



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

02/05/2025

Project Name

Columbus Park UR Major Amendment

Docket #2

Request

CD-CPC-2024-00177
Major Amendment

Applicant

Adam DeGonia
McClure Vision

Owner

Lance Carlton
UC-B Homebuilders, LLC

Location	See Summary of Request
Area	About 1.83 Acres
Zoning	UR
Council District	4 th
County	Jackson
School District	Kansas City

Surrounding Land Uses

North: Commercial, zoned M1-5/UR
South: Commercial, zoned B1-1/UR/M1-5
East: Residential/Park, zoned UR/M1-5/B3-2
West: Residential/Right-of-Way, zoned UR

KC Spirit Playbook Alignment

CD-CPC-2024-00177 has a medium alignment.

Land Use Plan

The Greater Downtown Area Plan recommends Downtown Mixed Use for this location.

The proposed plan has a high alignment with the Area Plan. See Criteria A for more information.

Major Street Plan

These sections of Cherry Street, Charlotte Street, and Campbell Street are not identified on the City's Major Street Plan.

APPROVAL PROCESS



SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a rezoning from district UR to district UR acting as a major amendment in district UR for a residential development on 1.83 acres on three properties to be developed in three phases. Phase 1 is located approximately 80 feet North of the intersection of East 5th Street and Cherry Street, Phase 2 is at the NW corner of East 5th Street and Charlotte Street, and Phase 3 is located north of East 4th Street where Campbell Street ends. The proposed amendment would change the number of units and street layouts.

PROJECT TIMELINE

The application for the subject request was filed on 11/10/2024. Scheduling deviations from 2024 Cycle 1.1 have occurred. The City Plan Commission date for the 1.1 cycle was cancelled due to the New Year holiday and the applicant needed more time to complete the Public Engagement meeting.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The subject site is located within the Columbus Park Community Council.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on 01/23/2025. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The properties related to phases 1 and 2 are currently undeveloped. Lot 3 has an existing parking lot located on the property.

CONTROLLING + RELATED CASES

13973URD – Rezoning approximately 20 acres generally bounded by 3rd Street on the north, approximately 100 feet east of Gillis Street on the east, 5th Street on the south and Cherry Street on the west to district URD and approving a development plan for the same (Ordinance No. 090441).

PROFESSIONAL STAFF RECOMMENDATION

Docket #2 Approval with Conditions

VICINITY MAP**PLAN REVIEW**

The proposed development consists of three properties within the Columbus Park/Guinotte Manor Phase III UR. The original development proposed for a mix of commercial and residential uses, the development approved 56 apartment units in phase 1, 6 apartment units in phase 2, and 16 townhome units in phase 3. The plan showed Campbell Street providing a north/south connection from East 3rd Street down to E 5th Street.

The applicant is proposing to decrease the unit count in Phase 1 from 56 to 35, increase the unit count from 6 to 12 in Phase 2, and increase the unit count by 1 in Phase 3 for a total of 17 units. Additionally, the applicant is eliminating the extension of Campbell Street north to East 3rd Street, therefore requiring a major amendment to layout of the overall plan. Each property will have access off an adjacent street and will provide rear loaded garages to satisfy the parking requirement. All roads in the development are privately owned and maintained.

The applicant is proposing landscaping in compliance with Chapter 88. The applicant worked with staff to ensure planters were added in areas that would not have room for trees and larger bushes. Some of the proposed landscaping materials include Paperback Maple, Sugar Cone Sugar Maple, Midnight Express Redbud, and Grey Owl Juniper.

The construction materials include brick veneer, fiber cement siding, and stucco. The applicant is proposing brick for the first story of the structure and siding for the second story and the rear of the building. The design will promote pedestrian activity and will be compatible with the residential structures throughout the area.

PLAN ANALYSIS

**indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-260-03)	Yes	Yes	The proposed plan complies with the previously approved UR site requirements.
Accessory or Use- Specific Standards (88-305 – 385)	No	N/A	
Boulevard and Parkway Standards (88-323)	No	N/A	
Parkland Dedication (88-408)	Yes	Yes, subject to conditions	
Tree Preservation and Protection (88-424)	No	N/A	
Parking and Loading Standards (88-420)	Yes	Yes, subject to conditions	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	Yes, subject to conditions	

SPECIFIC REVIEW CRITERIA

Zoning and Development Code Map Amendments, Rezonings (88-515-08)

In reviewing and making decisions on proposed zoning map amendments, the City Planning and Development Director, City Plan Commission, and City Council must consider at least the following factors:

A. Conformance with adopted plans and planning policies;

The proposed plan complies with adopted plans and policies. The proposed plan has a high alignment with the Greater Downtown Area Plan and a medium alignment with the KC Spirit Playbook. The Long-Range Planning Division provided an alignment summary, see Attachment #4 for more information.

B. Zoning and use of nearby property;

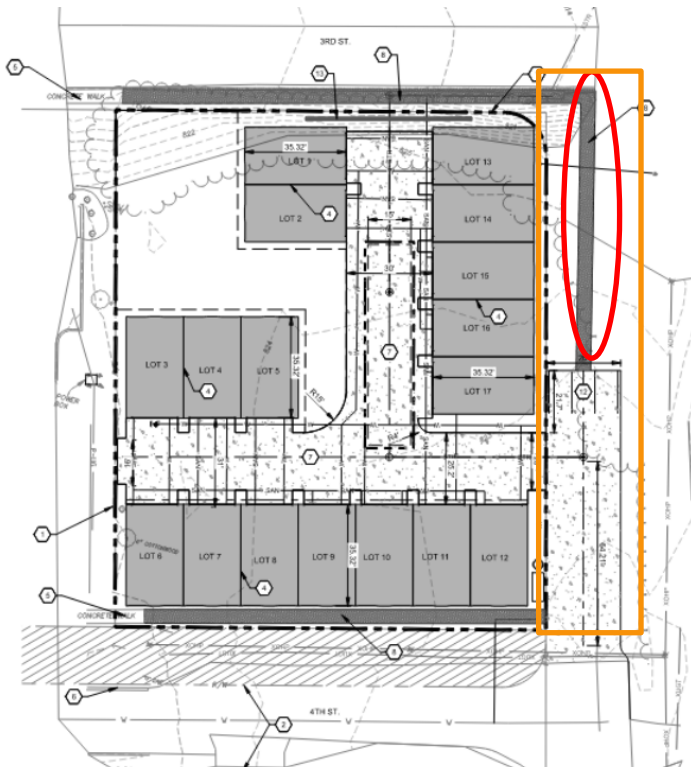
There is a mix of UR, M, and B districts throughout the Columbus Park area. The primary use of the surrounding lots is residential and park space.

C. Physical character of the area in which the subject property is located;

The surrounding properties are developed with a mixture of residential units and commercial uses. The area has a mix of housing types with varying architectural materials. The proposed elevations will be compatible with the surrounding neighborhood.

D. Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;

Public facilities and services will be adequate to serve the development. The applicant is proposing to connect to the existing sidewalks surrounding the sites. The applicant will not be extending Campbell Street north to 3rd Street immediately east of phase 3. Staff is including a condition to require the approval of a vacation of the unimproved segment of right-of-way of Campbell Street, and will be required to dedicate a public pedestrian easement as shown on the site plan. See proposal below or view sheet C201 for the full plan. The red oval highlights the pedestrian easement, and the orange rectangle highlights an approximation of the unimproved right of way to be vacated.



E. Suitability of the subject property for the use to which it has been restricted under the existing zoning regulations;

The properties are zoned UR and fall under the Columbus Park UR Plan. The plan calls for a mix of residential uses; the subject properties are currently undeveloped or an existing parking lot.

F. Length of time the subject property has remained vacant as zoned;

Phase 1 has been vacant since 2014, Phase 2 has been intermittently used as a private parking lot since 2007, and Phase 3 has been vacant since 2010.

G. The extent to which approving the rezoning will detrimentally affect nearby properties; and

The rezoning/major amendment will not detrimentally affect nearby properties. The rezoning will allow for the development of the subject properties and will bring more pedestrian connectivity due to the increase in sidewalk connections and trails proposed through phase 1. Phase 1 proposed an open space area for recreation (grilling, walking, etc.). The design of the buildings will also increase the amount of eyes on the street and promote further growth in Columbus Park.

H. The gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

The hardship should the application be denied will be the inability to develop the three properties in question to their full potential.

Development Plans, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;

The Plan does comply with all standards of the Zoning and Development Code.

The Long Range Planning Division stated, "the use of these lots for townhomes in Columbus Park helps advance KC Spirit Playbook and Greater Downtown Area Plan goals related to housing density and diversity. Both plans encourage the use of infill lots in this manner and the site is near multimodal transportation options. The applicant's second submittal addresses previous concerns about building materials and design. The response letter also indicates that sidewalks be extended in later phases." – Luke Ranker

B. The proposed use must be allowed in the district in which it is located;

The properties are located in the Columbus Park/Guinotte Manor Phase III UR district; the adopted plan recommended residential uses on all three sites.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

All three phases have access points that provide safe, efficient, and convenient movement of traffic within the site and onto adjacent roadways.

Phase 1 has two access points off Cherry Street: the northern access ends in a dead-end and provides garage access to the two buildings on each side, the southernmost access cuts through the site and provides an access to East 4th Street. Phase 2 has one access off Charlotte Street and Phase 3 has one

access from Campbell Street. The applicant is proposing to extend Campbell Street only halfway up the property to allow for access to the buildings.

The applicant received approval from the Transportation Development Committee for the location of the driveways on Charlotte Street, 4th Street, and Cherry Street and the requirement to extend Campbell Street to 3rd Street.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The plan includes sidewalks connecting to existing sidewalks and throughout the properties ensuring safe and efficient pedestrian opportunities.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The plan will provide for adequate utilities for all sites.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The applicant worked with Development Management Staff and KCFD to ensure the orientation of the buildings met all standards and was compatible with adjacent properties. The proposed development features rear loaded garages to reduce the view of vehicles on the site. The provided elevations are compatible with the surrounding neighborhood.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The applicant is proposing landscaping in compliance with the zoning and development code. The size of the properties and location in the city make it difficult to find landscaping that will mature well, however the applicant worked with staff to create a landscape plan that features native landscaping and appropriate buffering.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The design of the streets, drives, and parking areas results in a minimum of area devoted to asphalt. The applicant has provided pedestrian connections and outdoor spaces for the future tenants of the development and has limited the presence of asphalt as much as possible.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are no trees on any of the properties, therefore the applicant was not required to provide a tree preservation and mitigation plan.

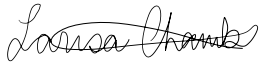
ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. Area Plan and KC Spirit Playbook Alignment

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **approval with conditions** as stated in the conditions report.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Larisa Chambi".

Larisa Chambi, AICP
Planning Supervisor



Plan Conditions

Report Date: January 30, 2025

Case Number: CD-CPC-2024-00177

Project: Columbus Park UR Major Amendment

Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816) 513-8822 / Larisa.Chambi@kcmo.org with questions.

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
2. The developer shall secure approval of a UR Final Plan for each phase from Development Management Division staff prior to building permit.
3. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
5. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
6. That prior to issuance of the Certificate of Occupancy for each lot within the plat the developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved Street Tree Planting Plan and are healthy.
7. The developer shall apply for and receive approval of a vacation of right-of-way for the portion of Campbell Street immediately adjacent to phase 3 prior to applying for building permits for phase 3. The developer shall provide a pedestrian easement as shown on the site plan at that time.

Condition(s) by Fire Department. Contact Joseph Ragsdale at (816) 513-4643 / Joseph.Ragsdale@kcmo.org with questions.

8. A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) (No Grass Pavers Allowed)
9. Fire lane signage shall be provided on fire access drives. (IFC-2018 § 503.3)
10. Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).
11. To be approved for an exception to required approved aerial access, one- and two- family-dwellings with exterior walls exceeding 30 feet in height the developer may seek a code modification request to be installed with a fire suppression system in accordance with Section 903.3.1.3 in lieu of aerial access. (Referencing IFC §§ D105.1, 903.3.1.3)
12. Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
13. The proposed building shall have a fire department access road within 150 feet of any exterior portion of the structure. (IFC-2018: § 503.1.1)
14. The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
15. The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
16. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)

Condition(s) by Fire Department. Contact Joseph Ragsdale at (816) 513-4643 / Joseph.Ragsdale@kcmo.org with questions.

17. Fire hydrant(s) shall be within 400 feet on a fire access road following an approved route established by the Authority Having Jurisdiction (AHJ) of any exterior portion of a building. The use of existing fire hydrant(s) may be used to satisfy this requirement otherwise a private fire hydrant(s) or hydrant system may be required. This distance may be increased to 600 feet for R-3 and U occupancy(s) or the building(s) is fully protected by an approved automatic fire sprinkler system(s). (IFC-2018: § 507.5.1)
18. Required fire department access roads shall be a minimum unobstructed width of twenty (20) feet and 13 ft. 6 in clearance height. Check with Streets & Traffic (KCMO Public Works) or Missouri Department of Transportation (MODOT) that may have street planning regulations that supersede the Fire Code. (IFC-2018: § 503.2.1)
19. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus. (IFC-2018: § 503.2.5)
20. Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)

Condition(s) by KCPD. Contact Jeffrey Krebs at (816)234-5530 / Jeffrey.Krebs@kcmo.org with questions.

21. Consider adding reinforcement to the exterior doors of the property for safety - Items such as steel braces to reinforce wooden door frames or metal door frames have been proven to lower the risk of crimes.

Condition(s) by Parks & Recreation. Contact Richard Sanchez at / richard.sanchez@kcmo.org with questions.

22. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2024 acquisition rate of \$64,220.18 per acre. This requirement shall be satisfied prior to certificate of occupancy.
23. All areas proposed to be counted towards satisfying the parkland dedication requirements of 88-408 shall be platted into private open space tracts

Condition(s) by Parks & Recreation. Contact Virginia Tharpe at / virginia.tharpe@kcmo.org with questions.

24. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

25. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
26. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
27. That the Campbell street shall be constructed to local street standards as required by Chapter 88, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first.
28. The developer shall submit plans to the Land Development Division and obtain permits to construct sidewalks along the platted frontage for 3rd Street and 4th Street and to a tie-in point with the existing sidewalks as applicable. In addition developer shall construct associated ADA ramps at the proposed entrance drives as necessary for the type of drive approach.
29. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

30. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
31. A full flow fire meter shall be required when the fire protection service line serves more than one building, or combination service lines 6 inches and larger, or that have private fire hydrants connected to them.
32. Branch service lines one-and-one-half inches and larger in diameter for domestic water services or fire protection lines shall be connected to the main by cutting in a minimum 6" branch service tee, installing three gate valves, and two solid sleeves on the main. Line valves on the main shall be the same nominal size as the main.
33. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis 816-513-0423
North of River contact - David Gilyard 816-513-4772

Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.

34. The developer shall submit water main extension plans designed by a Missouri PE for the new public water mains and public fire hydrants. The plans shall meet KC Water Rules and Regulations for water main extensions and shall be approved and under contract (permitted) prior to either final plat recording or building permit issuance. Private water mains and services shall be sized by a MO PE and calculations reviewed and approved by KC Water staff.
It is anticipated that additional public fire hydrants will be necessary to meet the max. 300' spacing along the perimeter streets. New demands may require distribution system improvements to upsize and replace water mains.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

35. The developer shall provide a Covenant to Maintain Private Storm Sewer Mains acceptable to KC Water for any private storm sewer mains prior to the issuance of any building permits.
36. The developer shall provide a Private Water Main Easement for the private water mains prior to the issuance of any building permits.
37. The internal sanitary sewers shall be private mains and be located within a Private Sanitary Sewer Main Easement and be covered by a Covenant to Maintain Private Sanitary Sewer Main document acceptable to KC Water prior to the issuance of any permits and prior to recording the final plat, whichever occurs first.
38. The developer shall provide a Private Storm Sewer Main Easement for the private storm sewer mains prior to the issuance of any building permits.
39. The internal water lines shall be private mains and be located within a Private Water Main Easement and be covered by a Covenant to Maintain Private Water Main document acceptable to KC Water prior to the issuance of any permits and prior to recording the final plat, whichever occurs first.
40. The developer shall provide a Covenant to Maintain Private Sanitary Sewer Mains acceptable to KC Water for any private sanitary sewer mains prior to the issuance of any building permits.
41. The internal storm sewers shall be private mains and be located within a Private Storm Sewer Main Easement and be covered by a Covenant to Maintain Private Storm Sewer Main document acceptable to KC Water prior to the issuance of any permits and prior to recording the final plat, whichever occurs first.
42. The developer must grant a BMP Easement that encompasses the storm water detention to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
43. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.
44. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to KC Water evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by KC Water prior to recording the plat.

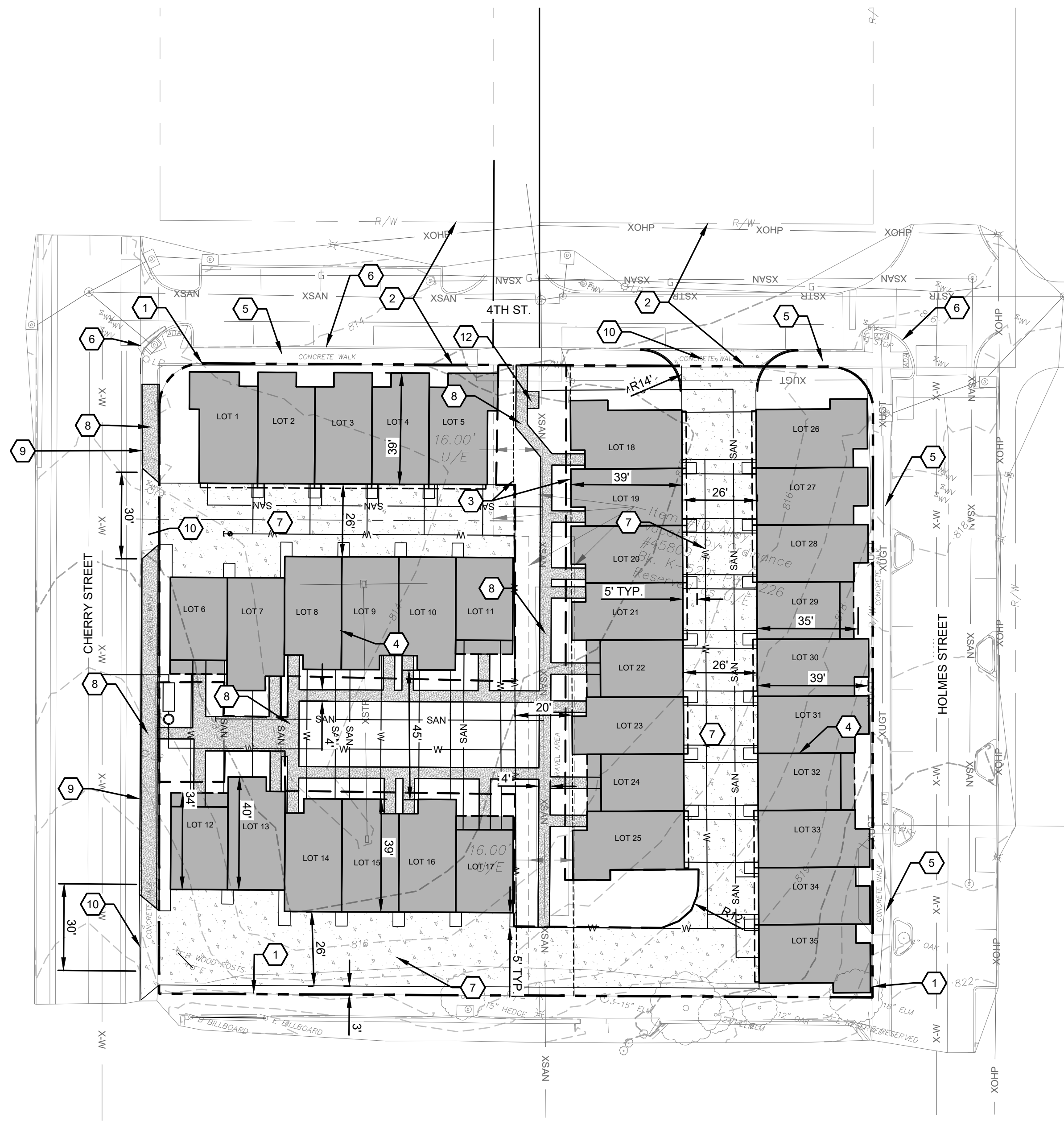
Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

45. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
46. The developer must enter into a covenant agreement for the maintenance of any storm water detention area tracts as required by KC Water, prior to recording the plat.
47. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by KC Water prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
48. The developer must secure permits to extend sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by KC Water, prior to recording the plat or issuance of a building permit whichever occurs first.
49. The owner/developer must submit plans for grading, siltation, and erosion control to KC Water for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
50. The developer shall provide a Private Sanitary Sewer Main Easement for the private sanitary sewer mains prior to the issuance of any building permits.
51. The developer shall provide a Covenant to Maintain Private Water Mains acceptable to KC Water for any private water mains prior to the issuance of any building permits.

COLUMBUS PARK TOWNHOMES UR REZONING AND PRELIMINARY PLAN

LOCATED IN
SECTION 32 TOWNSHIP 50N, RANGE 33W
KANSAS CITY, JACKSON COUNTY, MISSOURI

Development Summary Table				
Project #	2024000174-000			
Project Name:	Columbus Park Townhomes			
a			Zoning	
	Existing	UR		
	Proposed	UR/Rezoning		
b	Total Land Area			
	Existing - Phase 1	1.27 Acres		
	Existing - Phase 2	0.37 Acres		
	Existing - Phase 3	0.62 Acres		
	Existing - Total	2.26 Acres		
c			Right-of-Way	
	Existing	0 Acres		
	Proposed	0 Acres		
d	Net Land Area			
	Existing	2.26 Acres		
	Proposed	2.26 Acres		
e	Proposed Uses			
	Residential			
f	Structure Height & Number of Floors - Phase 1			
	Number of floors	3 stories		
	Height Above Grade	30 feet	Lot 1, 5, 18, 25, 26, 35	
	Number of floors	3 stories	Lots 2-4, 7-10, 13-16, 19-21,	
	Height Above Grade	30 feet	23, 27-28, 30-31, 33-34	
	Number of floors	3 stories	Lots 6, 11-12, 17, 22, 24, 29, 32	
	Height Above Grade	30 feet		
	Structure Height & Number of Floors - Phase 2			
	Number of floors	3 stories	Lots 1-4	
	Height Above Grade	30 feet		
	Number of floors	3 stories	Lots 5-10	
	Height Above Grade	30 feet		
	Structure Height & Number of Floors - Phase 3			
	Number of floors	3 stories	Lots 1-17	
Height Above Grade	30 feet			
g	Gross Floor Area & Number of Units - Phase 1			
	Total Gross Area/Unit	2,437 SF	6 Units	
	Total Gross Area/Unit	2,241 SF	21 Units	
	Total Gross Area/Unit	1,740 SF	8 Units	
	Phase Total	75,603 SF	35 Units	
	Gross Floor Area & Number of Units - Phase 2			
	Total Gross Area/Unit	4,385 SF	4 Units	
	Total Gross Area/Unit	2,114 SF	6 Units	
	Phase Total	30,264 SF	10 Units	
	Gross Floor Area & Number of Units - Phase 3			
	Total Gross Area/Unit	2,114 SF	17 Units	
	Phase Total	36,938 SF	17 Units	
	Project Total	141,805 SF	62 Units	
	h	Building Coverage & Floor Area Ratio		
Coverage		141,805 SF		
FAR		1.440 FAR		
i	Density			
	Gross	62,746	SF per Acre	
	Net	62,746	SF per Acre	
j	Vehicle Parking			
	Ratio Required	1 Dwelling/Unit	Phase 1	
	Stalls Provided	70 Stalls		
	Ratio Required	1 Dwelling/Unit	Phase 2	
	Stalls Provided	20 Stalls		
	Ratio Required	1 Dwelling/Unit	Phase 3	
	Stalls Provided	34 Stalls		
	Total Required	62		
	Total Provided	124 Stalls		
k	Bike Parking			
	Short-Term Ratio Required	6		
	Short-Term Stalls Provided	6		
	Long-Term Ratio Required	0		
	Long-Term Stalls Provided	62	INTERIOR	
l	Timeline			
	Estimated Start Date:	6/1/2025		
	Estimated Completion Date:	6/1/2027		



PHASE 1

PARKLAND DEDICATION (88-408) PHASE 1

REQUIRED DEDICATION

UNITS (MULTI) = 35
35 x 2 PEOPLE/UNIT x 0.006 = 0.42 AC.

TOTAL REQUIRED DEDICATION = 0.42 AC.

PARKLAND TO BE DEDICATED = 0.22 AC.
(SEE LANDSCAPE PLANS FOR DETAILS)

REMAINDER TO PAY IN-LIEU OF = 0.20 AC.

GENERAL NOTES:

1. ALL UNITS TO HAVE GARAGES.
2. ALL COMMON SPACE WILL BE IN THEIR OWN TRACT
3. ALL COMMON SPACES WILL HAVE ACCESS ESMT. INCLUDING OVER DEDICATED PARKLAND

LEGEND

- PROPERTY BOUNDARY
- BUILDING BOUNDARY
- [Pattern] HEAVY DUTY CONCRETE PAVEMENT
- [Pattern] BUILDING FOOTPRINT
- [Pattern] SIDEWALK/ LIGHT DUTY CONCRETE PAVEMENT

KEY NOTES

1. PROPERTY LINE (TYP.)
2. EXISTING RIGHT-OF-WAY
3. EXISTING UTILITY EASEMENT
4. PROPOSED LOT LINE (TYP.)
5. EXISTING SIDEWALK TO REMAIN
6. EXISTING CURB TO REMAIN
7. PROPOSED CONCRETE DRIVE AISLE
8. PROPOSED CONCRETE SIDEWALK
9. PROPOSED CURB
10. PROPOSED DRIVE ENTRANCE
11. EXISTING DRIVE TO BE REMOVED
12. PROPOSED BIKE PARKING
13. PROPOSED RETAINING WALL

LEGEND

- SIDWALK/ LIGHT DUTY CONCRETE PAVEMENT
- PROPERTY BOUNDARY
- TOWNHOUSE
- HEAVY DUTY CONCRETE PAVEMENT
- LOT LINE

KEY NOTES

- 1 PROPERTY LINE (TYP.)
- 2 EXISTING RIGHT-OF-WAY
- 3 EXISTING UTILITY EASEMENT
- 4 PROPOSED LOT LINE (TYP.)
- 5 EXISTING SIDEWALK TO REMAIN
- 6 EXISTING CURB TO REMAIN
- 7 PROPOSED CONCRETE DRIVE AISLE
- 8 PROPOSED CONCRETE SIDEWALK
- 9 PROPOSED CURB
- 10 PROPOSED DRIVE ENTRANCE
- 11 EXISTING DRIVE TO BE REMOVED
- 12 PROPOSED BIKE PARKING
- 13 PROPOSED RETAINING WALL

GENERAL NOTES:

1. ALL UNITS TO HAVE GARAGES.
2. ALL COMMON SPACE WILL BE IN THEIR OWN TRACT
3. ALL COMMON SPACES WILL HAVE ACCESS ESMT. INCLUDING OVER DEDICATED PARKLAND

PHASE 2

PARKLAND DEDICATION (88-408) PHASE 2

REQUIRED DEDICATION

UNITS (MULTI) = 10
10 x 2 PEOPLE/UNIT x 0.006 = 0.12 AC.

TOTAL REQUIRED DEDICATION = 0.12 AC.

PARKLAND TO BE DEDICATED = 0.00 AC.
(SEE LANDSCAPE PLANS FOR DETAILS)

REMAINDER TO PAY IN-LIEU OF = 0.12 AC.

PHASE 3

PARKLAND DEDICATION (88-408) PHASE 3

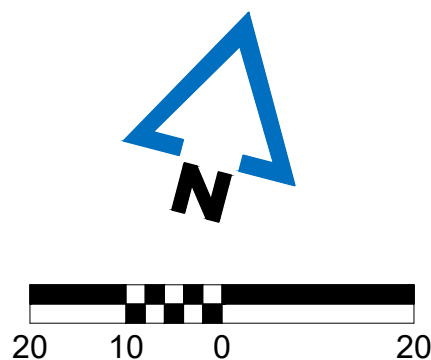
REQUIRED DEDICATION

UNITS (MULTI) = 17
17 x 2 PEOPLE/UNIT x 0.006 = 0.204 AC.

TOTAL REQUIRED DEDICATION = 0.204 AC.

PARKLAND TO BE DEDICATED = 0.11 AC.
(SEE LANDSCAPE PLANS FOR DETAILS)

REMAINDER TO PAY IN-LIEU OF = 0.094 AC.



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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2024

REVISIONS
12/31/2024 CITY COMMENTS

PROJECT INFO
2024000174-000

ENGINEER	DRAWN BY	CHECKED BY
AVD	ELM	AVD

COLUMBUS PARK
5TH AND CHERRY
KANSAS CITY, MISSOURI

UR SHEETS
SITE PLAN - PHASES 2 & 3

DRAWING NO.
C201

COLUMBUS PARK TOWNHOMES

PRELIMINARY PLAT

LOCATED IN
SECTION 32 TOWNSHIP 50N, RANGE 33W
KANSAS CITY, JACKSON COUNTY, MISSOURI

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2024

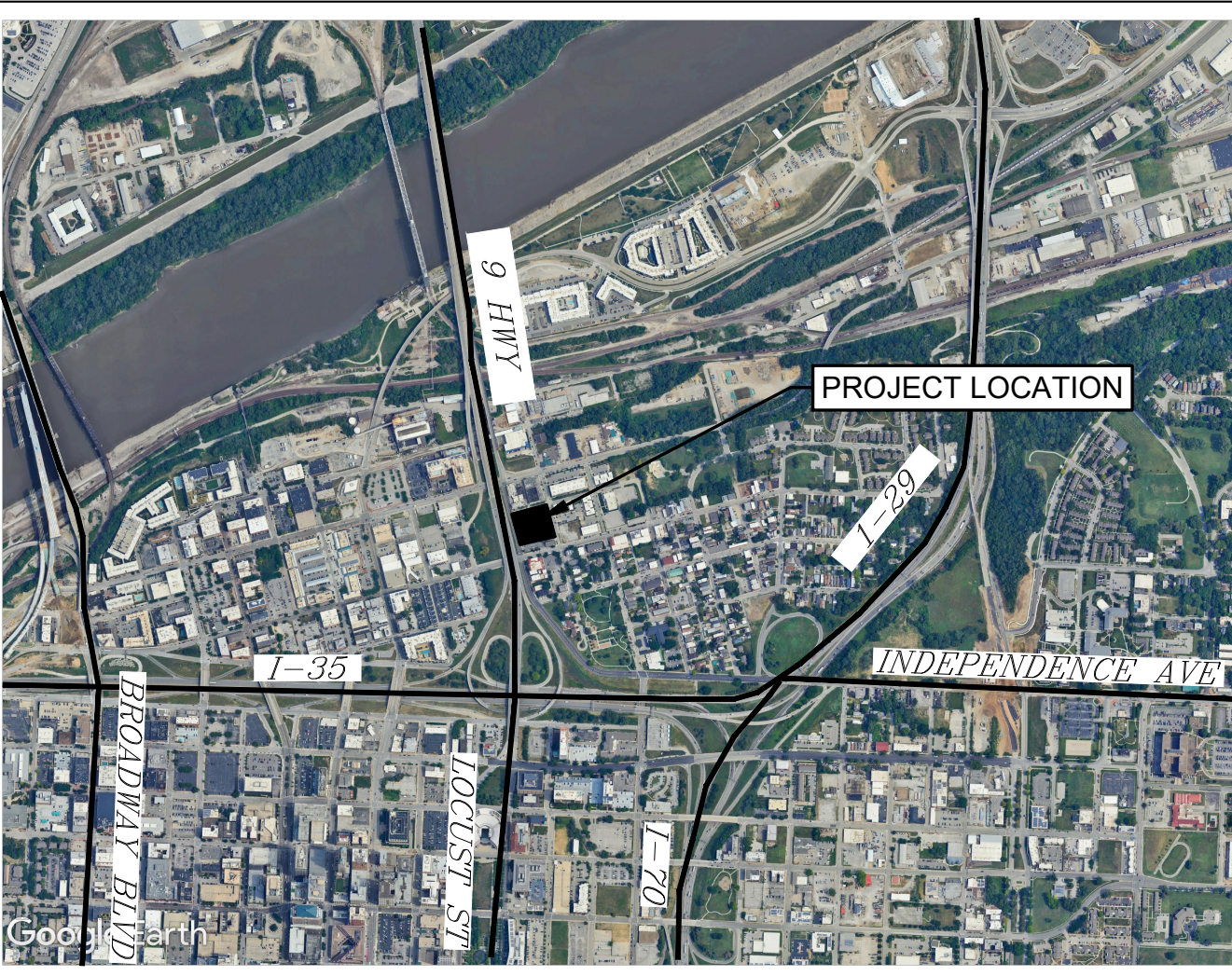
REVISIONS
12/31/2024 CITY COMMENTS

PROJECT INFO
2024000174-000
ENGINEER: AVD
DRAWN BY: ELM
CHECKED BY: AVD

COLUMBUS PARK
5TH AND CHERRY
KANSAS CITY, MISSOURI
UR SHEETS
PRELIMINARY PLAT - PHASE 1
P12024000174-000-004-DRAWINGS/CIVIL/CONSTRUCTION DOCUMENTS/UR SHEETS/24-174 PLAT.DWG

DRAWING NO.
C202

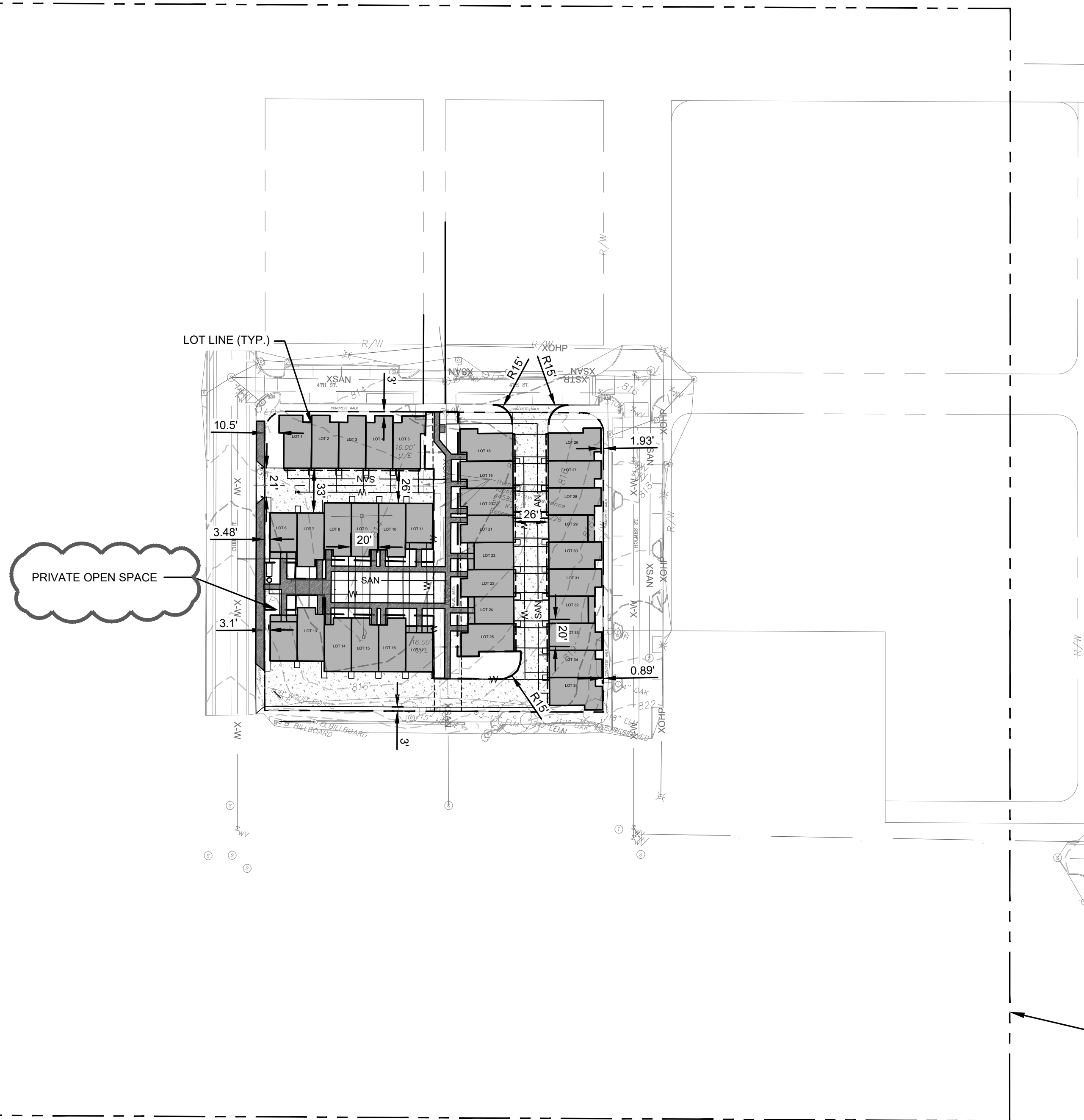
Development Summary Table				
Project #	2024000174-000			
Project Name:	Columbus Park Townhomes			
a	Zoning			
	Existing	UR		
	Proposed	UR Re-zoning		
b	Total Land Area			
	Existing - Phase 1		1.27 Acres	
	Existing - Total		1.27 Acres	
c	Right-of-Way			
	Existing		0 Acres	
	Proposed		0 Acres	
d	Net Land Area			
	Existing		1.27 Acres	
	Proposed		1.27 Acres	
e	Proposed Uses			
	Residential			
f	Structure Height & Number of Floors - Phase 1			
	Number of floors		3 stories	Lot 1, 5, 18, 25, 26, 35
	Height Above Grade		30 feet	
	Number of floors		3 stories	Lots 2-4, 7-10, 13-16, 19-21, 23, 27-28, 30-31, 33-34
	Height Above Grade		30 feet	
	Number of floors		3 stories	Lots 6, 11-12, 17, 22, 24, 29, 32
	Height Above Grade		30 feet	
	g	Gross Floor Area & Number of Units - Phase 1		
Total Gross Area/Unit		2,437 SF	6 Units	
Total Gross Area/Unit		2,241 SF	21 Units	
Total Gross Area/Unit		1,740 SF	8 Units	
Project Total		75,603 SF	35 Units	
h	Building Coverage & Floor Area Ratio			
	Coverage		75,603 SF	
	FAR		1.367 FAR	
i	Density			
	Gross		59,530 SF per Acre	
	Net		59,530 SF per Acre	
j	Vehicle Parking			
	Ratio Required		1/Dwelling Unit	Phase 1
	Stalls Provided		70 Stalls	
	Total Required		35	
	Total Provided		70 Stalls	
k	Bike Parking			
	Short-Term Ratio Required		6	
	Short-Term Stalls Provided		6	
	Long-Term Ratio Required		0	
	Long-Term Stalls Provided		35	INTERIOR
l	Timeline			
	Estimated Start Date:		6/1/2025	
	Estimated Completion Date:		6/1/2027	



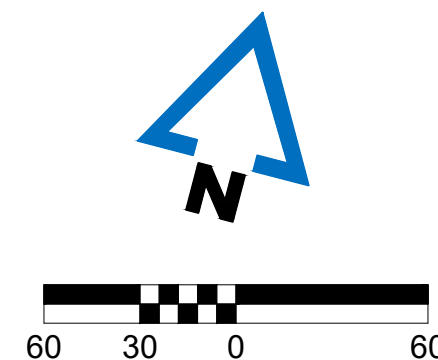
LOCATION MAP
NOT TO SCALE
KANSAS CITY, JACKSON COUNTY, MISSOURI

LEGAL DESCRIPTION
COLUMBUS PARK PHASE 1 BLOCK 1 LOT 1

PLANNER & CIVIL ENGINEER
McCLURE ENGINEERING
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PHONE: 816.502.3915
EMAIL: ADEGONIA@MCCLUREVISION.COM



- LEGEND
- PROPERTY BOUNDARY
 - BUILDING BOUNDARY
 - HEAVY DUTY CONCRETE PAVEMENT
 - BUILDING FOOTPRINT
 - SIDEWALK/ LIGHT DUTY CONCRETE PAVEMENT



PHASE 1 LOT/TRACT INFO

LOT 1: 812.37 SQ.FT. OR 0.02 AC.
LOT 2: 747.07 SQ.FT. OR 0.02 AC.
LOT 3: 747.07 SQ.FT. OR 0.02 AC.
LOT 4: 747.07 SQ.FT. OR 0.02 AC.
LOT 5: 812.37 SQ.FT. OR 0.02 AC.
LOT 6: 579.85 SQ.FT. OR 0.01 AC.
LOT 7: 757.08 SQ.FT. OR 0.02 AC.
LOT 8: 757.08 SQ.FT. OR 0.02 AC.
LOT 9: 757.08 SQ.FT. OR 0.02 AC.
LOT 10: 757.08 SQ.FT. OR 0.02 AC.
LOT 11: 579.85 SQ.FT. OR 0.01 AC.
LOT 12: 579.85 SQ.FT. OR 0.01 AC.
LOT 13: 757.08 SQ.FT. OR 0.02 AC.
LOT 14: 757.08 SQ.FT. OR 0.02 AC.
LOT 15: 757.08 SQ.FT. OR 0.02 AC.
LOT 16: 757.08 SQ.FT. OR 0.02 AC.
LOT 17: 579.85 SQ.FT. OR 0.01 AC.
LOT 18: 812.38 SQ.FT. OR 0.02 AC.
LOT 19: 747.07 SQ.FT. OR 0.02 AC.
LOT 20: 747.07 SQ.FT. OR 0.02 AC.
LOT 21: 747.07 SQ.FT. OR 0.02 AC.
LOT 22: 579.85 SQ.FT. OR 0.01 AC.
LOT 23: 747.07 SQ.FT. OR 0.02 AC.
LOT 24: 579.85 SQ.FT. OR 0.01 AC.
LOT 25: 812.38 SQ.FT. OR 0.02 AC.
LOT 26: 812.38 SQ.FT. OR 0.02 AC.
LOT 27: 747.07 SQ.FT. OR 0.02 AC.
LOT 28: 747.07 SQ.FT. OR 0.02 AC.
LOT 29: 579.85 SQ.FT. OR 0.01 AC.
LOT 30: 747.07 SQ.FT. OR 0.02 AC.
LOT 31: 747.07 SQ.FT. OR 0.02 AC.
LOT 32: 579.85 SQ.FT. OR 0.01 AC.
LOT 33: 747.07 SQ.FT. OR 0.02 AC.
LOT 34: 747.07 SQ.FT. OR 0.02 AC.
LOT 35: 812.38 SQ.FT. OR 0.02 AC.
DETENTION TRACT: N/A
COMMON AREA: 29908.90 SQ.FT. OR 0.69 AC.

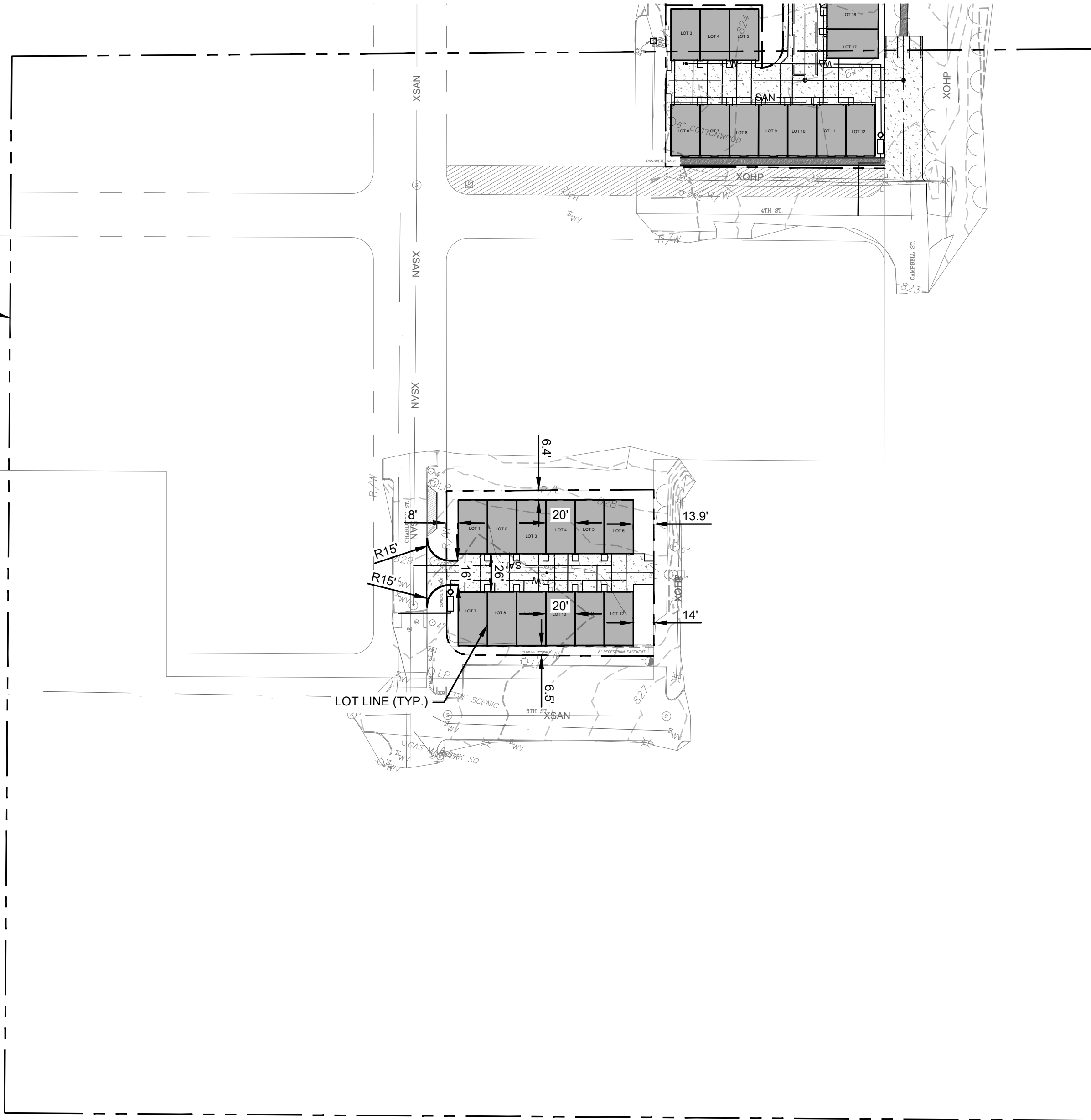
COLUMBUS PARK TOWNHOMES

PRELIMINARY PLAT

LOCATED IN
SECTION 32 TOWNSHIP 50N, RANGE 33W
KANSAS CITY, JACKSON COUNTY, MISSOURI

Development Summary Table				
Project #	2024000174-000			
Project Name:	Columbus Park Townhomes			
a	Zoning			
	Existing	UR		
b	Proposed	UR Reasoning		
	Total Land Area			
c	Existing - Phase 2		0.37 Acres	
	Existing - Total		0.37 Acres	
	Right-of-Way			
d	Existing	0 Acres		
	Proposed	0 Acres		
e	Net Land Area			
	Existing	0.37 Acres		
f	Proposed	0.37 Acres		
	Proposed Uses			
g	Residential			
	Structure Height & Number of Floors - Phase 2			
	Number of floors	3 stories	Lots 1-4	
	Height Above Grade	30 feet		
	Number of floors	3 stories	Lots 5-10	
h	Height Above Grade	30 feet		
	Gross Floor Area & Number of Units - Phase 2			
	Total Gross Area/Unit	4,395 SF	4 Units	
	Total Gross Area/Unit	2,114 SF	6 Units	
	Project Total	30,264 SF	10 Units	
i	Building Coverage & Floor Area Ratio			
	Coverage	30,264 SF		
j	FAR	1.878	FAR	
	Density			
k	Gross	81,795 SF per Acre		
	Net	81,795 SF per Acre		
l	Ratio Required		1/Dwelling Unit	
	Stalls Provided		20 Stalls	
	Total Required		10	
	Total Provided		70 Stalls	
m	Bike Parking			
	Short-Term Ratio Required	0		
	Short-Term Stalls Provided	0		
	Long-Term Ratio Required	0		
	Long-Term Stalls Provided	10	INTERIOR	
n	Timeline			
	Estimated Start Date:	6/1/2025		
o	Estimated Completion Date:	6/1/2027		

300' OFFSET FROM
PROPERTY BOUNDARIES



PHASE 2 LOT/TRACT INFO

LOT 1: 1464.95 SQ.FT. OR 0.03 AC.
LOT 2: 1396.26 SQ.FT. OR 0.03 AC.
LOT 3: 1396.26 SQ.FT. OR 0.03 AC.
LOT 4: 1464.95 SQ.FT. OR 0.03 AC.
LOT 5: 704.69 SQ.FT. OR 0.02 AC.
LOT 6: 704.69 SQ.FT. OR 0.02 AC.
LOT 7: 704.69 SQ.FT. OR 0.02 AC.
LOT 8: 704.69 SQ.FT. OR 0.02 AC.
LOT 9: 704.69 SQ.FT. OR 0.02 AC.
LOT 10: 704.69 SQ.FT. OR 0.02 AC.
DETENTION TRACT: N/A
COMMON AREA: 5936.41 SQ.FT. OR 0.14 AC.

300' OFFSET FROM
PROPERTY BOUNDARIES

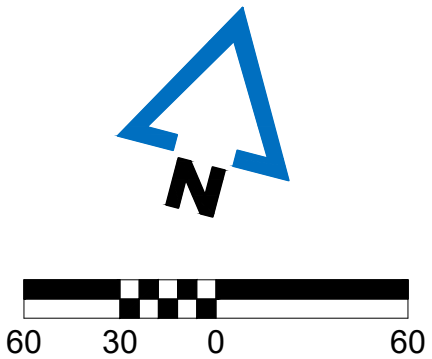


LOCATION MAP
NOT TO SCALE
KANSAS CITY, JACKSON COUNTY, MISSOURI

PLANNER & CIVIL ENGINEER
MCCLURE ENGINEERING
CONTACT NAME: ADAM DEGONIA
ADDRESS: 1700 SWIFT ST STE 100
NORTH KANSAS CITY, MO 64116
PHONE: 816.502.3915
EMAIL: ADEGONIA@MCCLUREVISION.COM

LEGEND

- PROPERTY BOUNDARY
- BUILDING BOUNDARY
- HEAVY DUTY CONCRETE PAVEMENT
- BUILDING FOOTPRINT
- SIDEWALK/ LIGHT DUTY CONCRETE PAVEMENT



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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2024

REVISIONS
12/31/2024 CITY COMMENTS

PROJECT INFO
2024000174-000
ENGINEER: AVD
DRAWN BY: ELM
CHECKED BY: AVD

COLUMBUS PARK
5TH AND CHERRY
KANSAS CITY, MISSOURI
UR SHEETS
PRELIMINARY PLAT - PHASE 2
P:\2024000174-000\04-DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\UR SHEETS\24-174 PLAT.DWG

DRAWING NO.
C203

COLUMBUS PARK TOWNHOMES

PRELIMINARY PLAT

LOCATED IN
SECTION 32 TOWNSHIP 50N, RANGE 33W
KANSAS CITY, JACKSON COUNTY, MISSOURI

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2024

REVISIONS
12/31/2024 CITY COMMENTS

PROJECT INFO
2024000174-000
ENGINEER: AVD
DRAWN BY: ELM
CHECKED BY: AVD

COLUMBUS PARK
5TH AND CHERRY
KANSAS CITY, MISSOURI
UR SHEETS
PRELIMINARY PLAT - PHASE 3
P:\2024000174-000\04-DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\UR SHEETS\24-174 PLAT.DWG

DRAWING NO.
C204

Development Summary Table				
Project #	2024000174-000			
Project Name:	Columbus Park Townhomes			
a	Zoning			
	Existing	UR		
	UR/Rezoning			
	Proposed			
b	Total Land Area			
	Existing - Phase 3		0.62 Acres	
	Existing - Total		0.62 Acres	
c	Right-of-Way			
	Existing		0 Acres	
	Proposed		0 Acres	
d	Net Land Area			
	Existing		0.62 Acres	
	Proposed		0.62 Acres	
e	Proposed Uses			
	Residential			
f	Structure Height & Number of Floors - Phase 3			
	Number of floors		3 stories	Lots 1-17
	Height Above Grade		30 feet	
g	Gross Floor Area & Number of Units - Phase 3			
	Total Gross Area/Unit		2,114 SF	17 Units
	Project Total		35,938 SF	17 Units
h	Building Coverage & Floor Area Ratio			
	Coverage		35,938 SF	FAR
	FAR		1.331	
i	Density			
	Gross		57,965 SF per Acre	Net
	Net		57,965 SF per Acre	
j	Vehicle Parking			
	Ratio Required		1/Dwelling Unit	Phase 3
	Stalls Provided		34 Stalls	
	Total Required		17	
	Total Provided		34 Stalls	
k	Bike Parking			
	Short-Term Ratio Required		0	INTERIOR
	Short-Term Stalls Provided		0	
	Long-Term Ratio Required		0	
	Long-Term Stalls Provided		17	
l	Timeline			
	Estimated Start Date:		6/1/2025	
	Estimated Completion Date:		6/1/2027	

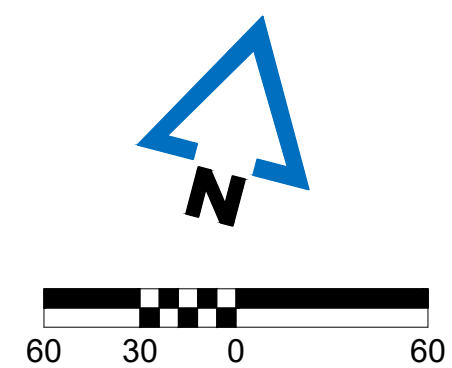


LOCATION MAP
NOT TO SCALE
KANSAS CITY, JACKSON COUNTY, MISSOURI

PLANNER & CIVIL ENGINEER
MCCLURE ENGINEERING
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NORTH KANSAS CITY, MO 64116
PHONE: 816.502.3915
EMAIL: ADEGONIA@MCCLUREVISION.COM

LEGEND

- PROPERTY BOUNDARY
- BUILDING BOUNDARY
- HEAVY DUTY CONCRETE PAVEMENT
- BUILDING FOOTPRINT
- SIDEWALK/ LIGHT DUTY CONCRETE PAVEMENT



PHASE 3 LOT/TRACT INFO

LOT 1: 704.69 SQ.FT. OR 0.02 AC.
LOT 2: 704.69 SQ.FT. OR 0.02 AC.
LOT 3: 704.69 SQ.FT. OR 0.02 AC.
LOT 4: 704.69 SQ.FT. OR 0.02 AC.
LOT 5: 704.69 SQ.FT. OR 0.02 AC.
LOT 6: 704.69 SQ.FT. OR 0.02 AC.
LOT 7: 704.69 SQ.FT. OR 0.02 AC.
LOT 8: 704.69 SQ.FT. OR 0.02 AC.
LOT 9: 704.69 SQ.FT. OR 0.02 AC.
LOT 10: 704.69 SQ.FT. OR 0.02 AC.
LOT 11: 704.69 SQ.FT. OR 0.02 AC.
LOT 12: 704.69 SQ.FT. OR 0.02 AC.
LOT 13: 704.69 SQ.FT. OR 0.02 AC.
LOT 14: 704.69 SQ.FT. OR 0.02 AC.
LOT 15: 704.69 SQ.FT. OR 0.02 AC.
LOT 16: 704.69 SQ.FT. OR 0.02 AC.
LOT 17: 704.69 SQ.FT. OR 0.02 AC.
DETENTION TRACT: 1224.00 SQ.FT. OR 0.03 AC.
COMMON AREA: 13820.06 SQ.FT. OR 0.32 AC.

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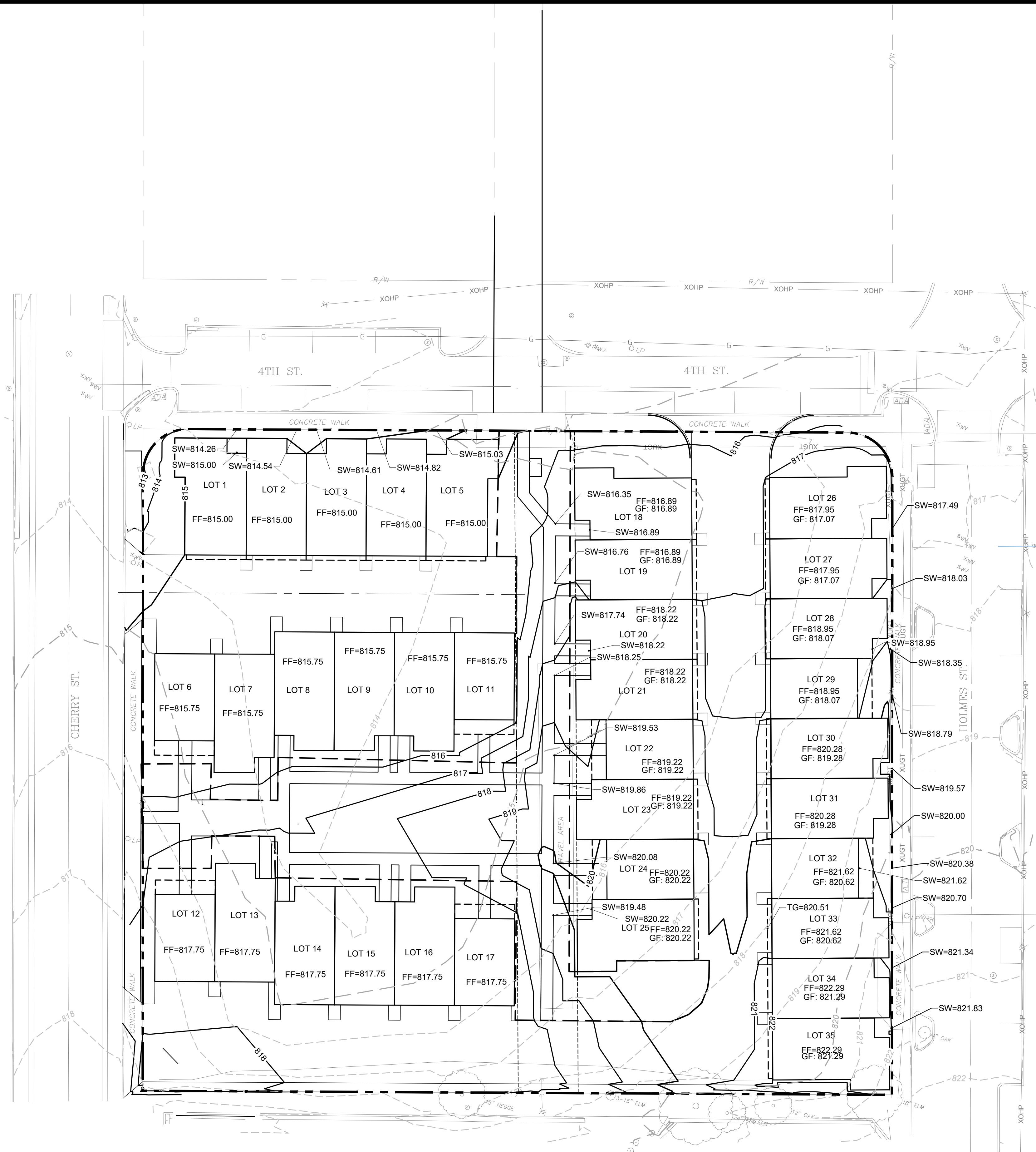
MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2024

REVISIONS
12/31/2024 CITY COMMENTS

PROJECT INFO
2024000174-000
ENGINEER: AVD
DRAWN BY: ELM
CHECKED BY: AVD

COLUMBUS PARK
5TH AND CHERRY
KANSAS CITY, MISSOURI
UR SHEETS
GRADING PLAN PHASE 1
P:2024000174-000-04-DRAWINGS/CIVIL/CONSTRUCTION/DOCUMENTS/UR SHEETS/24-174 GRAD.DWG

DRAWING NO.
C205



LEGEND:
--- DRY CURB
--- 499 --- EXISTING 1' CONTOUR
--- 500 --- EXISTING 5' CONTOUR
--- 499 --- PROPOSED 1' CONTOUR
--- 500 --- PROPOSED 5' CONTOUR

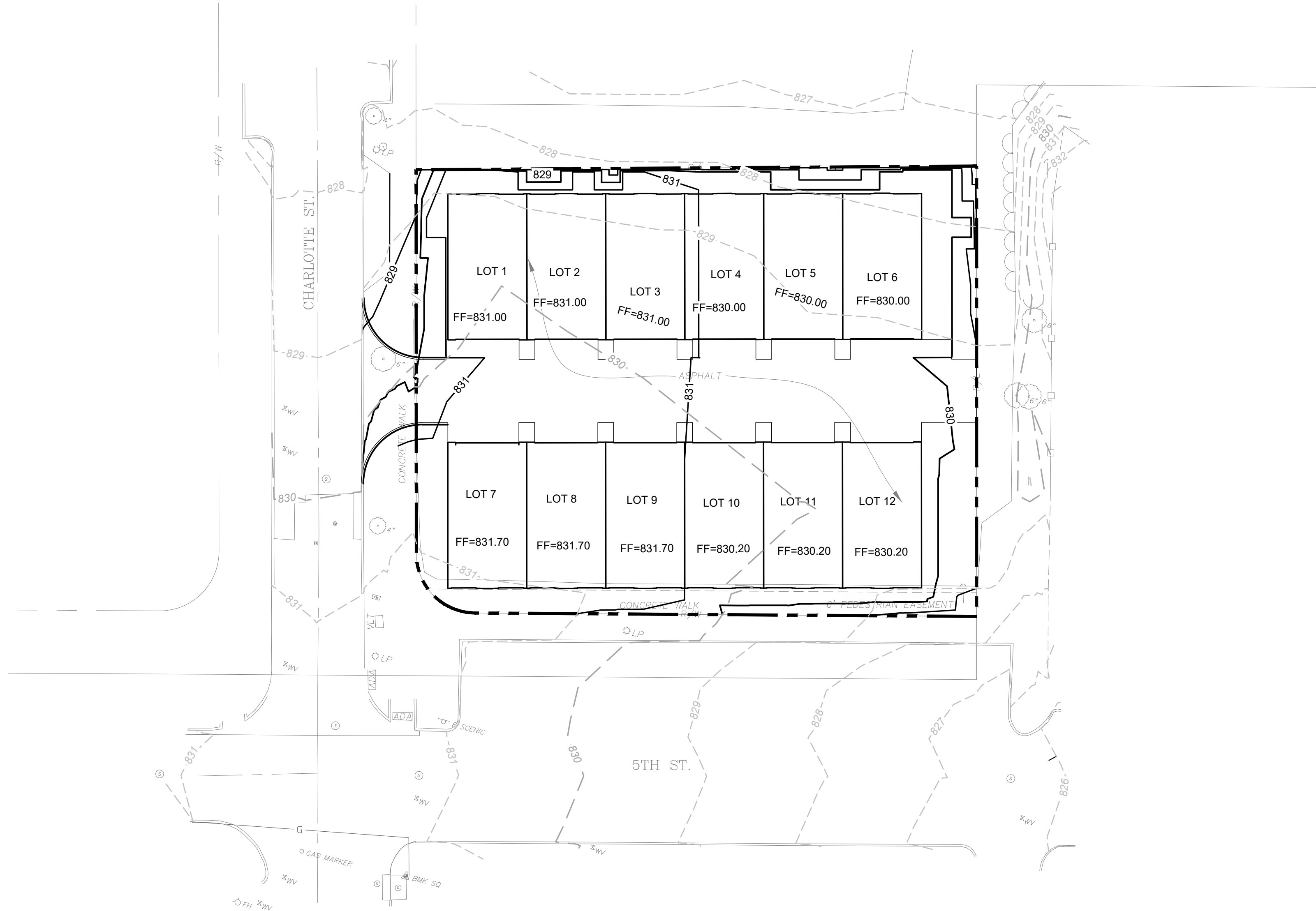
LEGEND
--- PROPERTY BOUNDARY
SPOT ELEVATION LEGEND:
SW = TOP OF SIDEWALK/TRAIL ELEVATION
BC = BACK OF CURB ELEVATION
ME = MATCH ELEVATION
FF = FINISHED FLOOR ELEVATION
TW = TOP OF WALL ELEVATION
BW = BOTTOM OF WALL ELEVATION
TG = TOP OF GROUND ELEVATION

LEGEND:

---	499	---	EXISTING 1" CONTOUR
---	500	---	EXISTING 5' CONTOUR
---	499	---	PROPOSED 1" CONTOUR
---	500	---	PROPOSED 5' CONTOUR

LEGEND

---	---	PROPERTY BOUNDARY
---	---	SPOT ELEVATION LEGEND:
---	---	SW = TOP OF SIDEWALK/TRAIL ELEVATION
---	---	BC = BACK OF CURB ELEVATION
---	---	ME = MATCH ELEVATION
---	---	FF = FINISHED FLOOR ELEVATION
---	---	TW = TOP OF WALL ELEVATION
---	---	BW = BOTTOM OF WALL ELEVATION
---	---	TG = TOP OF GROUND ELEVATION



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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2024

REVISIONS
12/31/2024 CITY COMMENTS

PROJECT INFO
2024000174-000
ENGINEER: AVD DRAWN BY: ELM CHECKED BY: AVD

COLUMBUS PARK
5TH AND CHERRY
KANSAS CITY, MISSOURI

UR SHEETS
GRADING PLAN PHASE 2
P:\2024000174-000\04-DRAWINGS\CIVIL\CONSTRUCTION\DOCUMENTS\UR SHEETS\24-174 GRAD.DWG

DRAWING NO.
C206

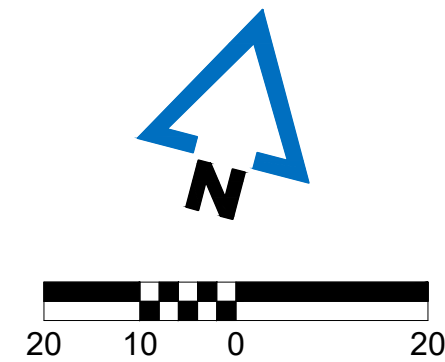
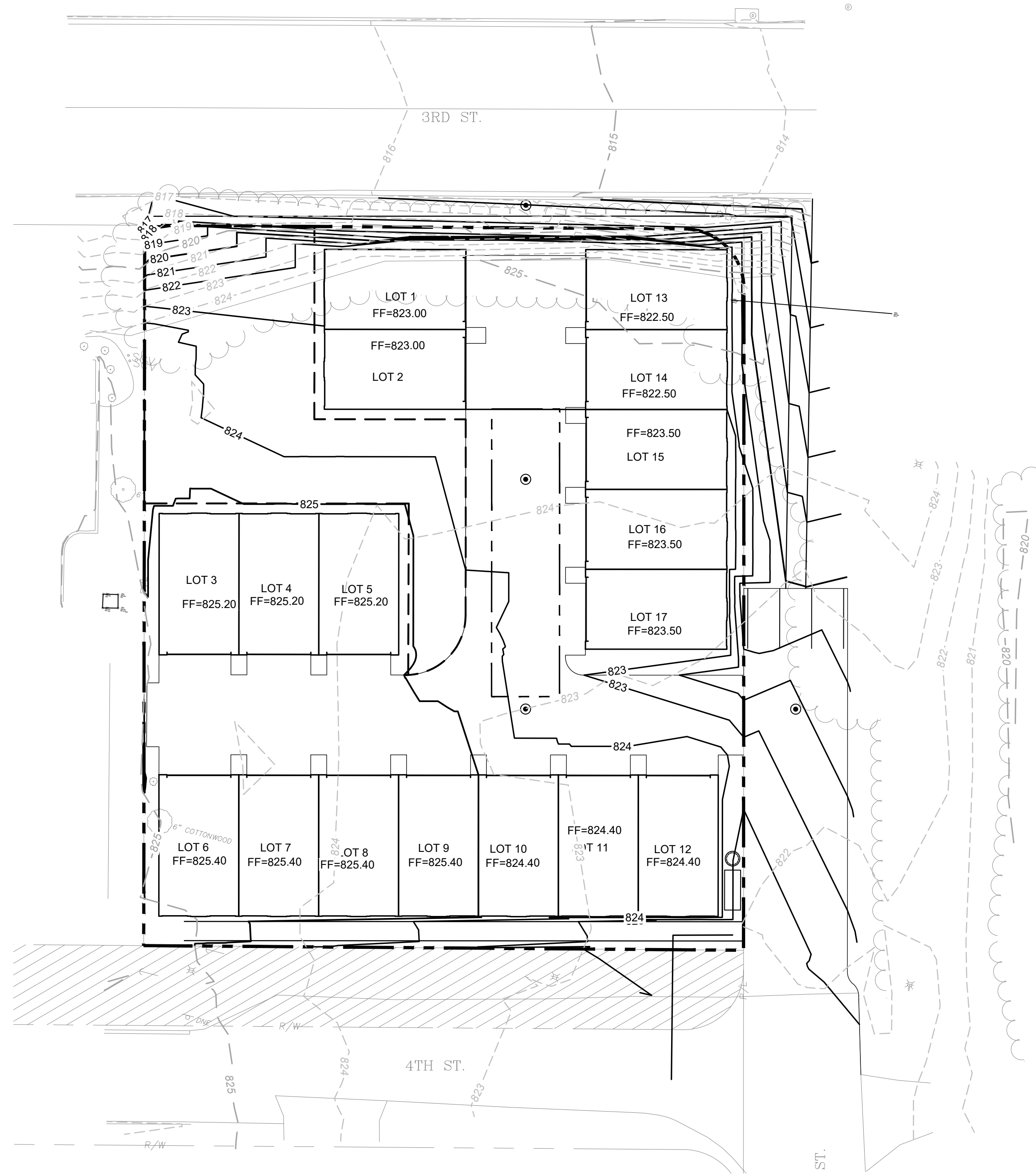
LEGEND:

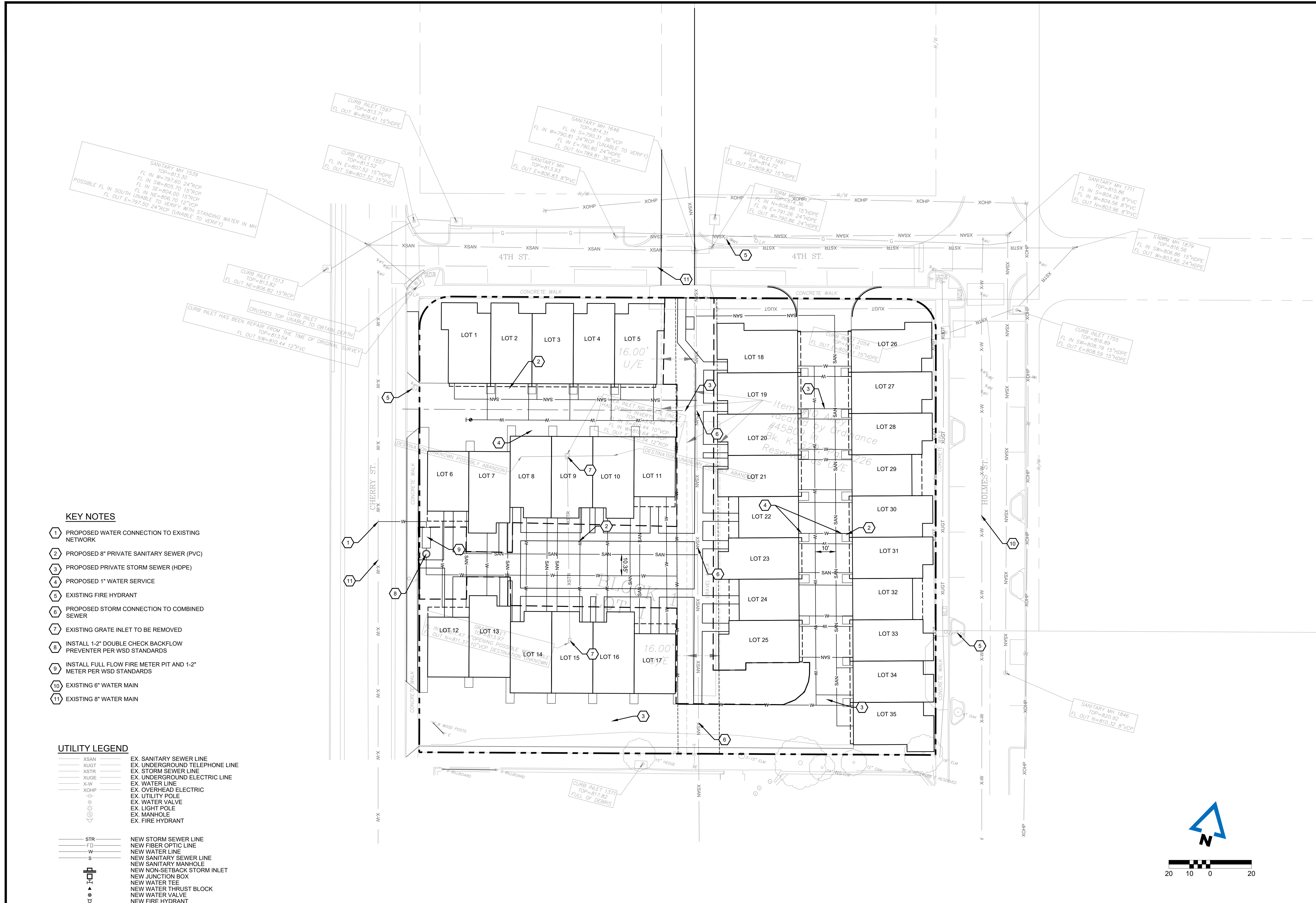
---	499	---	EXISTING 1' CONTOUR
---	500	---	EXISTING 5' CONTOUR
---	499	---	PROPOSED 1' CONTOUR
---	500	---	PROPOSED 5' CONTOUR

LEGEND

SPOT ELEVATION LEGEND:

SW	=	TOP OF SIDEWALK/TRAIL ELEVATION
BC	=	BACK OF CURB ELEVATION
ME	=	MATCH ELEVATION
FF	=	FINISHED FLOOR ELEVATION
TW	=	TOP OF WALL ELEVATION
BW	=	BOTTOM OF WALL ELEVATION
TG	=	TOP OF GROUND ELEVATION





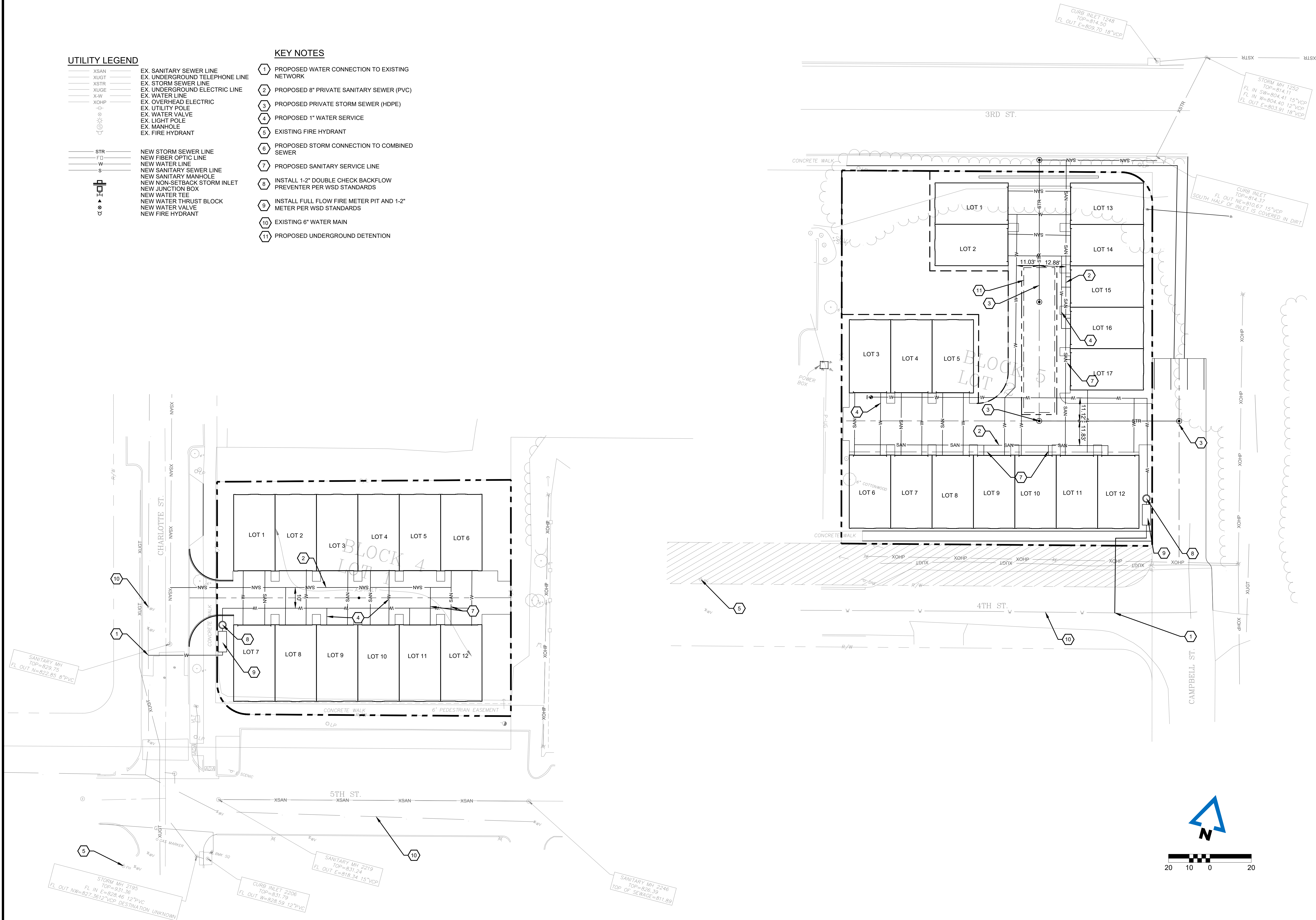
UTILITY LEGEND

XSAN EX. SANITARY SEWER LINE
XUGT EX. UNDERGROUND TELEPHONE LINE
XSTR EX. STORM SEWER LINE
XUGE EX. UNDERGROUND ELECTRIC LINE
X-W EX. WATER LINE
XOHP EX. OVERHEAD ELECTRIC
X-UT EX. UTILITY POLE
X-WV EX. WATER VALVE
X-LP EX. LIGHT POLE
X-MH EX. MANHOLE
X-FH EX. FIRE HYDRANT

STR NEW STORM SEWER LINE
FD NEW FIBER OPTIC LINE
W NEW WATER LINE
S NEW SANITARY SEWER LINE
NEW SANITARY MANHOLE
NEW NON-SETBACK STORM INLET
NEW JUNCTION BOX
NEW WATER TEE
NEW WATER THRUST BLOCK
NEW FIRE VALVE
NEW FIRE HYDRANT

KEY NOTES

- PROPOSED WATER CONNECTION TO EXISTING NETWORK
- PROPOSED 8" PRIVATE SANITARY SEWER (PVC)
- PROPOSED PRIVATE STORM SEWER (HDPE)
- PROPOSED 1" WATER SERVICE
- EXISTING FIRE HYDRANT
- PROPOSED STORM CONNECTION TO COMBINED SEWER
- PROPOSED SANITARY SERVICE LINE
- INSTALL 1-2" DOUBLE CHECK BACKFLOW PREVENTER PER WSD STANDARDS
- INSTALL FULL FLOW FIRE METER PIT AND 1-2" METER PER WSD STANDARDS
- EXISTING 6" WATER MAIN
- PROPOSED UNDERGROUND DETENTION

**McCLURE**™

1700 Swift Ave., Suite 100
North Kansas City, Missouri 64116
P 816-756-0444
F 816-756-1763

Ankeny, IA | Carroll, IA
Cedar Rapids, IA | Clive, IA
Coralville, IA | Council Bluffs, IA
Fort Dodge, IA | Sioux City, IA
Columbia, MO | Macon, MO
North Kansas City, MO | Springfield, MO
Lenexa, KS
Portsmouth, NH

NOTICE:
McClure Engineering Co. is not responsible or liable for any issues, claims, damages, or losses (collectively, "Losses") which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for Losses which arise from failure to obtain and/or follow the engineers' or surveyors' guidance with respect to any alleged errors, omissions, inconsistencies, ambiguities, or conflicts contained within the Plans and Specifications.

MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2024

REVISIONS
12/31/2024 CITY COMMENTS

PROJECT INFO
2024000174-000

ENGINEER AVD
DRAWN BY ELM
CHECKED BY AVD

COLUMBUS PARK
5TH AND CHERRY
KANSAS CITY, MISSOURI

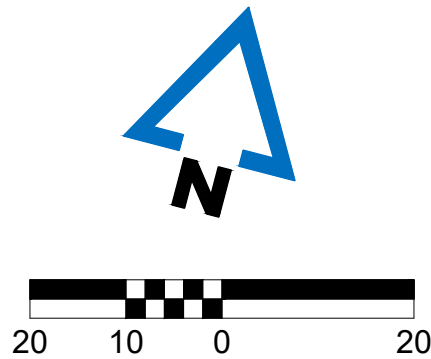
UR SHEETS
UTILITY PLAN

P:\2024\00174-000\04-DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\UR SHEETS\4-174 UTIL.DWG

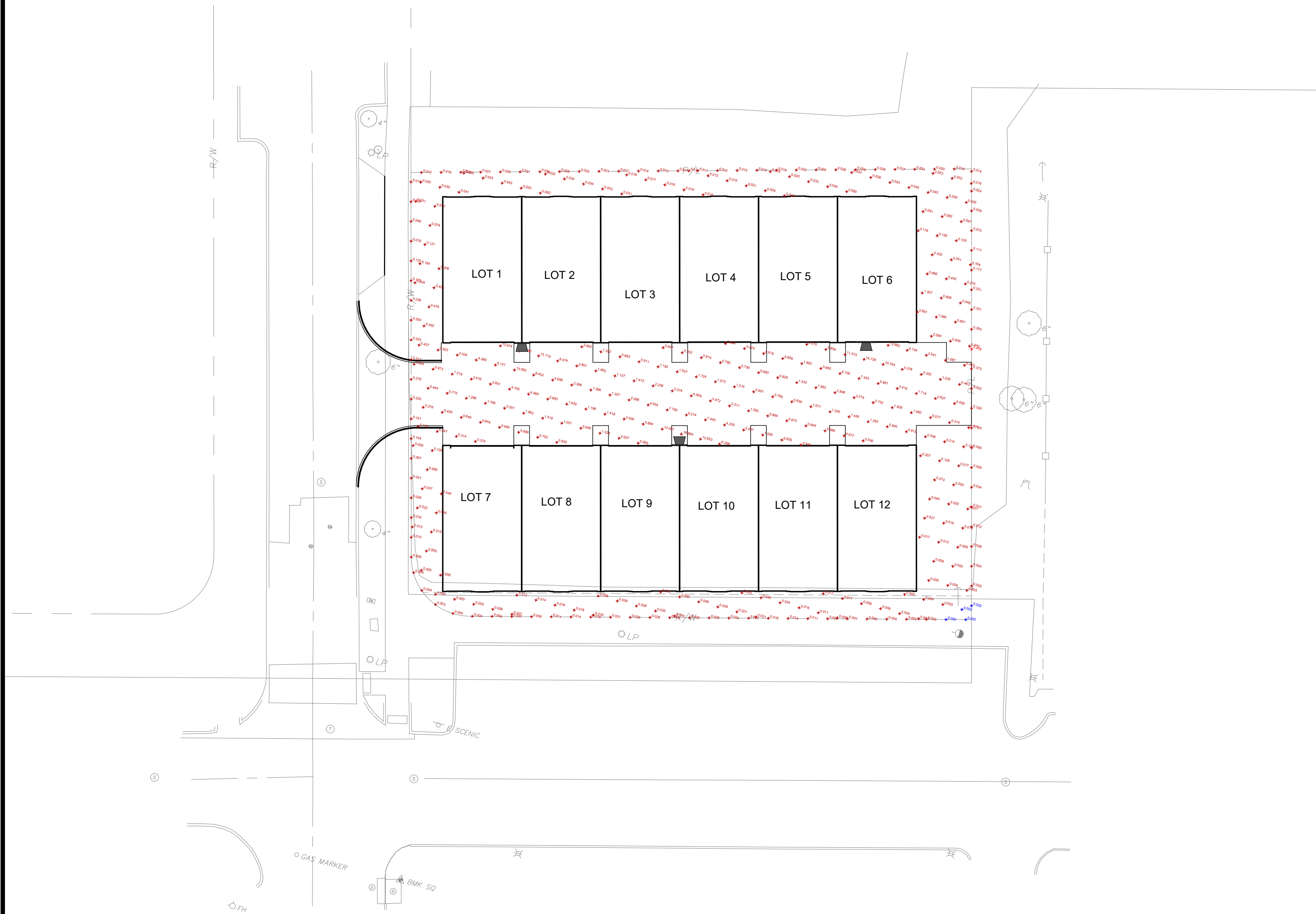
DRAWING NO.
C301



Luminaire/Pole Schedule								Calculation Summary					
Symbol	Qty	Tag	Arrangement	LLF	MOUNTING HEIGHT	Catalog Number	Arr. Watts	Label	Avg	Max	Min	Avg/Min	Max/Min
H	18		SINGLE	0.90	12'	ESXF3 ALO(8,500L) SWW2(3000K) YS DDB	53.2	SITE 1	2.382	18.542	0.003	794.0:1	6180.7:1
								SITE 1 PROP LINE	0.154	0.869	0.003	51.3:1	289.7:1



Luminaire/Pole Schedule								Calculation Summary					
Symbol	Qty	Tag	Arrangement	LLF	MOUNTING HEIGHT	Catalog Number	Arr. Watts	Label	Avg	Max	Min	Avg/Min	Max/Min
■	3		SINGLE	0.90	12'	ESXF3 ALO(8,500L) SWW2(3000K) YS DDB	53.2	SITE 2	1.558	17.580	0.002	779.0:1	8790.0:1
								SITE 2 PROP LINE	0.066	0.408	0.002	33.0:1	204.0:1



Luminaire/Pole Schedule								Calculation Summary					
Symbol	Qty	Tag	Arrangement	LLF	MOUNTING HEIGHT	Catalog Number	Arr. Watts	Label	Avg	Max	Min	Avg/Min	Max/Min
■	8		SINGLE	0.90	12'	ESXF3 ALO(8,500L) SWW2(3000K) YS DDB	53.2	SITE 3	2.008	18.393	0.003	669.3:1	6131.0:1
								SITE 3 PROP LINE	0.136	0.637	0.003	45.3:1	212.3:1

LEGAL DESCRIPTION
COLUMBUS PARK PHASE 1 BLOCK 5 LOT 2

COLUMBUS PARK BLOCK 4 LOT 1

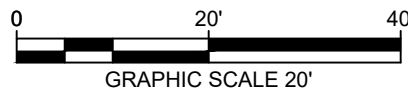
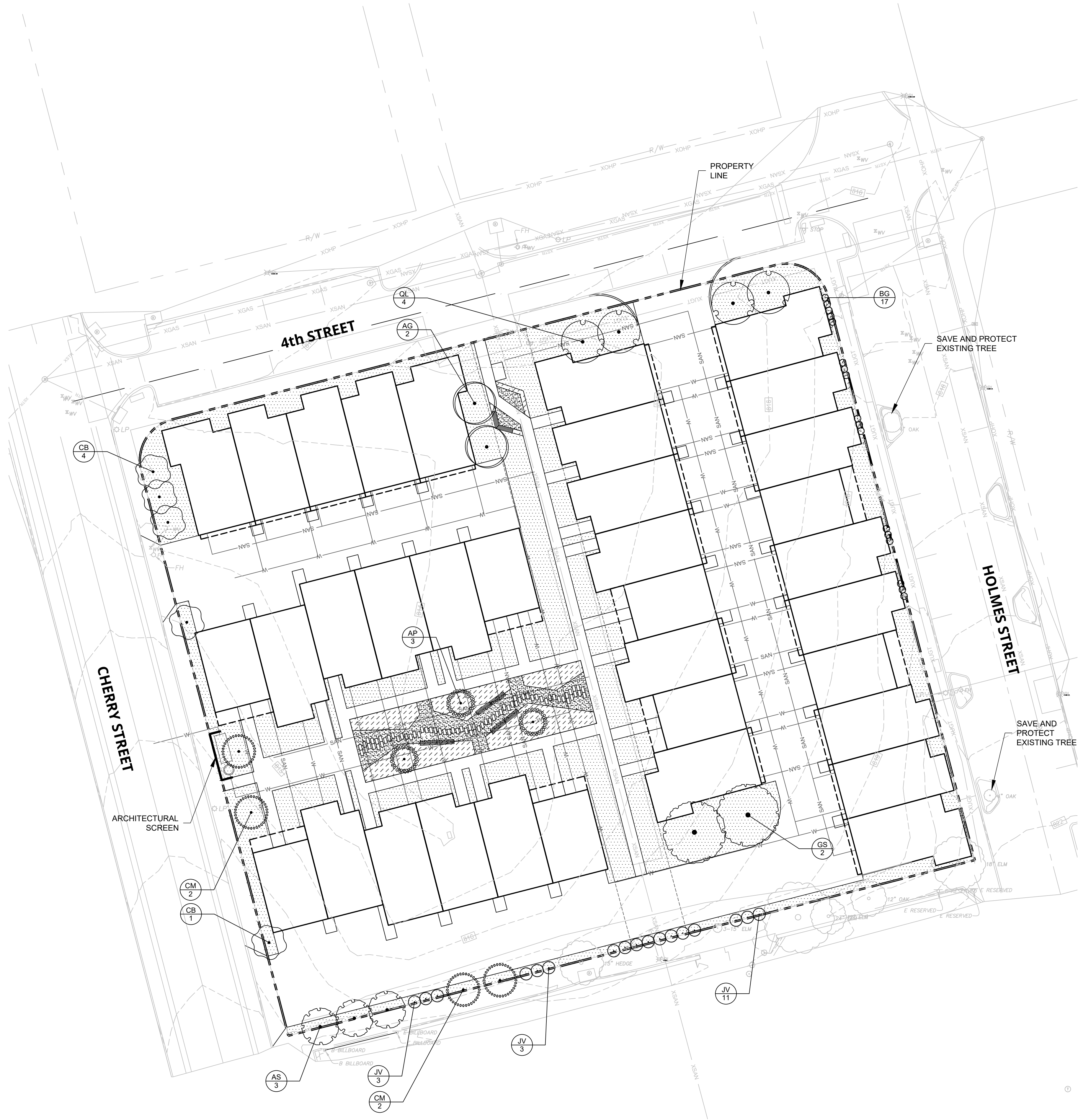
COLUMBUS PARK PHASE 1--PT LOT 2 BLOCK 4 DAF: BEG SW COR SD LOT 2 TH N 14 DEG 41 MIN 26 SEC W 22.57' 142.01' TO POB

PLANNER & CIVIL ENGINEER
McCLURE ENGINEERING
CONTACT NAME: ADAM DEGONIA
ADDRESS: 1700 SWIFT ST STE 100
NORTH KANSAS CITY, MO 64116
816.502.3915
PHONE:
EMAIL: ADEGONIA@MCCLUREVISION.COM

PLOTTED ON: Friday, December 13, 2024 10:21:46 AM
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 File Path:

1
 LANDSCAPE PLAN

SCALE = 1" = 1'-20"



LANDSCAPE REQUIREMENTS SUMMARY

88-425 Landscape Requirements				
Landscape and Screening (Section 88-425, Kansas City, Missouri Zoning and Development Code)				
	Required	Proposed	Alternative Requested	Approved
88-425-03 Street Trees				
Cherry Street	7	7		
Holmes Street	7	0	Save 2 existing trees and 5 trees will be planted elsewhere on-site	
4th Street	8	4	4 trees will be planted elsewhere on-site	
88-425-04 General Landscape Trees	N/A			
88-425-05 Perimeter Vehicular Use Area Adjacent to Public ROW				
Buffer Width Minimum	10'			
Trees	N/A			
Evergreen Shrubs	N/A			
88-425-06 Interior Vehicular Use Area	N/A			
88-425-07 Parking Garage Screening	N/A			
88-425-08 Mechanical/Utility Equipment Screening	Evergreen shrubs to be used to screen utilities.			
88-425-09 Outdoor Use Screening	N/A			

PLANTING NOTES

- GENERAL
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCING WORK. NOTIFY THE MISSOURI ONE CALL SYSTEM AT 800-344-7483, OR 811. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON PLAN ARE FOR REFERENCE ONLY AND MAY OR MAY NOT DEPICT THE ACTUAL LOCATION OF SERVICES.
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 - REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT, PRIOR TO PURCHASING MATERIALS OR STARTING CONSTRUCTION.
 - ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT, OR PLANTING BED SHALL BE BROUGHT TO FINISH GRADE AND PLANTED IN TURF-TYPE TALL FESCUE OR OTHER.

PARKLAND DEDICATION

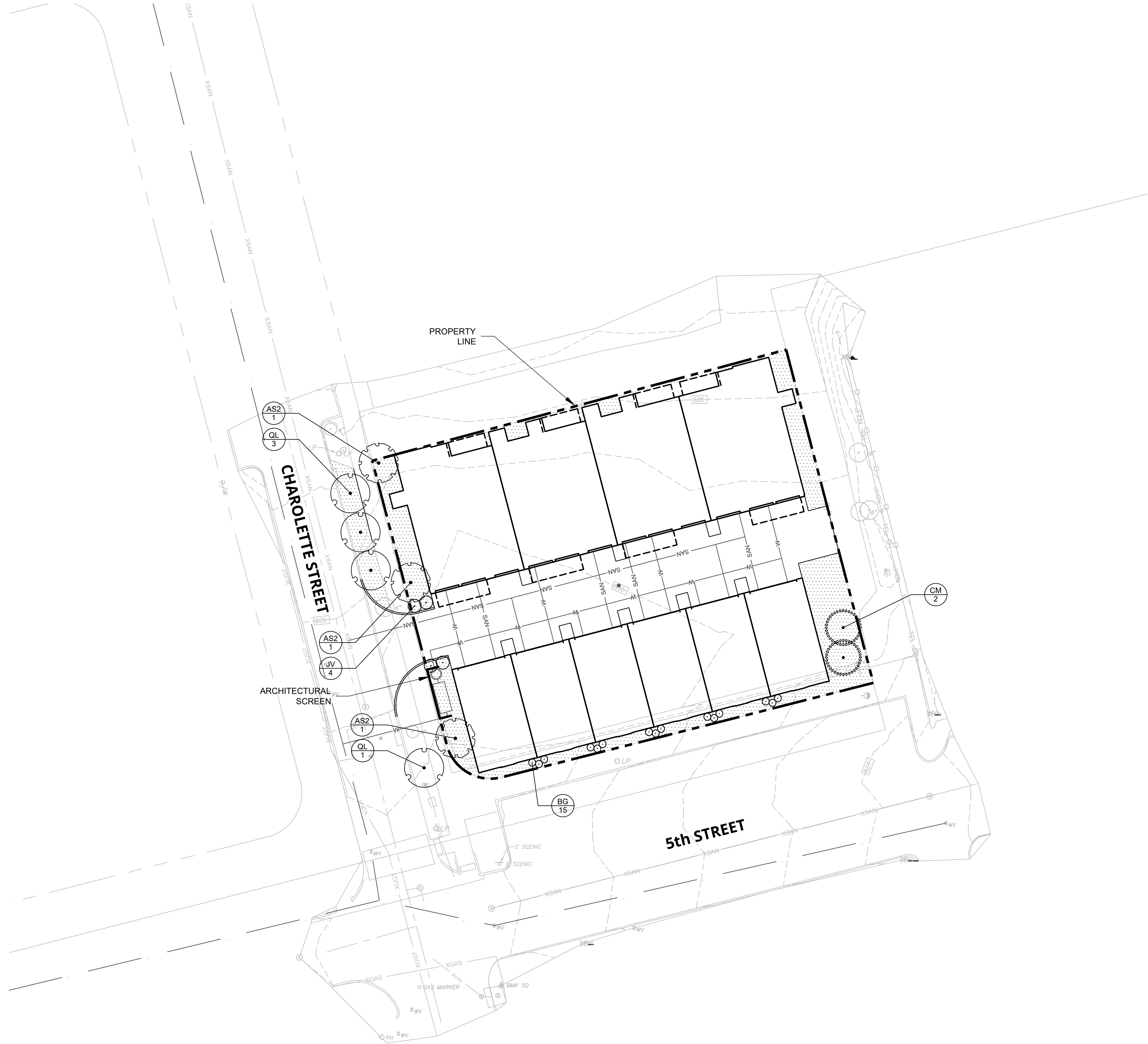
0.22 ACRES TO BE DEDICATED AS PARKLAND.

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL
TREES					
	AG	2	PAPERBARK MAPLE / ACER GRISEUM	B & B	2"CAL
	AP	3	JAPANESE MAPLE / ACER PALMATUM	B & B	2"CAL
	AS	3	SUGAR CONE SUGAR MAPLE / ACER SACCHARUM 'SUGAR CONE'	B & B	2"CAL
	CB	5	COLUMNAR EUROPEAN HORNBEAM / CARPINUS BETULUS 'COLUMNARIS'	B & B	2"CAL
	CM	4	MIDNIGHT EXPRESS REDBUD / CERCIS CANADENSIS 'MIDNIGHT EXPRESS'	B & B	2"CAL
	GS	2	SKYLINE HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	B & B	2"CAL
	QL	4	REGAL PRINCE® OAK / QUERCUS ROBUR X BICOLOR 'LONG'	B & B	2"CAL
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
EVERGREEN SHRUBS					
	BG	17	'GREEN VELVET' BOXWOOD / BUXUS MICROPHYLLA X 'GREEN VELVET'	5 GAL	
	JV	17	GREY OWL JUNIPER / JUNIPERUS VIRGINIANA 'GREY OWL'	5 GAL	
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
GROUND COVERS					
	DG	730 SF	DECOMPOSED GRANITE	N/A	
	GC	1,322 SF	GROUND COVER	N/A	
	TF	9,939 SF	TURF-TYPE TALL FESCUE / TURF SOD	SOD	
			PAVER / STEPPING STONE		

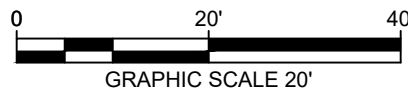
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1 LANDSCAPE PLAN

SCALE = 1" = 1'-20"



LANDSCAPE REQUIREMENTS SUMMARY

88-425 Landscape Requirements				
Landscape and Screening (Section 88-425, Kansas City, Missouri Zoning and Development Code)				
	Required	Proposed	Alternative Requested	Approved
88-425-03 Street Trees				
Charlotte Street	4	4		
5th Street	5	0	5 trees will be planted elsewhere on-site	
88-425-04 General Landscape Trees	N/A			
88-425-05 Perimeter Vehicular Use Area Adjacent to Public ROW				
Buffer Width Minimum	10'			
Trees	N/A			
Evergreen Shrubs - Form a continuous visual screen 3' in height after 1st growing season	4	4		
88-425-06 Interior Vehicular Use Area	N/A			
88-425-07 Parking Garage Screening	N/A			
88-425-08 Mechanical/Utility Equipment Screening			Evergreen shrubs to be used to screen utilities.	
88-425-09 Outdoor Use Screening	N/A			

PLANTING NOTES

GENERAL

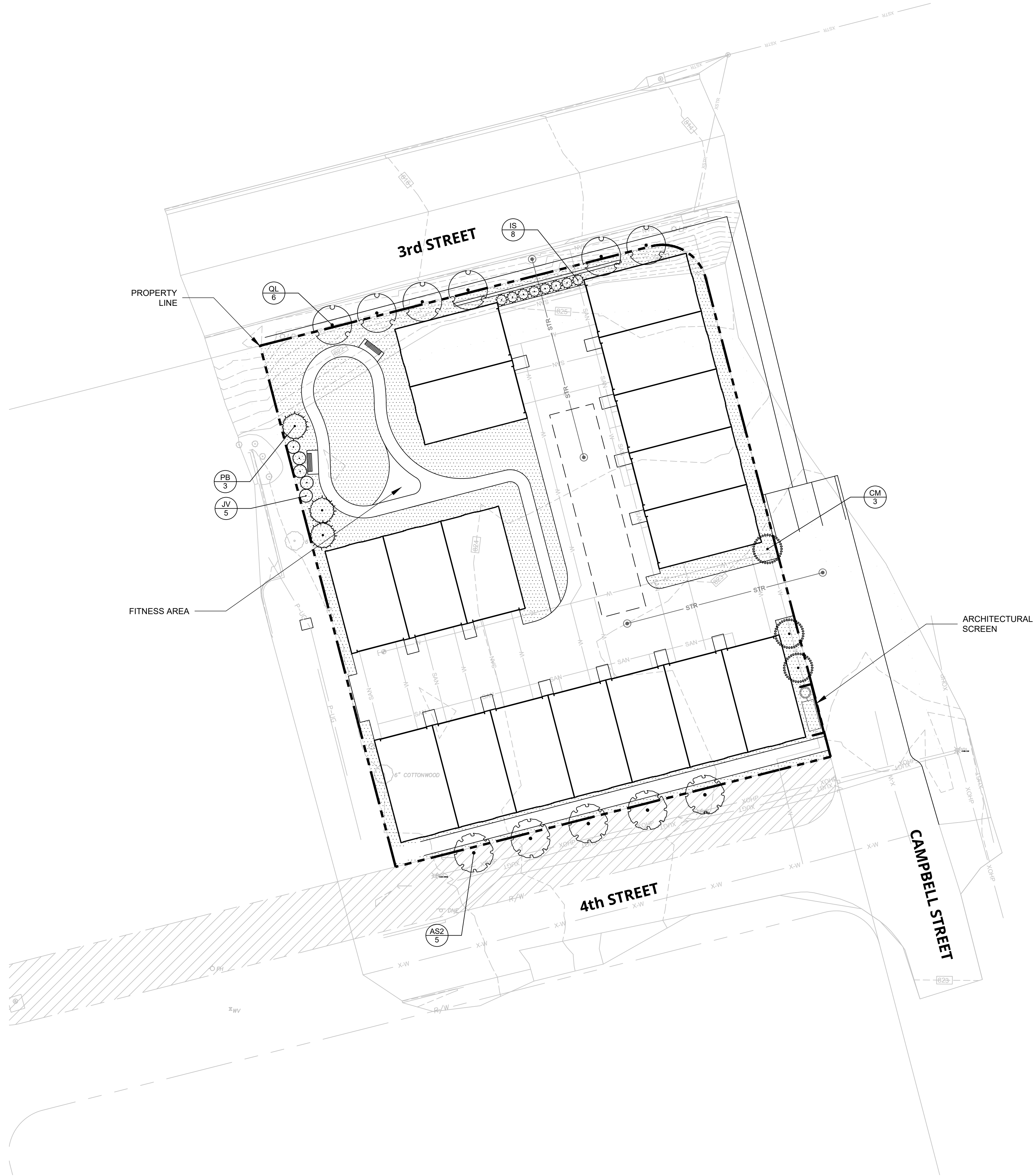
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCING WORK. NOTIFY THE MISSOURI ONE CALL SYSTEM AT 800-344-7483, OR 811. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON PLAN ARE FOR REFERENCE ONLY AND MAY OR MAY NOT DEPICT THE ACTUAL LOCATION OF SERVICES.
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PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL
TREES					
	AS2	3	SUGAR CONE SUGAR MAPLE / ACER SACCHARUM 'SUGAR CONE'	B & B	2" CAL
	CM	2	MIDNIGHT EXPRESS REDBUD / CERCIS CANADENSIS 'MIDNIGHT EXPRESS'	B & B	2" CAL
	QL	4	REGAL PRINCE® OAK / QUERCUS ROBUR X BICOLOR 'LONG'	B & B	2" CAL
EVERGREEN SHRUBS					
	BG	15	'GREEN VELVET' BOXWOOD / BUXUS MICROPHYLLA X 'GREEN VELVET'	5 GAL	
	JV	4	GREY OWL JUNIPER / JUNIPERUS VIRGINIANA 'GREY OWL'	5 GAL	
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
GROUND COVERS					
	TF	2,550 SF	TURF-TYPE TALL FESCUE / TURF SOD	SOD	

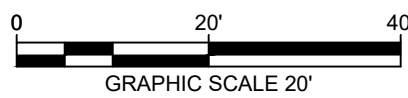
Date	No.

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1 LANDSCAPE PLAN

SCALE = 1" = 1'-20"



LANDSCAPE REQUIREMENTS SUMMARY

88-425 Landscape Requirements				
Landscape and Screening (Section 88-425, Kansas City, Missouri Zoning and Development Code)				
	Required	Proposed	Alternative Requested	Approved
88-425-03 Street Trees				
Campbell Street	3	3		
3rd Street	5	5		
4th Street	5	5		
88-425-04 General Landscape Trees				
88-425-05 Perimeter Vehicular Use Area Adjacent to Public ROW	N/A			
Buffer Width Minimum	10'			
Trees	1	1		
Evergreen Shrubs - Form a continuous visual screen 3' in height after 1st growing season	8	8		
88-425-06 Interior Vehicular Use Area				
88-425-07 Parking Garage Screening	N/A			
88-425-08 Mechanical/Utility Equipment Screening	N/A			
88-425-09 Outdoor Use Screening	N/A			

PLANTING NOTES

GENERAL

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PARKLAND DEDICATION

0.11 ACRES TO BE DEDICATED AS PARKLAND.

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
TREES						
	AS2	5	SUGAR CONE SUGAR MAPLE / ACER SACCHARUM 'SUGAR CONE'	B & B	2"	CAL
	CM	3	MIDNIGHT EXPRESS REDBUD / CERCIS CANADENSIS 'MIDNIGHT EXPRESS'	B & B	2"	CAL
	PB	3	BACHERI COLORADO SPRUCE / PICEA PUNGENS 'BACHERI'	B & B		6'-7' TALL
	QL	6	REGAL PRINCE® OAK / QUERCUS ROBUR X BICOLOR 'LONG'	B & B	2"	CAL
EVERGREEN SHRUBS						
	IS	8	SHAMROCK INKBERRY HOLLY / ILEX GLABRA 'SHAMROCK'	5 GAL		
	JV	5	GREY OWL JUNIPER / JUNIPERUS VIRGINIANA 'GREY OWL'	5 GAL		
GROUND COVERS						
	TF	5,942 SF	TURF-TYPE TALL FESCUE / TURF SOD	SOD		

Date	No.

POLAR DEVELOPMENT, LLC.
COLUMBUS PARK PHASE 1
KANSAS CITY, MISSOURI

ZONING - ARCH PACKAGE
UNIT A - 20'-0" X 28'-0" BABY TH w/ 2'-2" OVERHANG
UNIT B - 20'-0" X 37'-10" TH w/ 2'-2" OVERHANG

12.30.2024



NOTE:

SITE PLAN FOR REFERENCE & ILLUSTRATIVE PURPOSE ONLY. SEE CIVIL AND LANDSCAPE PLANS FOR FINAL DIMENSIONS AND GRADING.

SITE PLAN KEY NOTES

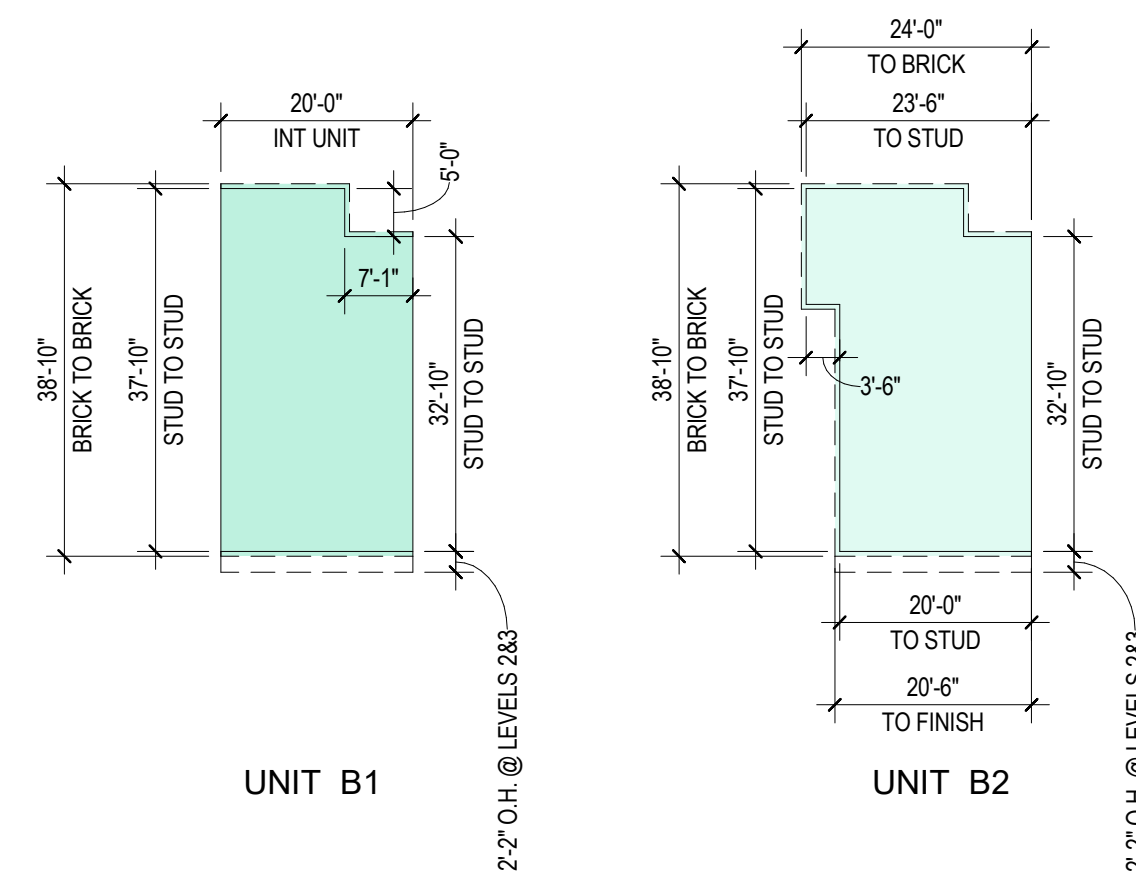
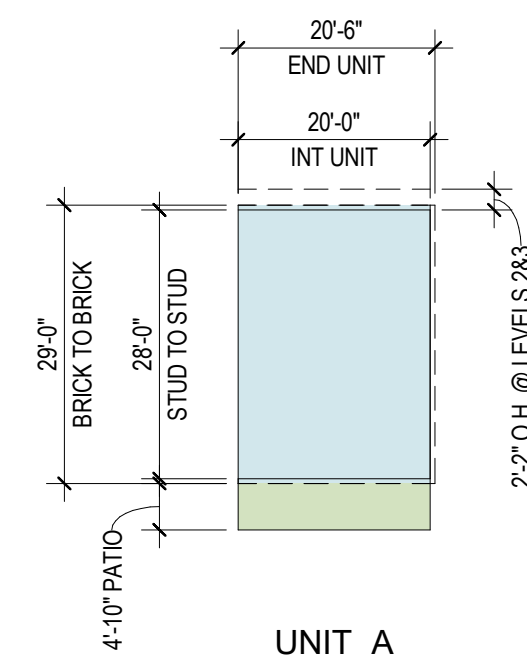
1. REFER TO LANDSCAPE/CIVIL DWGS. FOR PLANTERS, SIDEWALKS & CONCRETE STEPS.
2. MAILBOXES, REFER TO CIVIL/LANDSCAPE DWGS.
3. ELECTRICAL METER BANK, REFER TO M.E.P. DWGS.
4. GARAGE ENTRY / EXIT.
5. RESIDENTIAL ENTRY / EXIT.
6. TRANSFORMER, REFER TO CIVIL DWGS.
7. PAVILION / SUN STRUCTURE, REFER TO LANDSCAPE DWGS.
8. MONUMENT SIGN, REFER TO LANDSCAPE/CIVIL DWGS.

SITE PLAN GENERAL NOTES

1. OUTLET FOR FUTURE EV CHARGING STATION IS LOCATED ON THE INTERIOR OF THE GARAGES, PLEASE REFER TO SHEET A-110 FOR THE EV CHARGING STATION LOCATION.

UNIT A - 20'-0" X 28'-0" BABY TOWNHOUSE w/ 2'-2" OVERHANG
*INT AND END CONDITION

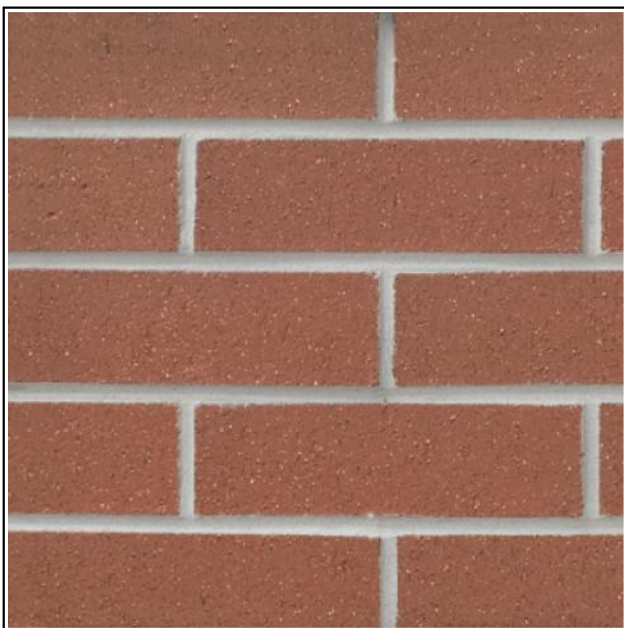
B1 B2 UNIT B - 20'-0" X 37'-10" TOWNHOUSE w/ 2'-2" OVERHANG
*STANDARD B1 - INTERIOR CONDITION
*STANDARD B2 - END CONDITION W/ SIDE BUMP



LOTS MARKED WITH (*) ARE REQUIRED TO HAVE FIRE SPRINKLER SYSTEMS INSTALLED IN ACCORDANCE WITH NFPA 13D. (LOTS 07,09,13,16,21 & 23)

(A code modification request must be submitted for buildings with exterior walls, including gable walls, exceeding 30 feet in height and lacking aerial access. This request serves to document the agreement to install fire sprinkler systems per NFPA 13D.)

MATERIAL BOARD



M-01 - BRICK VENEER



M-02 - HOR. SIDING



M-03 - VERTICAL SIDING



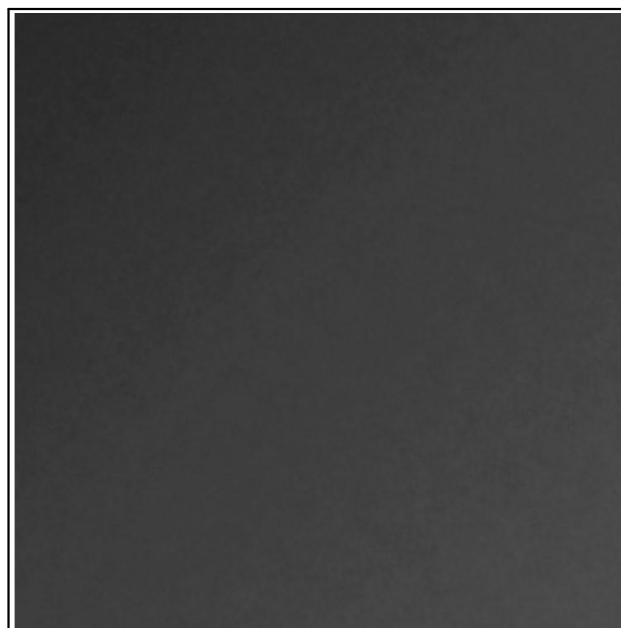
M-04 - F.C PANEL



M-05 - STUCCO



M-06 - ASPHALT ROOF SHINGLE



M-07 - METAL
- RAILINGS
- CANOPY
- DOWNSPOUT



M-08 - GARAGE DOOR



M-09 - DOOR

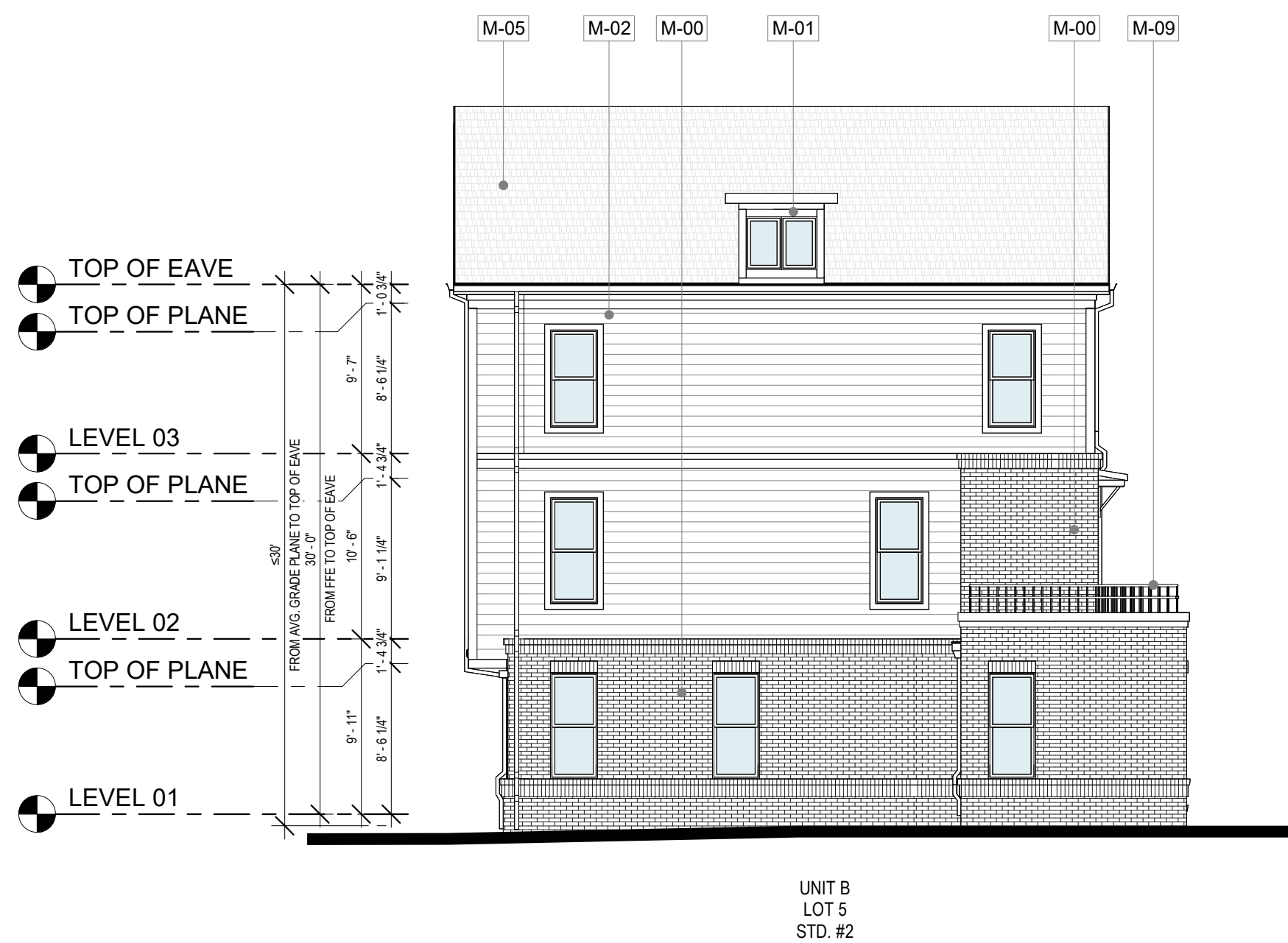


M-10 - WINDOWS

EXTERIOR ELEVATION KEYNOTES:

- M-00 - BRICK VENEER
- M-01 - FIBER CEMENT PANEL
- M-02 - FIBER CEMENT HORIZONTAL SIDING
- M-03 - FIBER CEMENT VERTICAL SIDING
- M-04 - STUCCO
- M-05 - ASPHALT ROOF SHINGLES
- M-06 - STANDING SEAM METAL ROOF
- M-07 - VINYL DOORS AND WINDOW
- M-08 - OVERHEAD DOORS
- M-09 - METAL RAILING
- M-10 - METAL CANOPY
- M-11 - GUTTER & DOWNSPOUT
- M-12 - SCUPPER & DOWNSPOUT
- M-13 - BRICK ROWLOCK OVER SOLDIER
- M-14 - BRICK SOLDIER
- M-15 - BRICK ROWLOCK
- M-16 - BUILT UP CORNICE
- M-17 - 4" TRIM
- M-18 - 6" TRIM
- M-19 - 8" TRIM
- M-20 - BUILT UP CORNICE
- M-21 - 5" TRIM

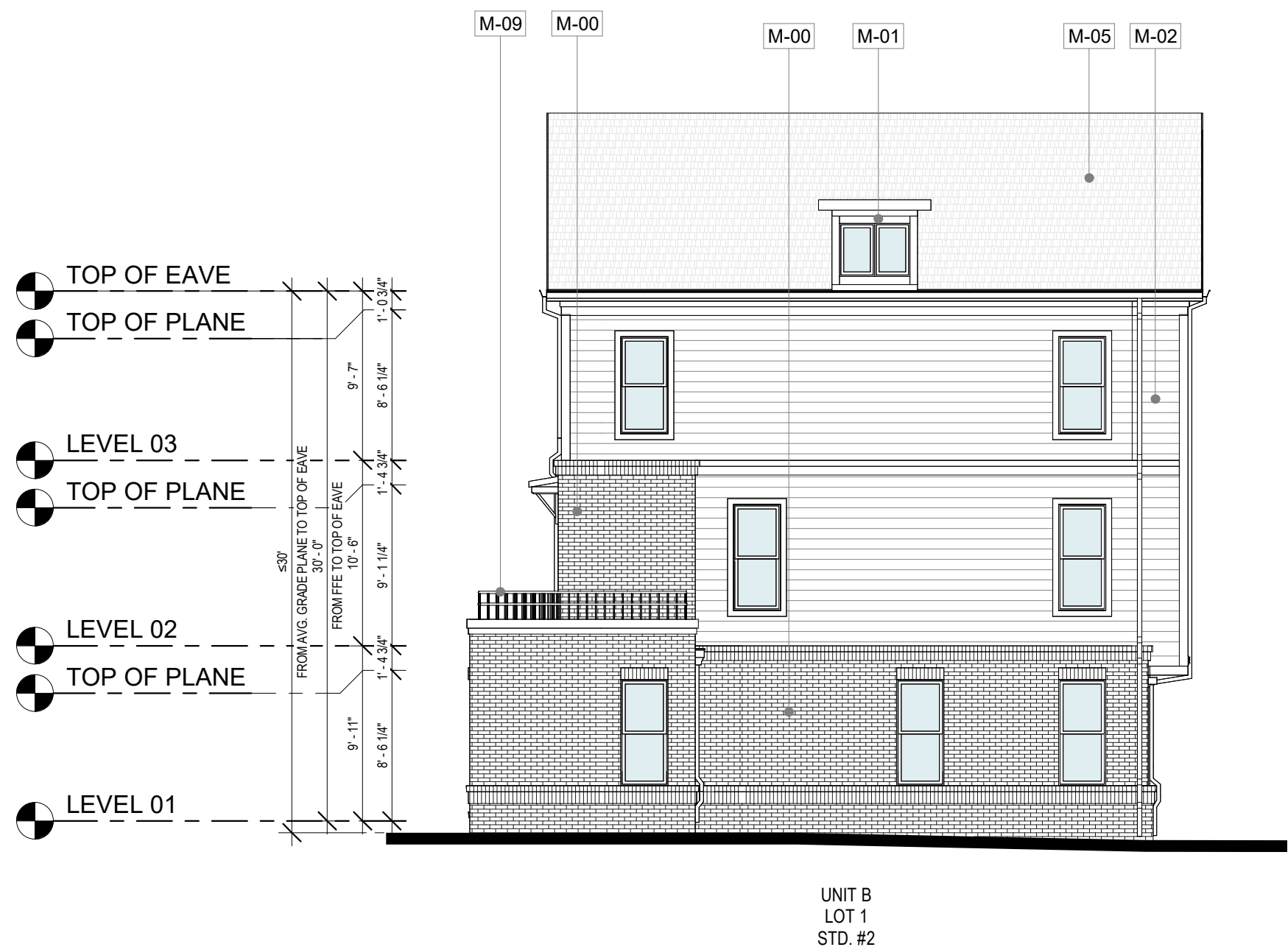
*MATERIALS AND COLORS ARE FOR ILLUSTRATIVE PURPOSES ONLY. SUBJECT TO CHANGE



BLDG 01 - LEFT SIDE ELEVATION



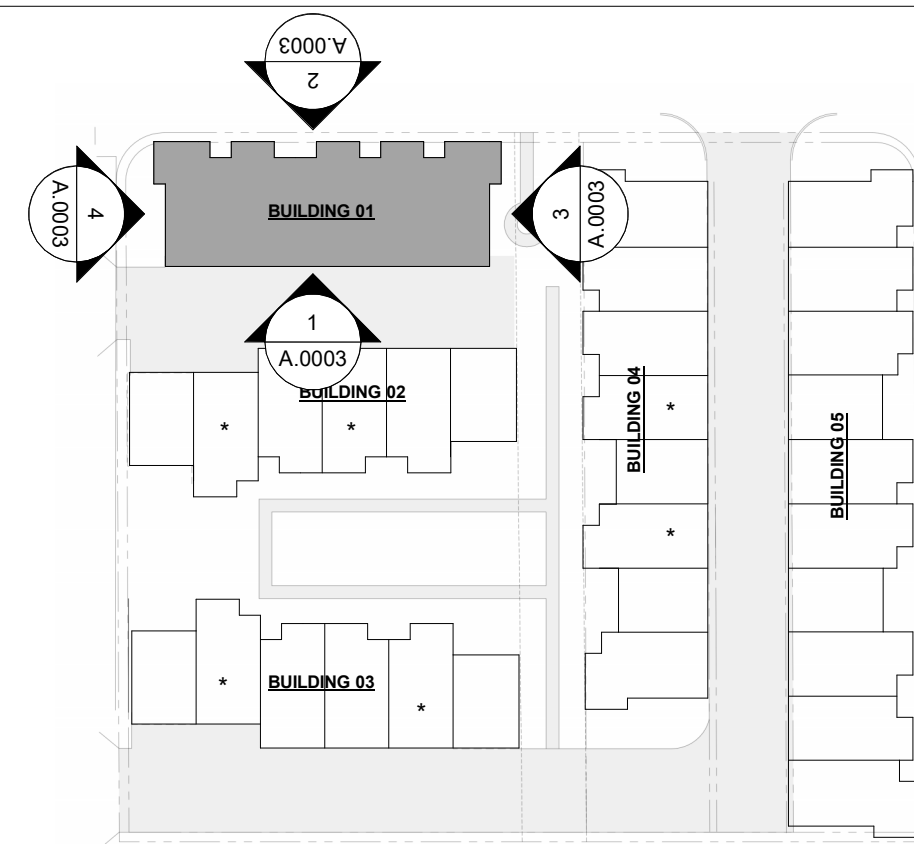
BLDG 01 - FRONT ELEVATION



BLDG 01 - RIGHT SIDE ELEVATION



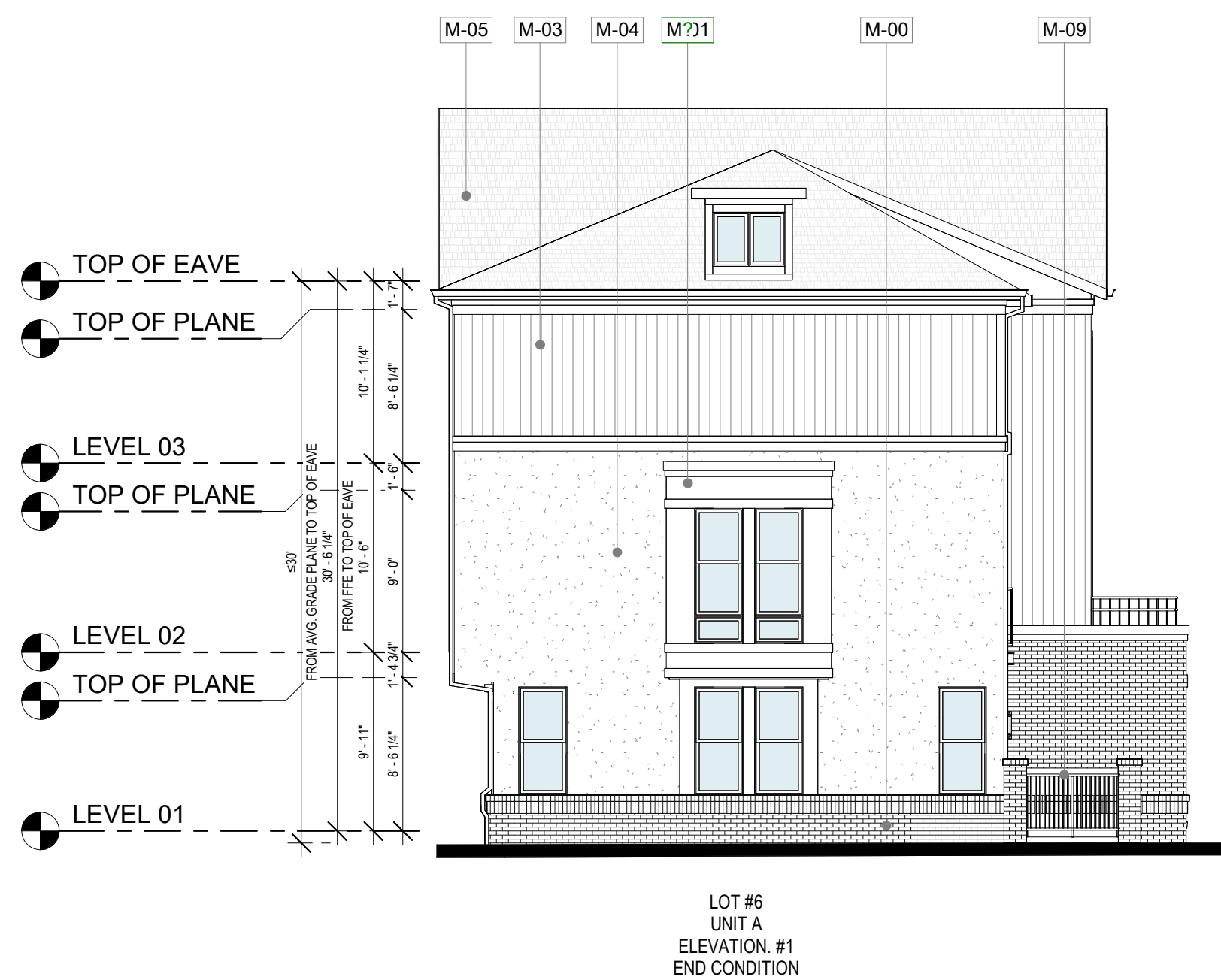
BLDG 01 - REAR ELEVATION



KEY PLAN

EXTERIOR ELEVATION KEYNOTES:

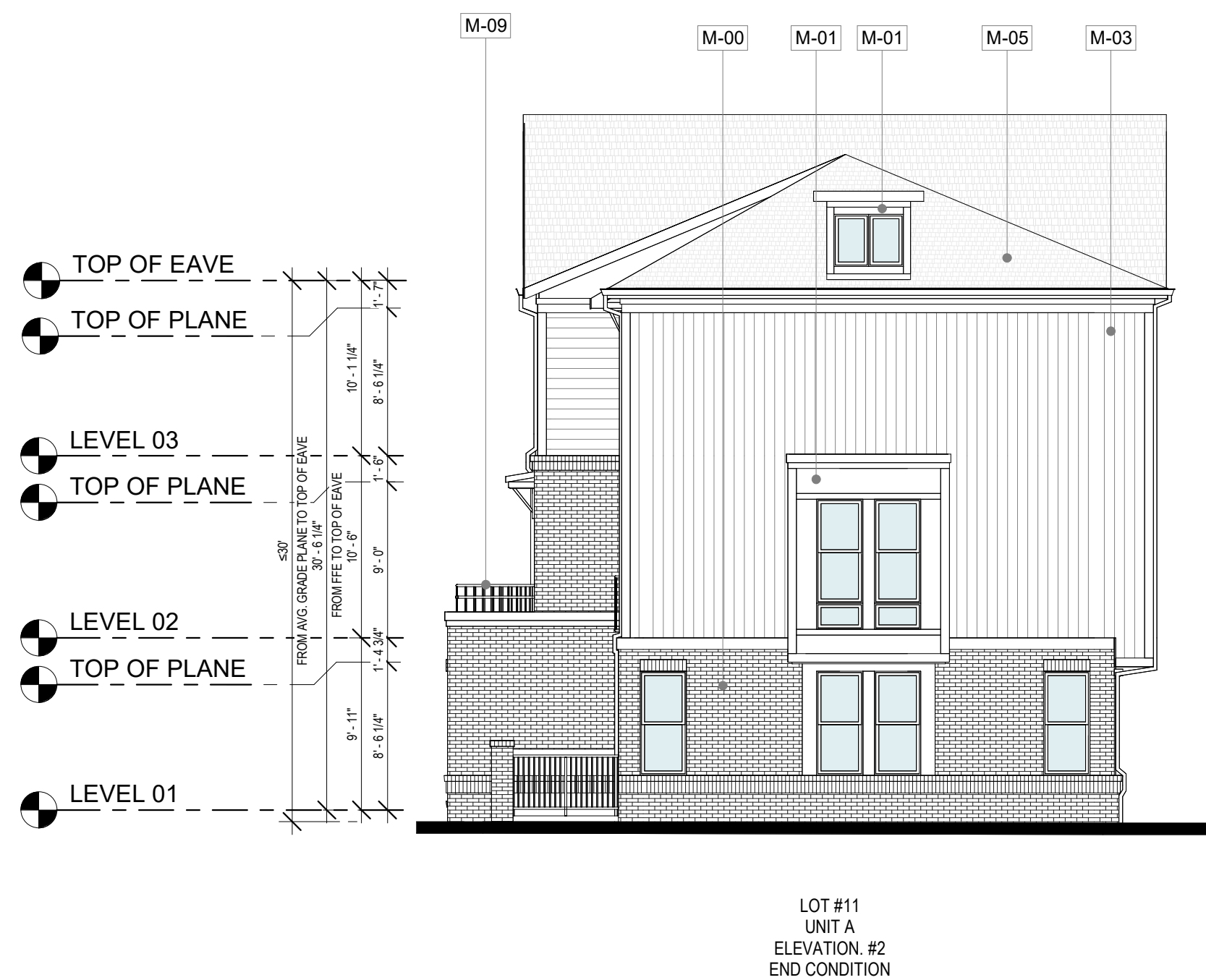
- M-00 - BRICK VENEER
- M-01 - FIBER CEMENT PANEL
- M-02 - FIBER CEMENT HORIZONTAL SIDING
- M-03 - FIBER CEMENT VERTICAL SIDING
- M-04 - STUCCO
- M-05 - ASPHALT ROOF SHINGLES
- M-06 - STANDING SEAM METAL ROOF
- M-07 - VINYL DOORS AND WINDOW
- M-08 - OVERHEAD DOORS
- M-09 - METAL RAILING
- M-10 - METAL CANOPY
- M-11 - GUTTER & DOWNSPOUT
- M-12 - SCUPPER & DOWNSPOUT
- M-13 - BRICK ROWLOCK OVER SOLDIER
- M-14 - BRICK SOLDIER
- M-15 - BRICK ROWLOCK
- M-16 - BUILT UP CORNICE
- M-17 - 4" TRIM
- M-18 - 6" TRIM
- M-19 - 8" TRIM
- M-20 - BUILT UP CORNICE
- M-21 - 5" TRIM



BLDG 02 - LEFT SIDE ELEVATION



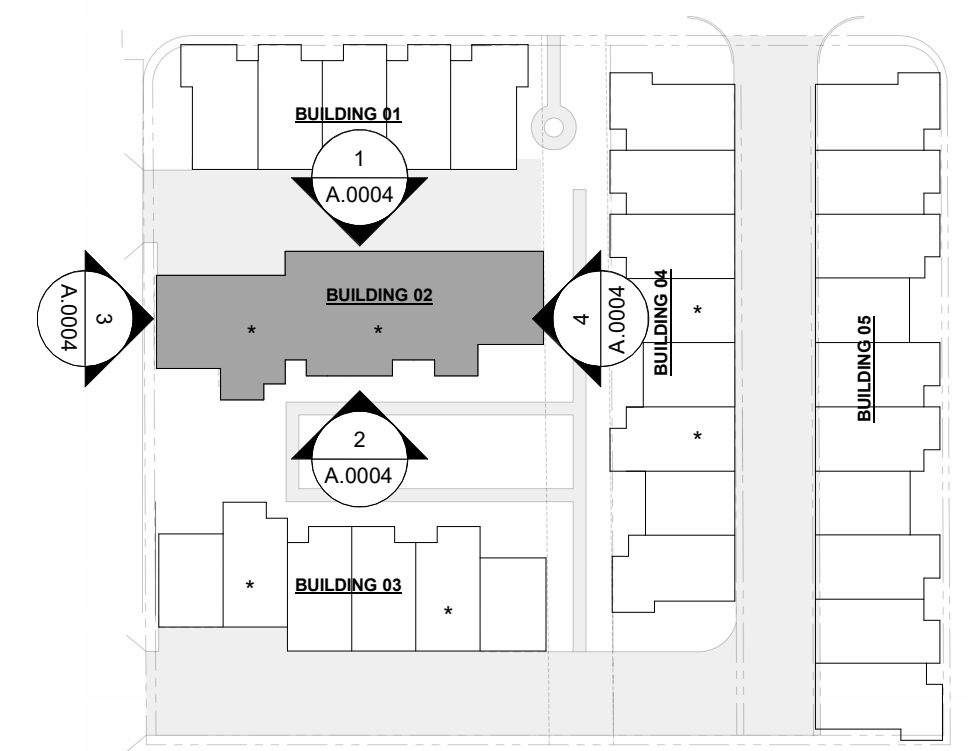
BLDG 02 - FRONT ELEVATION



BLDG 02 - RIGHT SIDE ELEVATION



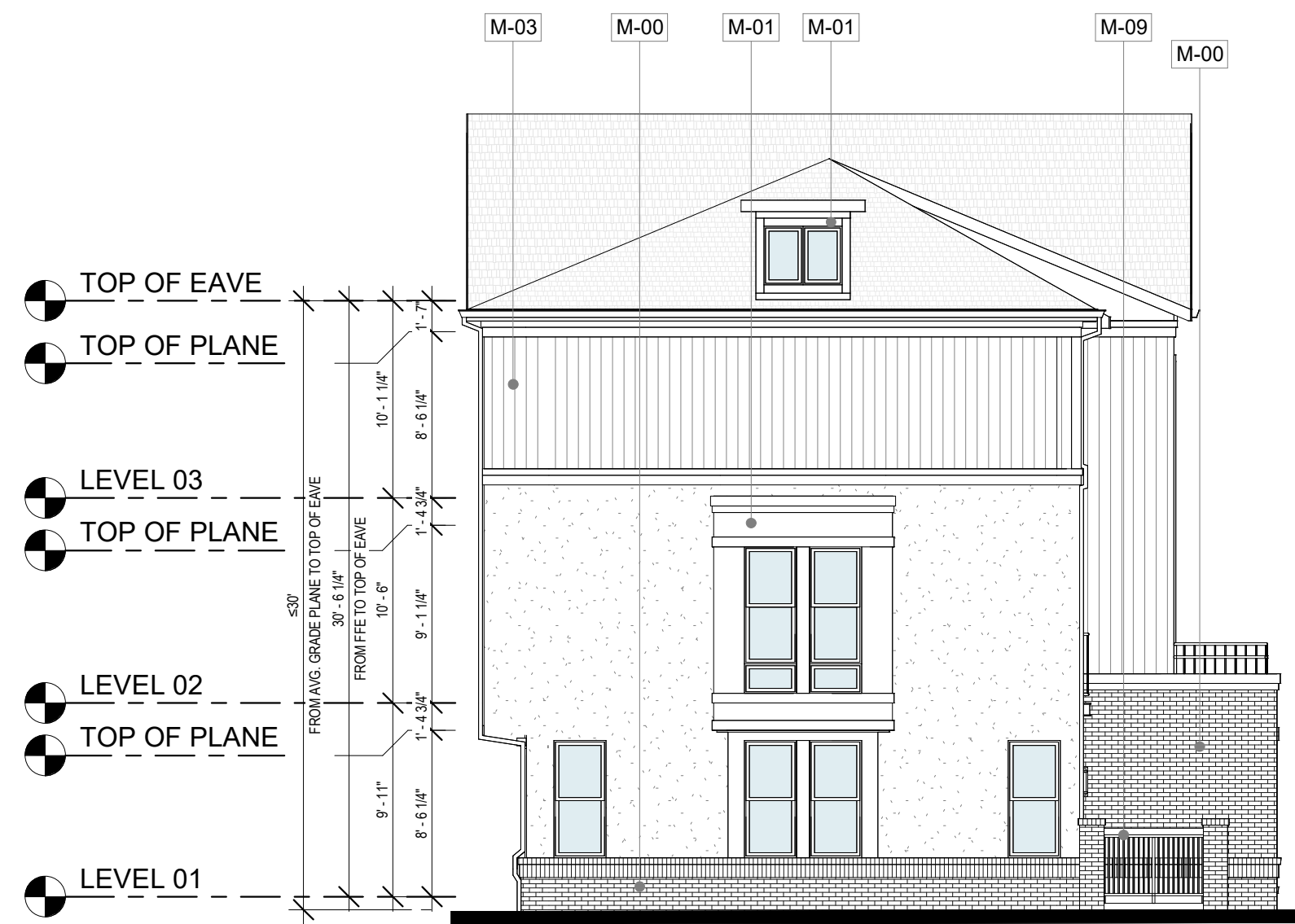
BLDG 02 - REAR ELEVATION



KEY PLAN

EXTERIOR ELEVATION KEYNOTES:

- M-00 - BRICK VENEER
- M-01 - FIBER CEMENT PANEL
- M-02 - FIBER CEMENT HORIZONTAL SIDING
- M-03 - FIBER CEMENT VERTICAL SIDING
- M-04 - STUCCO
- M-05 - ASPHALT ROOF SHINGLES
- M-06 - STANDING SEAM METAL ROOF
- M-07 - VINYL DOORS AND WINDOW
- M-08 - OVERHEAD DOORS
- M-09 - METAL RAILING
- M-10 - METAL CANOPY
- M-11 - GUTTER & DOWNSPOUT
- M-12 - SCUPPER & DOWNSPOUT
- M-13 - BRICK ROWLOCK OVER SOLDIER
- M-14 - BRICK SOLDIER
- M-15 - BRICK ROWLOCK
- M-16 - BUILT UP CORNICE
- M-17 - 4" TRIM
- M-18 - 6" TRIM
- M-19 - 8" TRIM
- M-20 - BUILT UP CORNICE
- M-21 - 5" TRIM

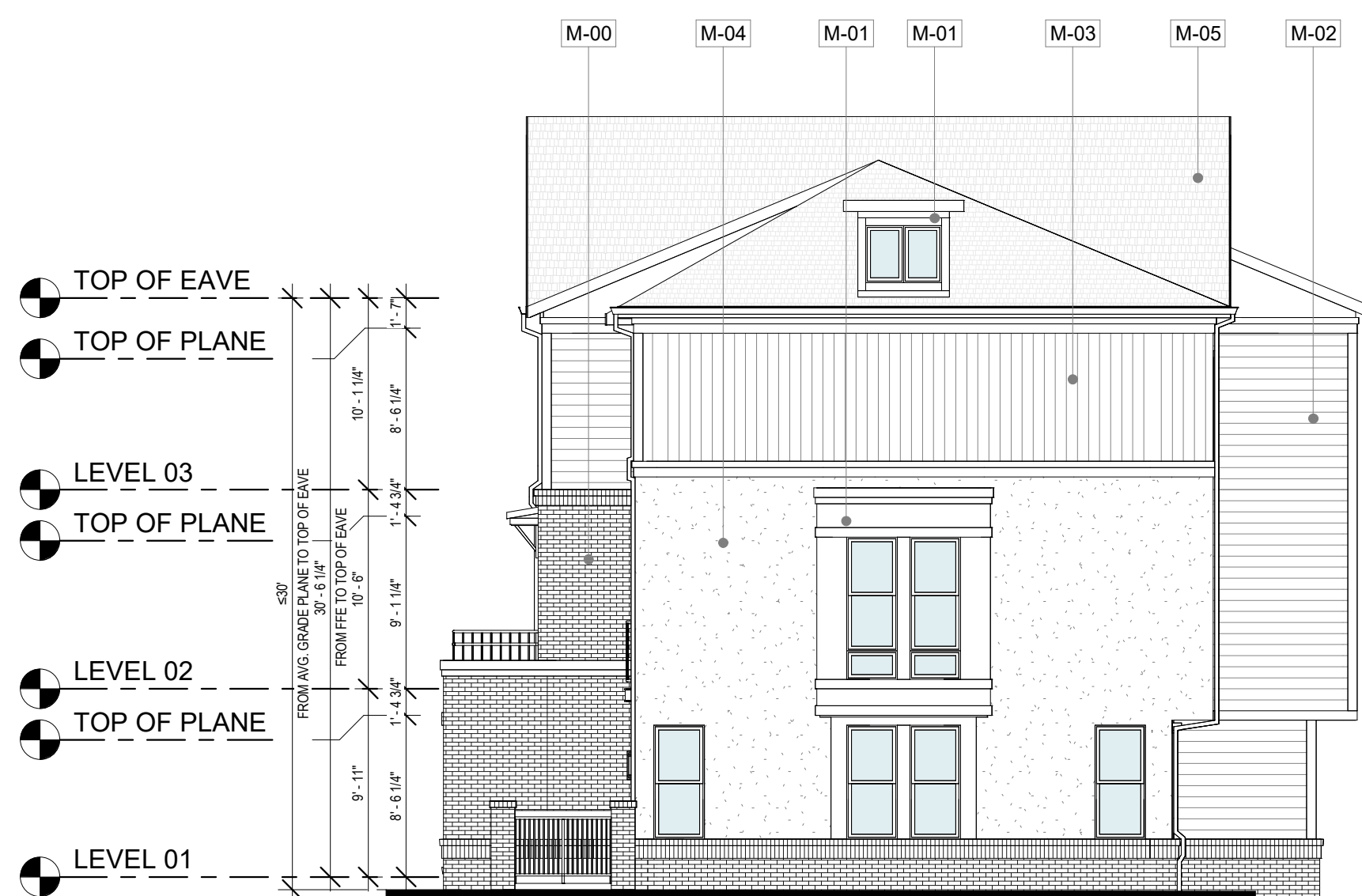


LOT #17
UNIT A
ELEVATION: #1
END CONDITION
(REVERSE)

BLDG 03 - LEFT SIDE ELEVATION



BLDG 03 - FRONT ELEVATION



LOT #12
UNIT A
ELEVATION: #1
END CONDITION

BLDG 03 - RIGHT SIDE ELEVATION



LOT #12
UNIT A
ELEVATION: #1
END CONDITION

LOT #13
UNIT B1
ELEVATION: #3
INT. CONDITION

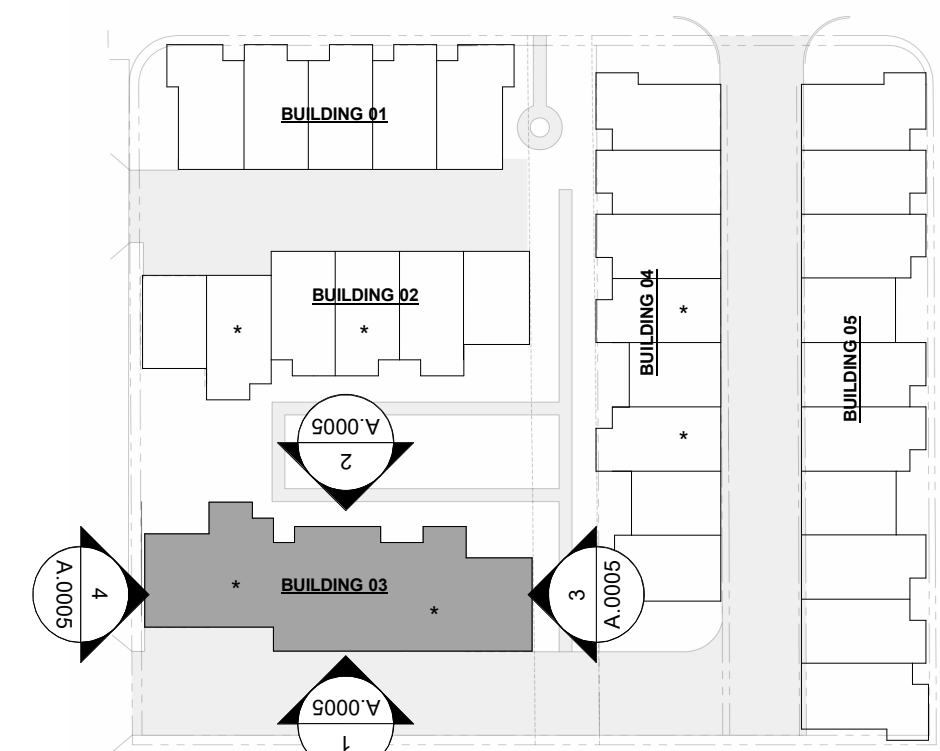
LOT #14
UNIT B1
ELEVATION: #1
INT. CONDITION
(REVERSE)

LOT #15
UNIT B1
ELEVATION: #3
INT. CONDITION

LOT #16
UNIT B1
ELEVATION: #1
INT. CONDITION

LOT #17
UNIT A
ELEVATION: #1
END CONDITION
(REVERSE)

BLDG 03 - REAR ELEVATION



KEY PLAN

EXTERIOR ELEVATION KEYNOTES:

- M-00 - BRICK VENEER
- M-01 - FIBER CEMENT PANEL
- M-02 - FIBER CEMENT HORIZONTAL SIDING
- M-03 - FIBER CEMENT VERTICAL SIDING
- M-04 - STUCCO
- M-05 - ASPHALT ROOF SHINGLES
- M-06 - STANDING SEAM METAL ROOF
- M-07 - VINYL DOORS AND WINDOW
- M-08 - OVERHEAD DOORS
- M-09 - METAL RAILING
- M-10 - METAL CANOPY
- M-11 - GUTTER & DOWNSPOUT
- M-12 - SCUPPER & DOWNSPOUT
- M-13 - BRICK ROWLOCK OVER SOLDIER
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- M-15 - BRICK ROWLOCK
- M-16 - BUILT UP CORNICE
- M-17 - 4" TRIM
- M-18 - 6" TRIM
- M-19 - 8" TRIM
- M-20 - BUILT UP CORNICE
- M-21 - 5" TRIM



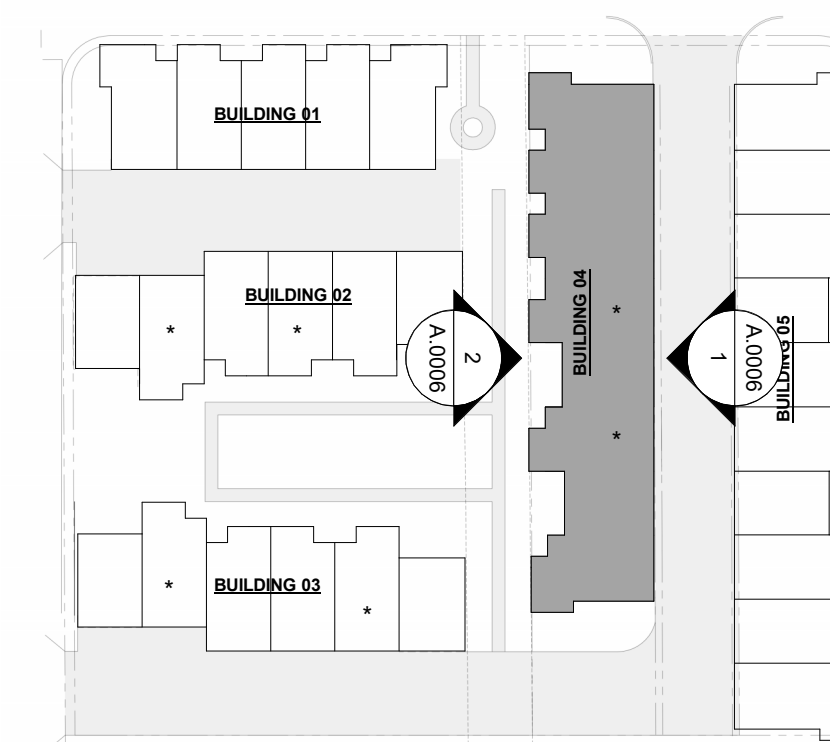
BUILDING 04- FRONT ELEVATION



BUILDING 04- REAR ELEVATION

BUILDING 04 ELEVATIONS

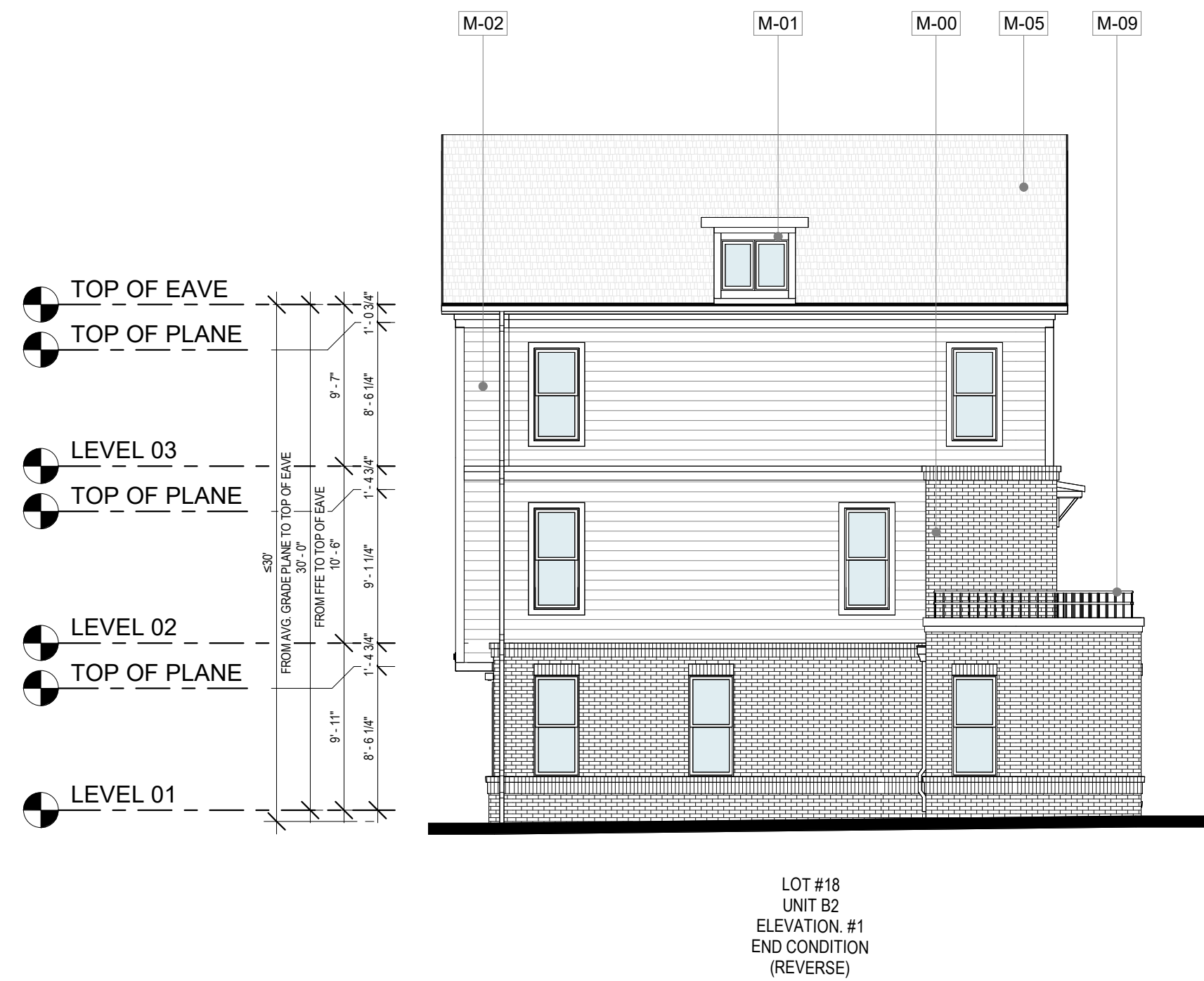
ZONING SUBMISSION



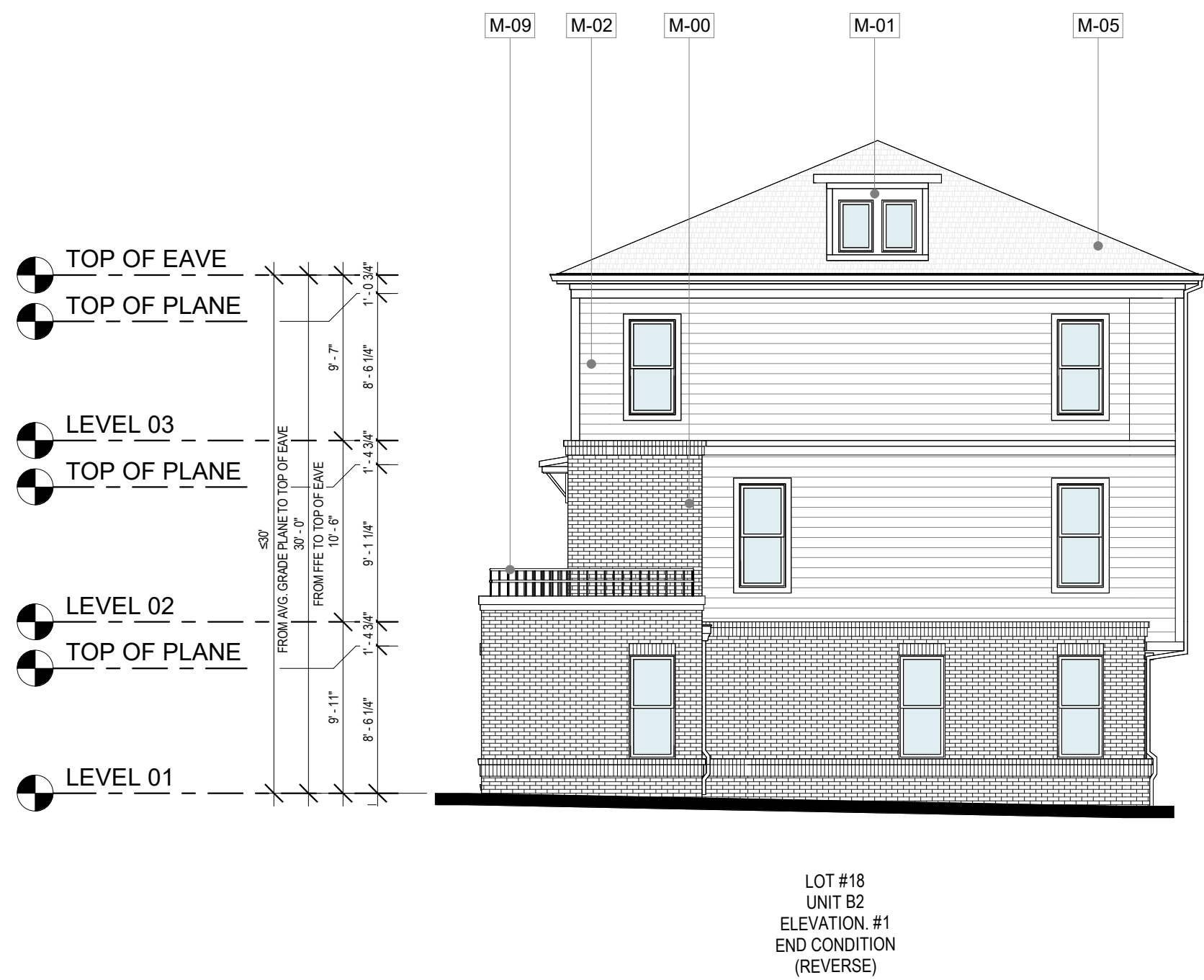
KEY PLAN

EXTERIOR ELEVATION KEYNOTES:

- M-00 - BRICK VENEER
- M-01 - FIBER CEMENT PANEL
- M-02 - FIBER CEMENT HORIZONTAL SIDING
- M-03 - FIBER CEMENT VERTICAL SIDING
- M-04 - STUCCO
- M-05 - ASPHALT ROOF SHINGLES
- M-06 - STANDING SEAM METAL ROOF
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- M-13 - BRICK ROWLOCK OVER SOLDIER
- M-14 - BRICK SOLDIER
- M-15 - BRICK ROWLOCK
- M-16 - BUILT UP CORNICE
- M-17 - 4" TRIM
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- M-19 - 8" TRIM
- M-20 - BUILT UP CORNICE
- M-21 - 5" TRIM



BUILDING 04- LEFT SIDE ELEVATION



BUILDING 04- RIGHT SIDE ELEVATION

BUILDING 04 ELEVATIONS

ZONING SUBMISSION



KEY PLAN

EXTERIOR ELEVATION KEYNOTES:

- M-00 - BRICK VENEER
- M-01 - FIBER CEMENT PANEL
- M-02 - FIBER CEMENT HORIZONTAL SIDING
- M-03 - FIBER CEMENT VERTICAL SIDING
- M-04 - STUCCO
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- M-15 - BRICK ROWLOCK
- M-16 - BUILT UP CORNICE
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- M-19 - 8" TRIM
- M-20 - BUILT UP CORNICE
- M-21 - 5" TRIM



BUILDING 05- FRONT ELEVATION



BUILDING 05- REAR ELEVATION

BUILDING 05 ELEVATIONS

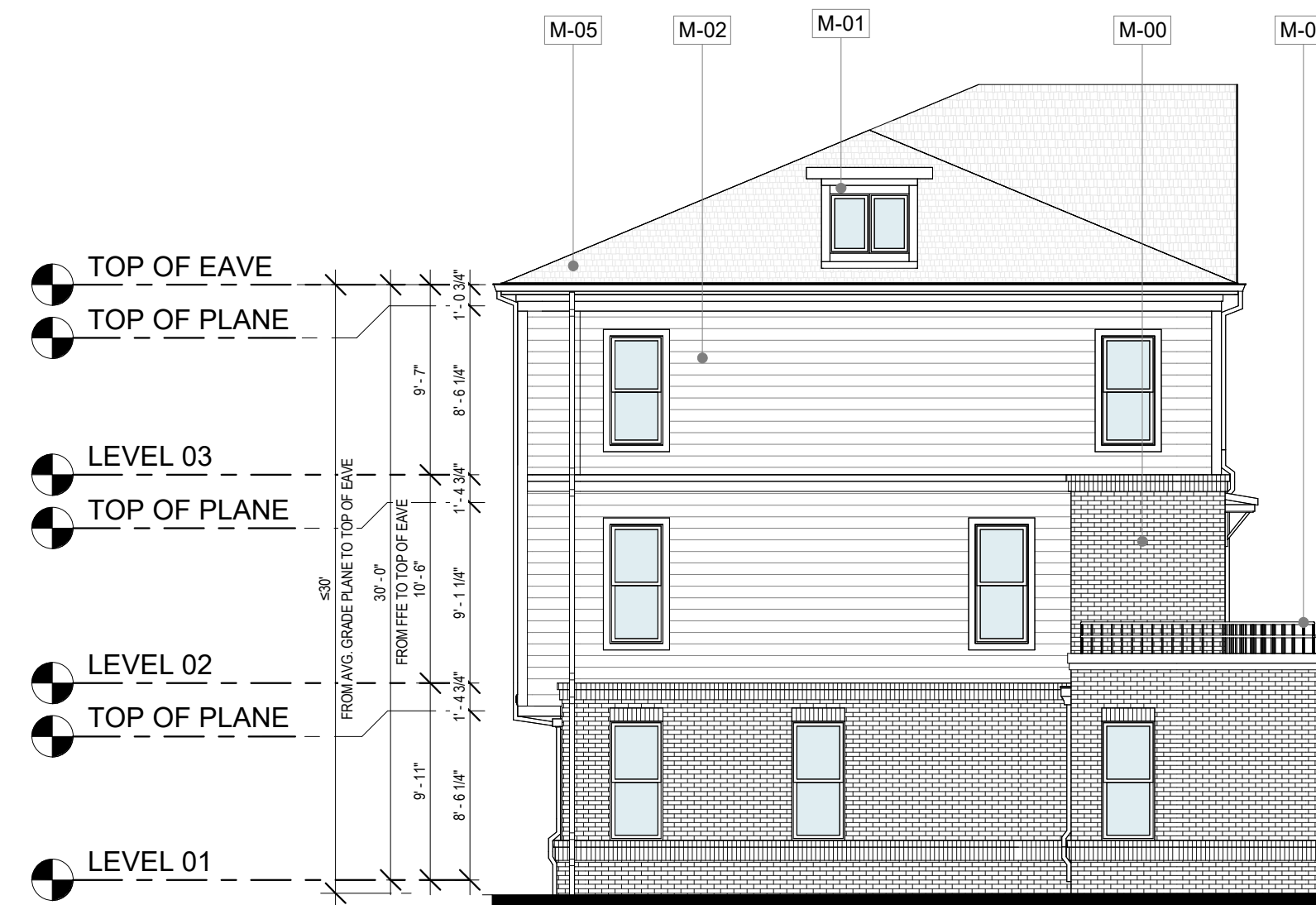
ZONING SUBMISSION



KEY PLAN

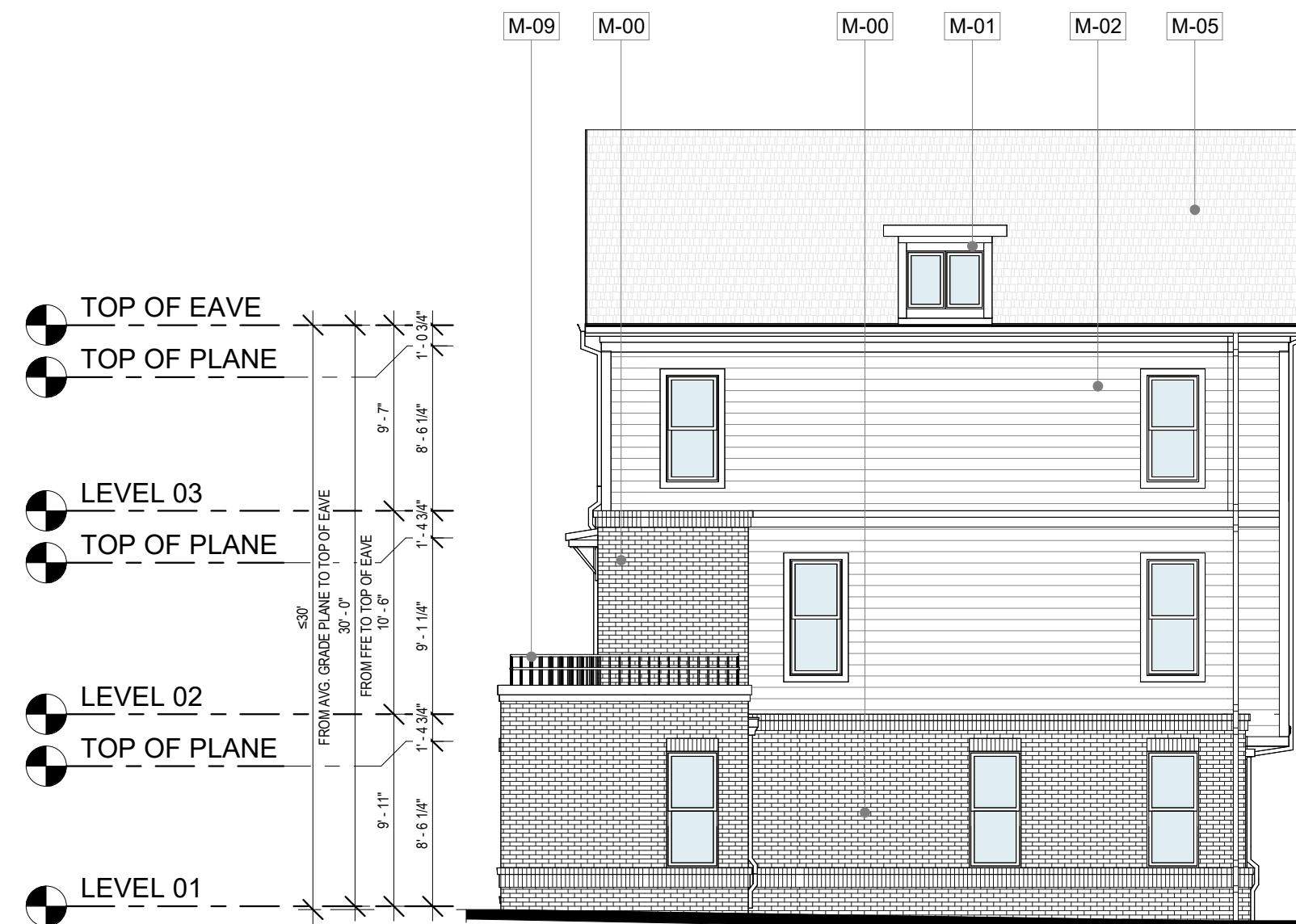
EXTERIOR ELEVATION KEYNOTES:

- M-00 - BRICK VENEER
- M-01 - FIBER CEMENT PANEL
- M-02 - FIBER CEMENT HORIZONTAL SIDING
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- M-16 - BUILT UP CORNICE
- M-17 - 4" TRIM
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- M-19 - 8" TRIM
- M-20 - BUILT UP CORNICE
- M-21 - 5" TRIM



LOT #35
UNIT B2
ELEVATION, #1
END CONDITION
(REVERSE)

BUILDING 05- LEFT SIDE ELEVATION



LOT #26
UNIT B2
ELEVATION, #1
END CONDITION

BUILDING 05- RIGHT SIDE ELEVATION



KEY PLAN

EXTERIOR ELEVATION KEYNOTES:

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- M-01 - FIBER CEMENT PANEL
- M-02 - FIBER CEMENT HORIZONTAL SIDING
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- M-19 - 8" TRIM
- M-20 - BUILT UP CORNICE
- M-21 - 5" TRIM



BUILDING 01 PERSPECTIVE



BUILDING 02 PERSPECTIVE



BUILDING 03 PERSPECTIVE



KEY PLAN



KEY PLAN



BUILDING 04 PERSPECTIVE



BUILDING 05 PERSPECTIVE



KEY PLAN



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case # CD-CPC-2024-00177

Meeting Date: Thursday, January 23, 2025

Meeting Location: Don Bosco Senior Center, 508 Campbell St, KCMO 64106

Meeting Time (include start and end time): 6:00-7:00 PM

Additional Comments (optional):

The Columbus Park neighborhood meeting was co-organized by Council President Kathy Maggio and project developers, Polar Dev, LLC. The meeting was well attended with approximately 20 residents turning out. Lee Berman and Lance Carlton led the meeting, showing the project site plans, exterior elevations and floor plans. The residents had numerous questions regarding size, materials, timelines, finishes, sales pricing, fire safety, lighting, security, utilities, geotech, storm detention, and traffic. The neighborhood was fully engaged and extremely pleased with the project plans. At the end of the meeting, a resident asked if they could raise hands in show of support and all hands went up. Residents were informed of the upcoming CPC meeting on February 5th. The meeting lasted the full scheduled hour.

Meeting Sign-In Sheet

January 23, 2025

6:00PM

Project Name and Address

COLUMBUS PARK TOWNHOMES - 405 Cherry St. KCMO 64106

CD-CPC-2024-00177

Name	Address	Phone	Email
Jean Fiorello	1111 Pacific KCMO		JFIORELLO3@ATT.NET
Kathy Muggio	538 Holmes St.		Kathyvalentiz016@gmail.com
Bunny Rodine	518 Gillis St	816-810-2277	bunny.rodine@gmail
Jeff Albright	1120 Mission Ave	913-645-3529	Jeffalbright@me.com
DAN FRUEH	525 GILLIS		
ACIS BLAISDELL	516A GILLIS	913-767-7970	
BRAD ANTISDEL	577 CAMPBELL	55-708-3182	brad@finegrap.com
Jane + Jeremy Schuster	719 E. 5th	618-303-3428	janeland@gmail.com
CATHRYN SCHNEIDER	513 CAMPBELL	913 230 2167	CATHRYN CATER@cm28@GMAIL.COM
Maria Valenti	565 Campbell apt 2N	816-769-1770	rerev_2000@yahoo.com
Sue Vanleyckele	604 Mission KCMO 64106	816-726-4524	

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SUMMARY

Area Plan Alignment: **High**

Playbook Alignment: **Medium**

Evaluation	Goal	Notes
High	SAN	SAN: This project provides additional housing and greater density in an area near both jobs and transit lines.
Medium	WDC SEG	WDC: The material board included in the second submittal shows brick, which matches the historic context of Columbus Park. SEG: Project prioritizes infill development.
Low	PAA	PAA: While not “affordable” the project does increase the diversity of housing.

Alignment Comments:

The use of these lots for townhomes in Columbus Park helps advance KC Spirit Playbook and Greater Downtown Area Plan goals related to housing density and diversity. Both plans encourage the use of infill lots in this manner and the site is near multimodal transportation options. The applicant's second submittal addresses previous concerns about building materials and design. The response letter also indicates that sidewalks be extended in later phases.