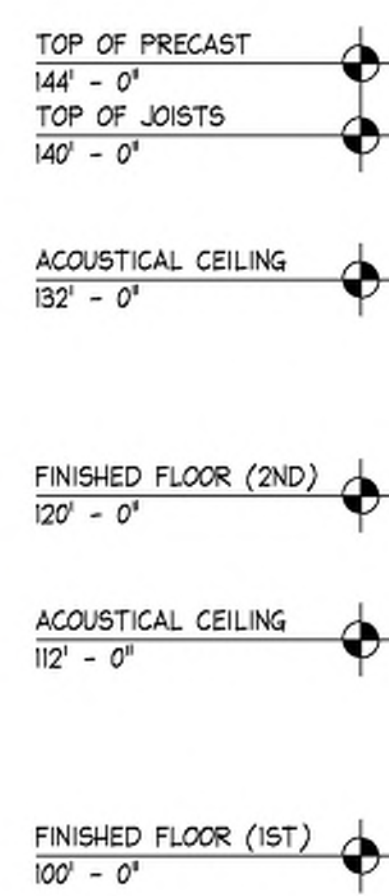
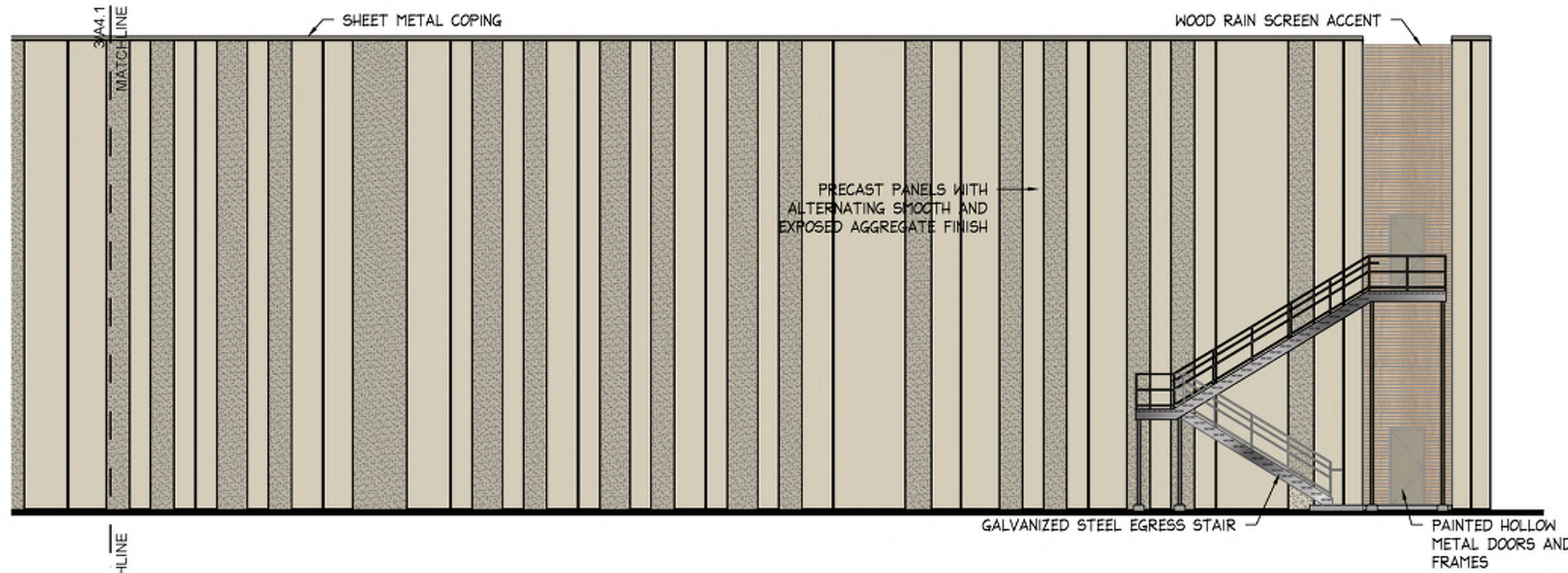
SHEET TITLE:
ELECTRICAL
POINT BY POINT
PHOTOMETRIC SITE PLAN
EAST

ESL1.2

SHEET NO.

MATCHLINE SEE SHEET ESL1.1 FOR CONTINUATION

1 ELECTRICAL POINT BY POINT PHOTOMETRIC PLAN - EAST
1/64" = 1'-0"



Bell / Knott & Associates
CORPORATE ARCHITECTS, P.C.
12730 State Line Road Suite 100 Leawood, KS 66209
Voice: 913.378.1600 Fax: 913.378.1601 www.bellknott.com

DATE: 3/15/2024
DESIGN BY: SSC
DRAWN BY: SSC
PROJECT NO.: 23-034
SHEET NUMBER
A4.1

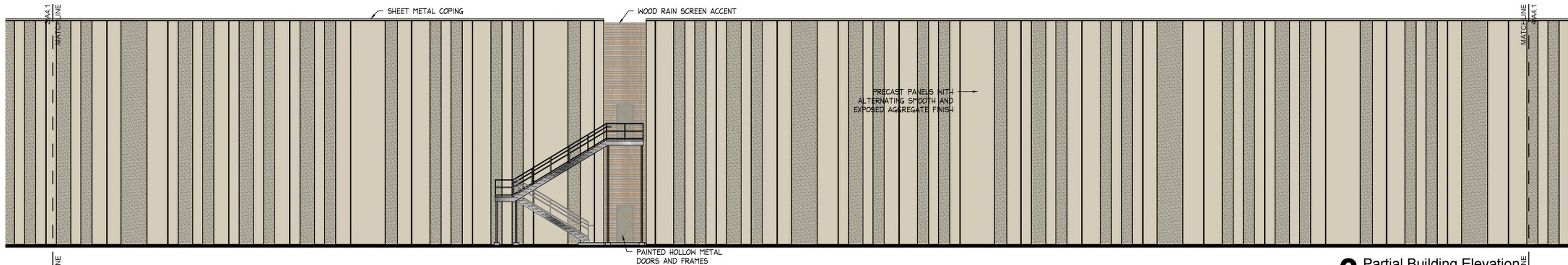
Kerry L. Knott
Registered Architect
License No. A-4990

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

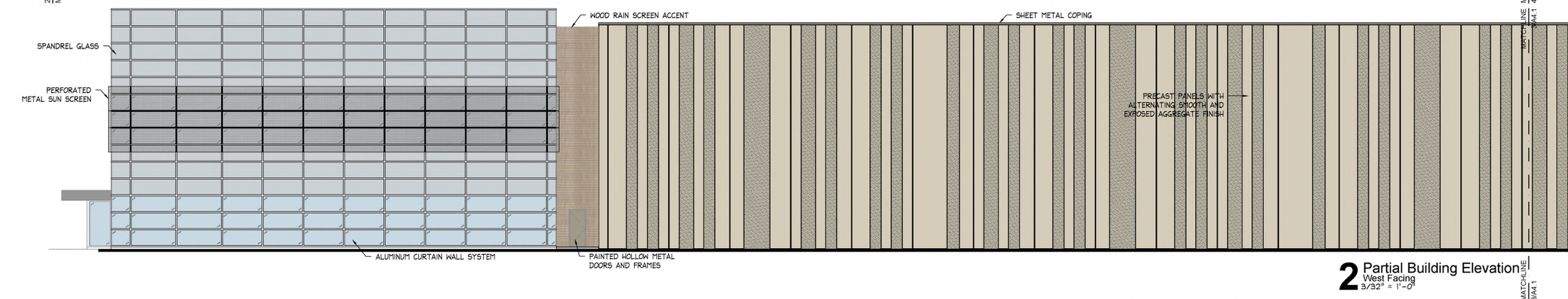
NO.	DATE	REVISIONS	BY	APPROVED

General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.

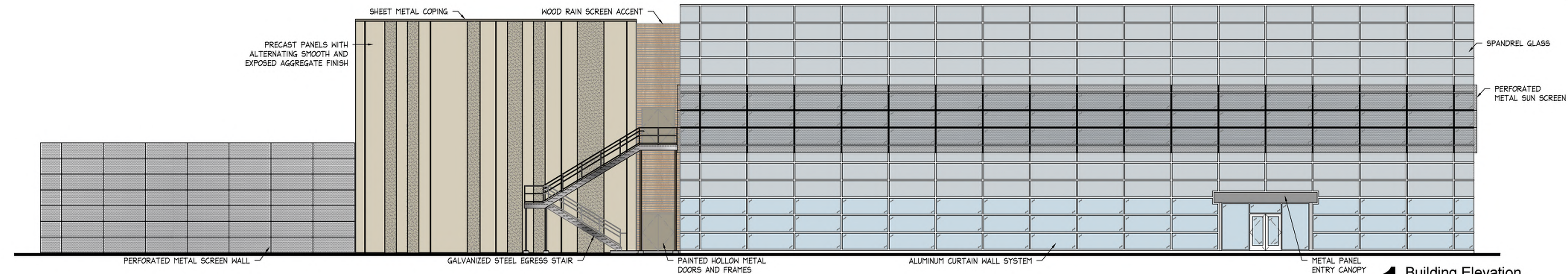
4 Partial Building Elevation
West Facing
3/32" = 1'-0"




3 Partial Building Elevation
West Facing
3/32" = 1'-0"



2 Partial Building Elevation
West Facing
3/32" = 1'-0"



1 Building Elevation
North Facing
3/32" = 1'-0"



**Bell / Knott
& Associates**
CORPORATE ARCHITECTS, P.C.
12730 State Line Road Suite 100
Leawood, KS 66209
Voice: 913.378.1600
Fax: 913.378.1601
www.bellknott.com

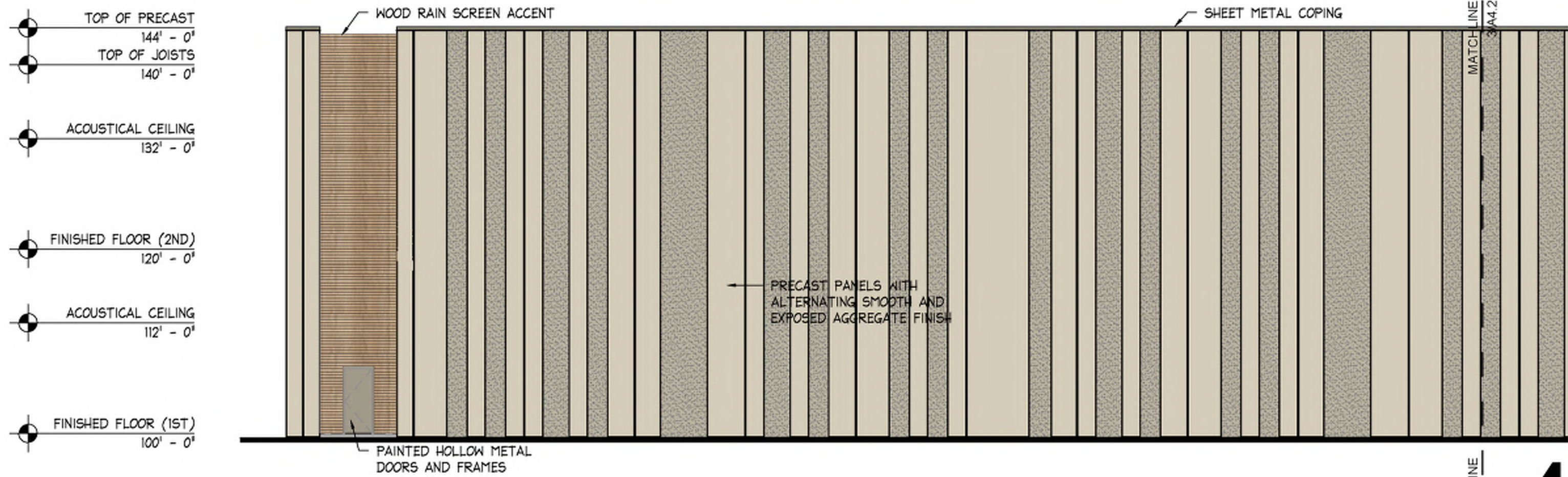
DATE: 3/15/2024
DESIGN BY: SSC
DRAWN BY: SSC
PROJECT NO.: 23-034
SHEET NUMBER
A4.2

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

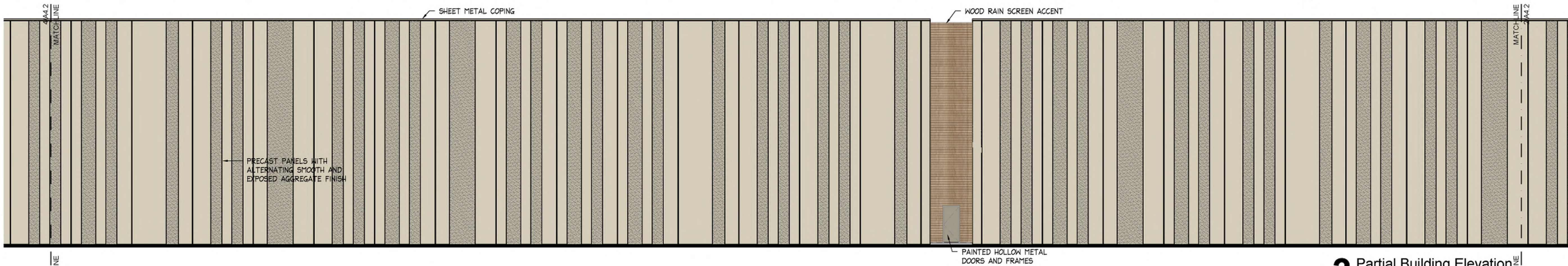
Kerry L. Knott
Registered Architect
License No. A-4990

NO.	DATE	REVISIONS	BY	APPROVED

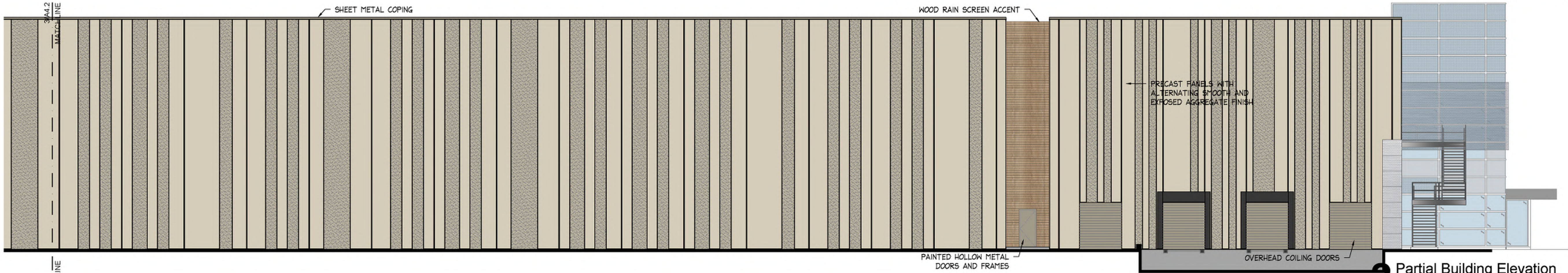
General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.



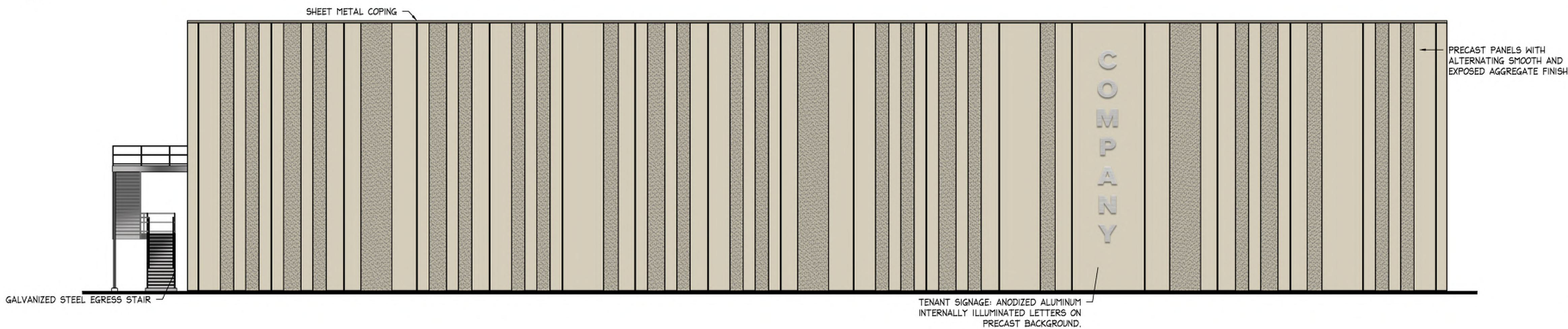
4 Partial Building Elevation
East Facing
3/32" = 1'-0"




3 Partial Building Elevation
East Facing
3/32" = 1'-0"



2 Partial Building Elevation
East Facing
3/32" = 1'-0"



1 Building Elevation
South Facing
3/32" = 1'-0"



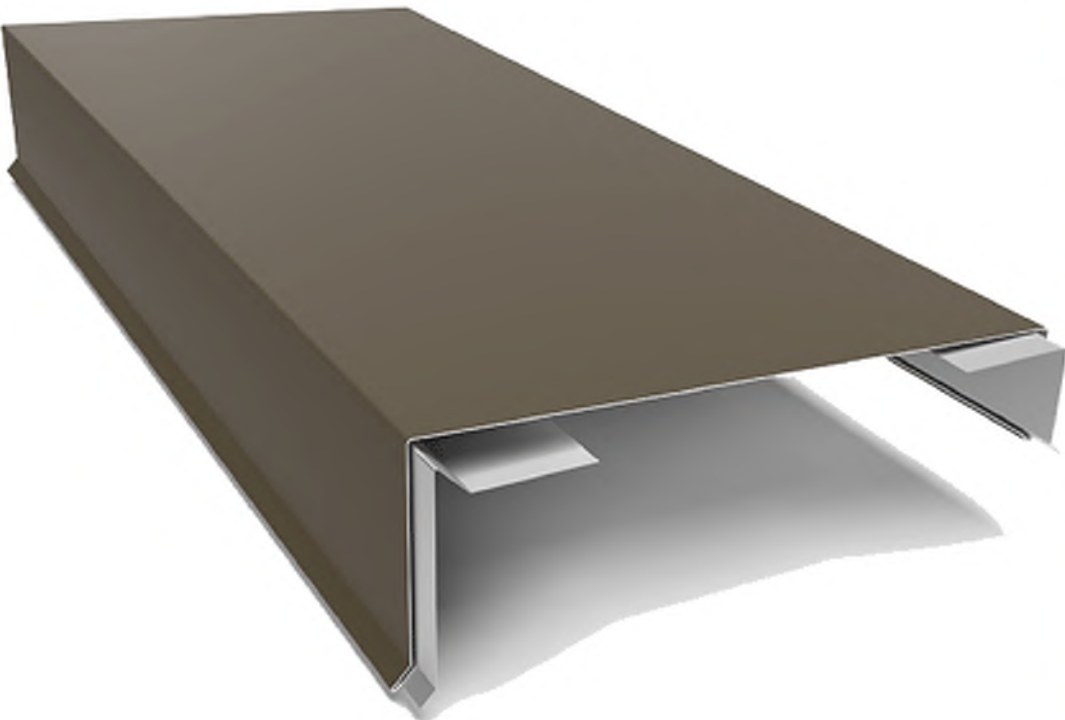
Bell / Knott & Associates
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12730 State Line Road Suite 100
Leawood, KS 66209
Voice: 913.378.1600
Fax: 913.378.1601
www.bellknott.com

DATE: 3/15/2024
DESIGN BY: SSC
DRAWN BY: SSC
PROJECT NO.: 23-034
SHEET NUMBER
A4.3

M2-3 Rezoning - Pre. Development Plan & Pre. Plat
COOKINGHAM DEVELOPMENT
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED

SHEET METAL COPING



PRECAST
CONCRETE PANELS
WITH SMOOTH
& EXPOSED
AGGREGATE FINISH



WOOD RAIN SCREEN



PAINTED HOLLOW METAL
DOORS & FRAMES



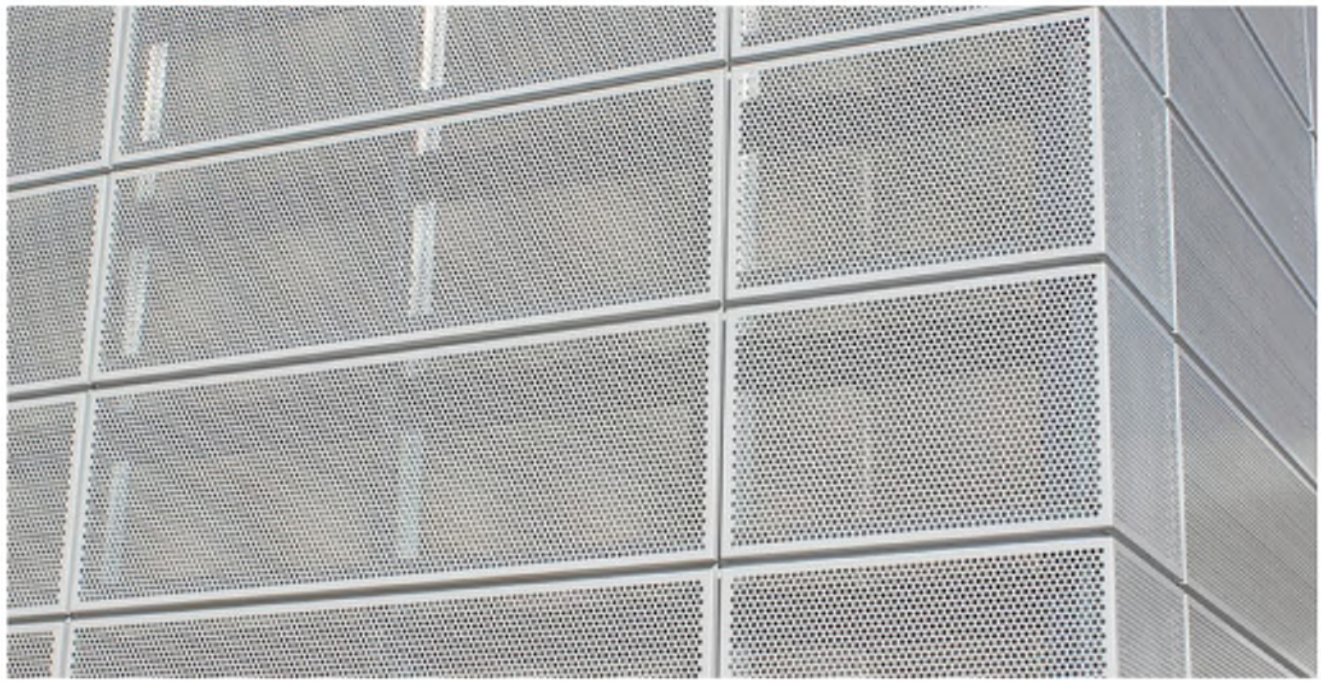
ALUMINUM CURTAIN
WALL SYSTEM



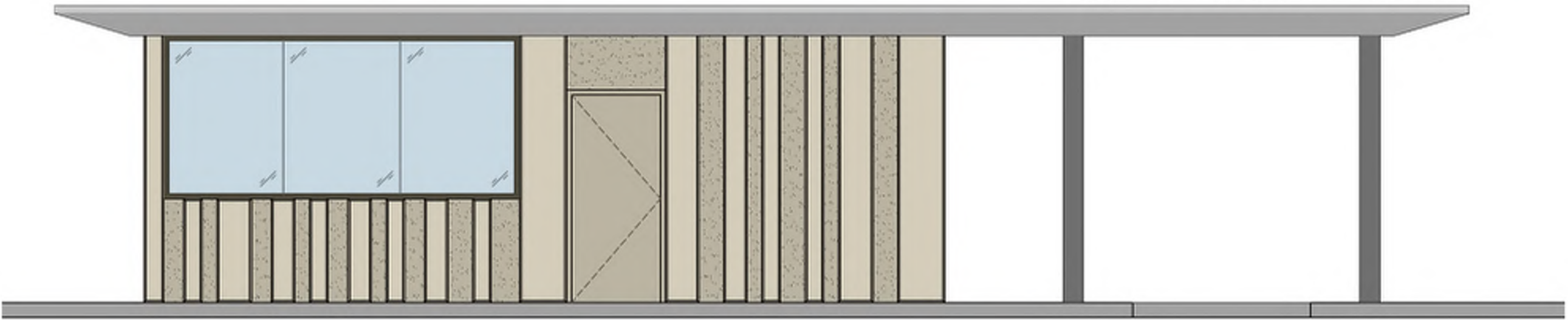
GALVANIZED STEEL
STAIRS



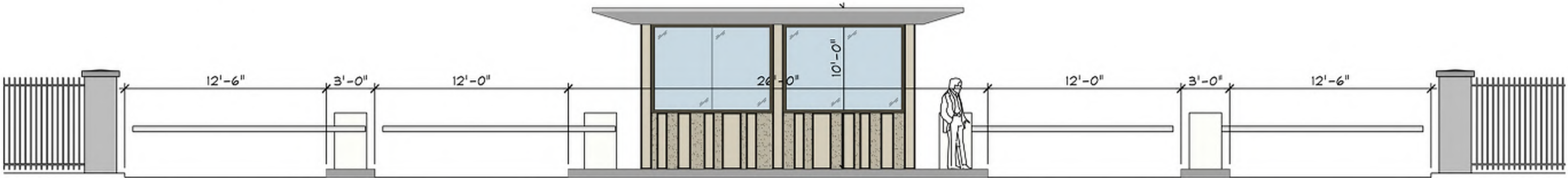
DECORATIVE SECURITY
FENCING



PERFORATED METAL SCREEN
WALL / SUN SCREEN



2 Guard House Side Elevation
1/4" = 1'-0"



1 Guard House Front Elevation
3/16" = 1'-0"