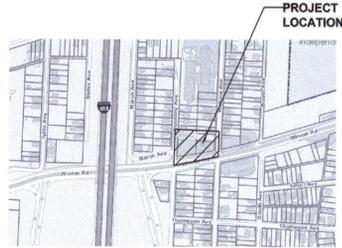


EXPRESS STOP GAS STATION DEVELOPMENT PLAN APPLICATION

8400 WINNER ROAD, KANSAS CITY, MISSOURI



LOCATION PLAN

GENERAL NOTES:

1. THE TRASH ENCLOSURE SHALL BE CONSTRUCTED AND PAINTED THE SAME MATERIAL AS FOR THE BUILDING. THE 6" HIGH SCREENING SHALL BE INSTALLED AROUND THE TRASH ENCLOSURE.
2. ALL DISTURBED AREAS SHALL BE COVERED WITH GRASS TURF.
3. THE EXISTING PARKING LOT SHALL BE OVERLAYED WITH 6" CONCRETE AS SHOWN ON THE SITE PLAN AND IT SHALL BE RE-STRAPPED.
4. NO FLOOD LIGHT SHALL BE INSTALLED IN THE PREMISES. THE BUILDING SHALL HAVE THREE FEET HIGH PARAPET AROUND ALL FOUR SIDES ROOF AND IT IS ENOUGH TO SCREEN THE ROOF TOP MECHANICAL UNITS.
6. A NEW MONUMENT SIGN SHALL BE INSTALLED AS SHOWN ON THIS SHEET.

Luna Gilberto
1095 14th St Se
Salem, OR 97301

Najarro Rafael Antonio
3821 E 9th St
Kansas City, MO 64125

Huitron Marco Antonio & Lucia
456 Donnelly Ave
Kansas City, MO 64125

Hon Richard D & Gladys S
478 Donnelly
Kansas City, MO 64125

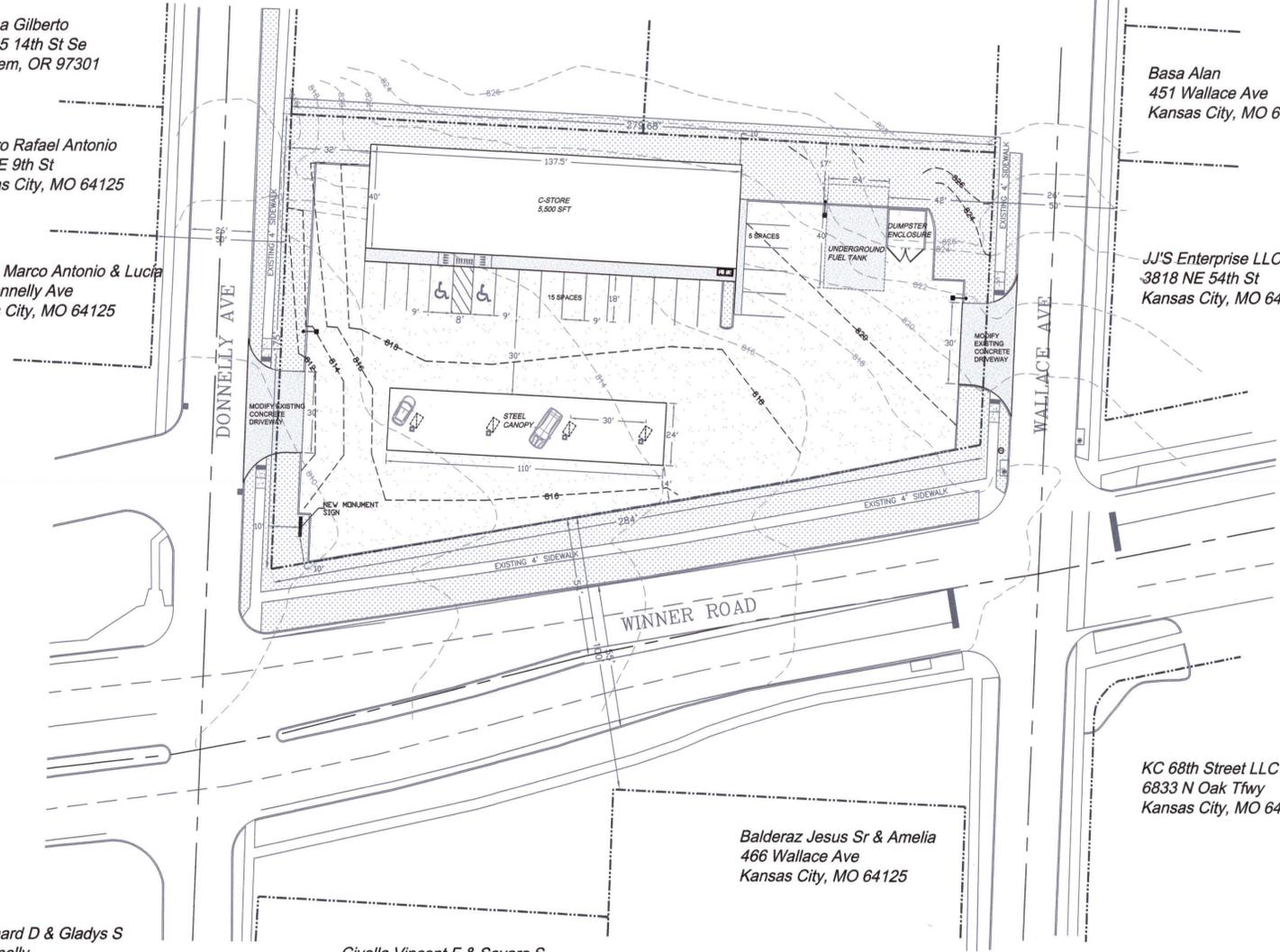
Civella Vincent F & Savara S
5001 N Flora
Kansas City, MO 64118

Balderaz Jesus Sr & Amelia
466 Wallace Ave
Kansas City, MO 64125

Basa Alan
451 Wallace Ave
Kansas City, MO 64125

JJ'S Enterprise LLC
3818 NE 54th St
Kansas City, MO 64119

KC 68th Street LLC
6833 N Oak Tlwy
Kansas City, MO 64118



APPLICATION INFORMATION

EXISTING ZONING	B 3-2, AND R-2.5
TOTAL LAND	0.922 ACRES
LAND AREA FOR EXISTING & PROPOSED STREET RIGHT-OF-WAY	NONE
NET LAND AREA OR ACRES	0.922 ACRES
PROPOSED USE	M - GAS STATION WITH 5,500 SFT CONVENIENCE STORE
BUILDING HEIGHT	SINGLE STORY BUILDING (17 FEET)
GROSS FLOOR AREA	5,500 SFT
BUILDING COVERAGE/ FLOOR AREA RATIO	0.14 %
PARKING SPACES REQUIRED	2.5 SPACES PER 1000 SFT OF RETAIL SPACE (14 SPACES)
PARKING SPACES PROVIDED	20 SPACES INCLUDING 2 ACCESSIBLE SPACE
BICYCLE PARKING REQUIRED	2 SPACES
BICYCLE PARKING PROVIDED	3 SPACES WITH 2 LONG TERM SPACE
BUSINESS START DATE	SPRING 2021
EASEMENTS	NONE
HOURS OF OPERATION	24 HOURS
EXISTING PARKING LOT	CONCRETE/ASPHALT COVERED
PROPOSED PARKING LOT	CONCRETE PAVEMENT

PARKING LOT LIGHTING:

THE PARKING LOT HAS TWO EXISTING PARKING LIGHT POLES, AND 5 NEW LIGHT POLES SHALL BE INSTALLED FOR ADEQUATE LIGHTING.

AREA DISTURBED:

THE PREMISES IS A FACILITY THAT HAS EXISTING BUILDINGS AND LARGE PAVED PARKING LOT. WE ARE CONVERTING AROUND 700 SFT OF EXISTING GREEN AREA INTO PAVED AREAS.

BUILDING EXTERIOR:

PLEASE SEE ELEVATION PLANS THAT SHOW THE BUILDING EXTERIORS

TOPOGRAPHY:

THE TOPOGRAPHY OF THE SITE WILL REMAIN SAME.

OWNERS:

EIAD MUSLET
4811 INDEPENDENCE AVE
KANSAS CITY, MO 64130
(816) 816-1080

DESIGNED BY:

GERALD W MENEFEE, P.E.
KAM DESIGN GROUP LLC
9000 E BANNISTER ROAD, SUITE 100
KANSAS CITY, MO-64134
(816) 797-2065
kamdesign@aol.com

DEVELOPER

MPS CONTRACTING LLC
14926 BENSON STREET
OVERLAND PARK, KS 66221



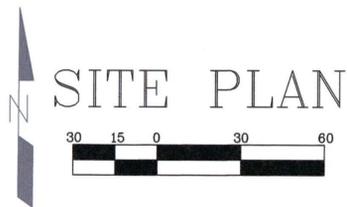
Neighborhood Dimensional Map
Scale 1" = 200'

LEGAL DESCRIPTION

- 460 WALLACE / LOT 18 BLK 26 WASHINGTON
- 463 DONNELLY AVE / LOTS 19 & 20 & S 16.66 FT OF LOT 21 BLK 26 WASHINGTON
- 456 WALLACE / LOT 17 BLK 26 WASHINGTON
- 455 DONNELLY / N 33 1-3 FT LOT21 BLK 26 WASHINGTON

LEGEND

- EXISTING/PROPOSED CONCRETE SURFACE
- GRASS COVER
- BUILDING OUTLINE
- PROPERTY LINE
- FIRE HYDRANT
- STREET CENTER LINE
- NEW PARKING LIGHT POLE
- EXISTING CONTOUR
- PROPOSED CONTOUR



LIST OF DRAWINGS

No.	Description
1	SITE PLAN
2	ELEVATIONS SHEET I
3	ELEVATIONS SHEET II
4	GAS STATION ELEVATION RENDERING
5	BUILDING ELEVATION RENDERING
6	GAS STATION ELEVATION RENDERING
7	BUILDING ELEVATION RENDERING
8	ELECTRICAL PHOTOMETRIC PLAN
9	TRUCK TURNING TEMPLATE
10	UTILITY PLAN
11	GRADING PLAN
12	LANDSCAPING PLAN



EXPRESS STOP GAS STATION
DEVELOPMENT PLAN APPLICATION

8400 WINNER ROAD
KANSAS CITY, MISSOURI

SITE PLAN

Project number	2020-105
Drawn by	KRB
Checked by	GWM

SHEET 1



BUILDING ELEVATION RENDERING

**EXPRESS STOP GAS STATION
SPECIAL USE PERMIT APPLICATION**

8400 WINNER ROAD
KANSAS CITY, MISSOURI

**INNOVATIVE
DESIGN &
RENOVATION**

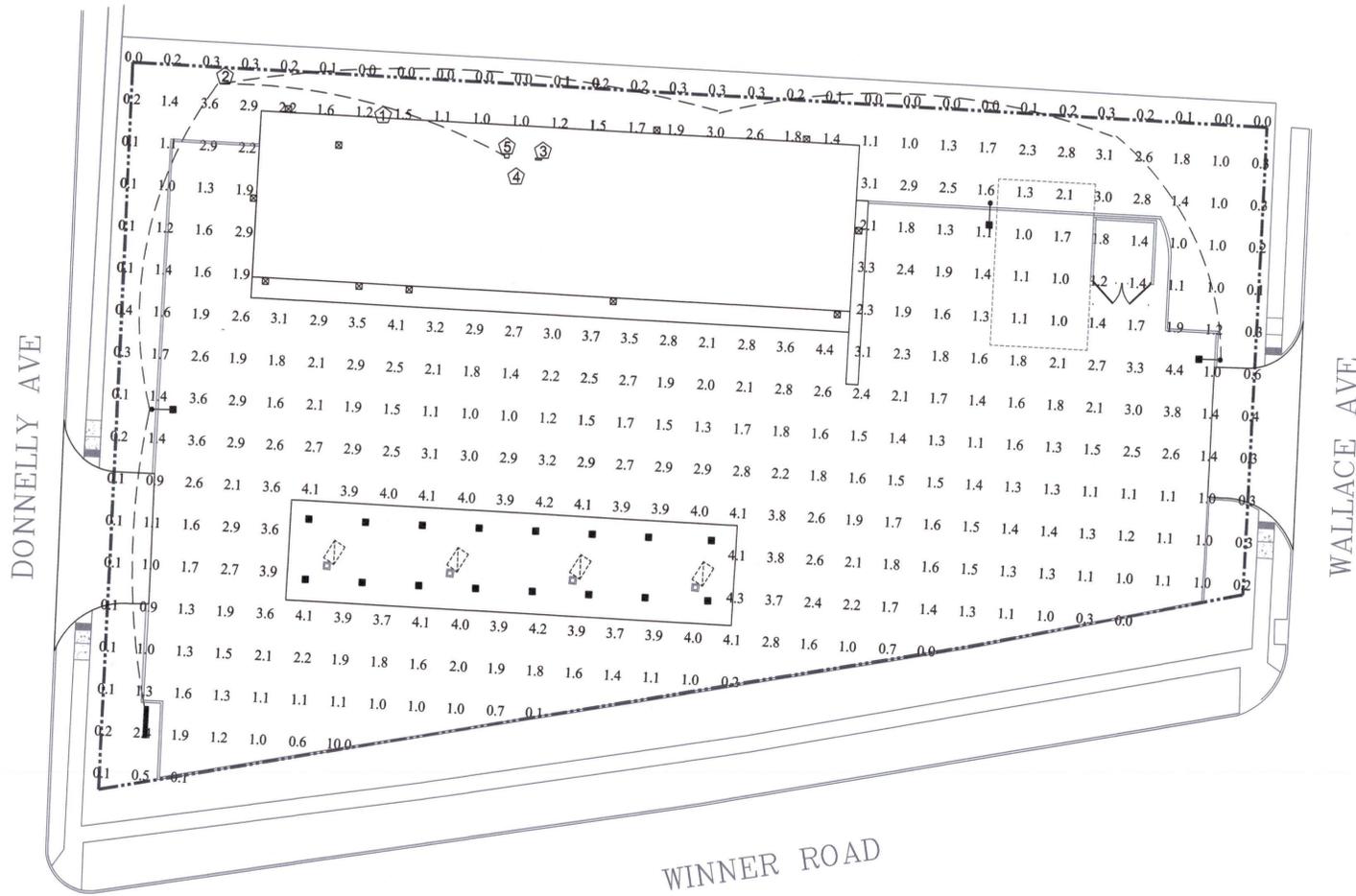
8011 PASEO BLVD. UNIT #201
KANSAS CITY, MISSOURI 64131
(816) 797-2065
(816) 531-2221

No.	Description	Date
	SUBMITTED FOR CITY APPROVAL	07/16/2020

BUILDING
ELEVATIONS
RENDERING

Project number 2020-105
Drawn by KRB
Checked by DWH

SHEET 5



LEGEND

- NEW LIGHT POLE
- CANOPY LIGHT
- ⊠ WALL MOUNTED LIGHT
- - - UNDERGROUND ELECTRIC

SITE LIGHTING PHOTOMETRIC PLAN

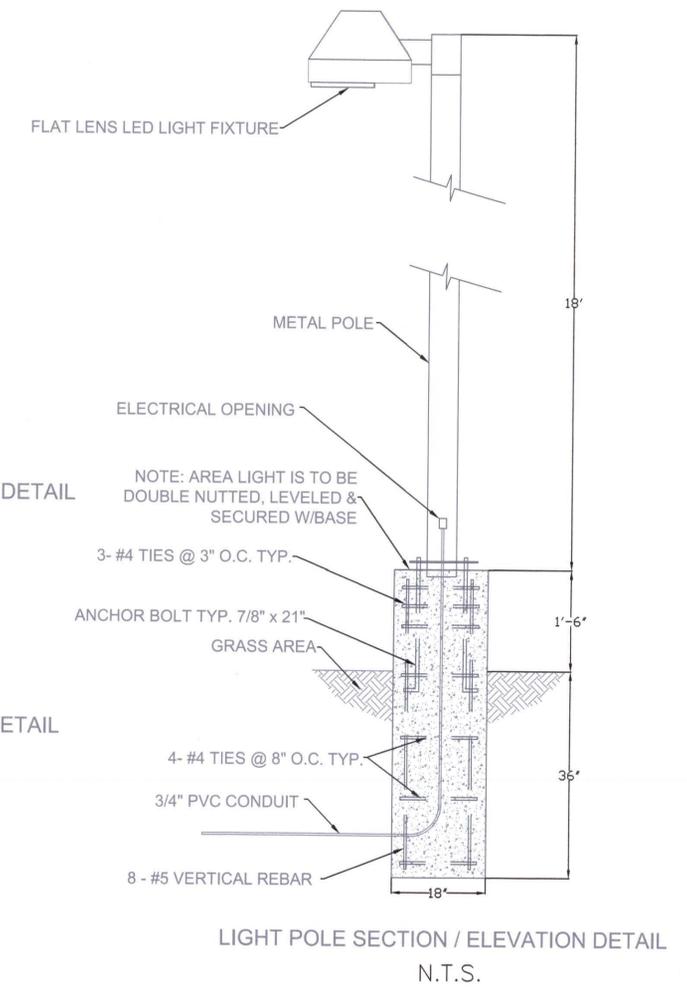
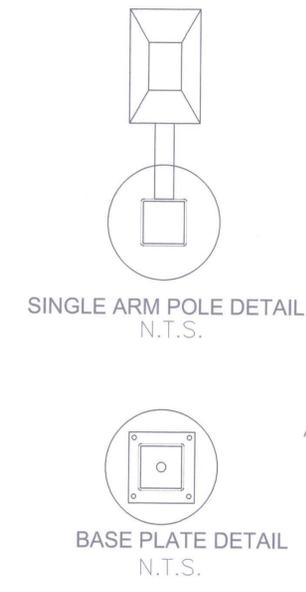


PLAN NOTES:

1. ROUTE 120V HOME RUN BELOW GRADE TO QUAZITE BOX SHOWN ON PLANS. ASSUMED VOLTAGE USED TO DETERMINE VOLTAGE DROP AND WIRE SIZES IS 120V, 1-PHASE.
2. PARKING LOT LIGHT WITH STEEL POLE LIGHT AND CONCRETE FOUNDATION. REFERENCE LIGHT FIXTURE SPECIFICATION THIS SHEET.
3. ASSUMED LOCATIONS OF CONDUIT ENTRY INTO BUILDING FOR SITE LIGHTING. REFER TO BUILDING ELECTRICAL ENGINEERING PLANS AND BUILDING ELECTRICAL ENGINEER FOR UPDATED LOCATIONS OF CONDUIT ROUTING INTO THE BUILDING.
4. LIGHTING CONTROLS AND CONNECTIONS, PROVISIONS FOR ELECTRICAL POWER, AND CONDUIT ROUTING INTO BUILDING ARE NOT INCLUDED WITHIN THE SCOPE OF THIS WORK. REFER TO BUILDING ELECTRICAL ENGINEER FOR MORE INFORMATION. NOTIFY ENGINEER IF ACTUAL LOCATION OF ELECTRICAL CONNECTION/CONTROL IS IN A SIGNIFICANTLY DIFFERENT AREA OF BUILDING.
5. PROVIDE QUAZITE BOX IN APPROXIMATE LOCATION FOR PULL POINT TO CONNECT WITH HOME RUNS FROM SITE LIGHTING.

LIGHT FIXTURE SPECIFICATIONS:

MANUFACTURER	INNOVATIVE LIGHTING
LIGHT TYPE	LED LIGHT ENGINE
POWER	48 WATTS
TYPE	II
MODEL	EF2-U--28-3-N
INSTALLATION	POLE MOUNTED

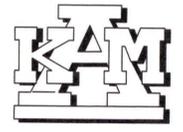


GENERAL NOTES:

1. THE CONTRACTOR SHALL INSTALL 4 LIGHT POLES AS SHOWN ON THIS SHEET. THE CONTRACTOR SHALL INSTALL NEW LIGHT FIXTURES ON ALL THESE POLES. IF WIRING TO ANY OF THESE POLES IS NOT FUNCTIONAL, INSTALL WIRING IN 3/4" PVC CONDUIT FOR POLE LOCATIONS.
2. TO COMPLY WITH FEDERAL, STATE, AND LOCAL STATUTES, NOTIFY MISSOURI ONE-CALL SYSTEM, INC. AT LEAST 48 HOURS PRIOR TO ANY DIGGING, TRENCHING, EXCAVATION, ETC.
3. INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF SAME AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
4. FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. ANY INTERFERENCE SHALL BE BROUGHT TO ATTENTION OF THE ARCHITECT AND ENGINEER FOR DIRECTION.
5. PROVIDE EQUIPMENT GROUNDING CONDUCTOR THROUGHOUT EACH BRANCH CIRCUIT. CONDUCTOR MAY NOT BE INDICATED GRAPHICALLY.
6. THE CONTRACTOR SHALL CONFIRM WITH HIS WIRING THAT NO CIRCUIT EXCEEDS 3328 VA.
7. IF WIRING DEVIATES SIGNIFICANTLY FROM THE LAYOUT ON THE PLANS, ACCOUNT FOR MORE VOLTAGE DROP BY INCREASE THE CONDUCTOR SIZE BY A FACTOR OF ONE SIZE.
8. ALL WIRING SHALL BE ALLOWED TO BE IN PVC CONDUIT WHERE NOT LOCATED BELOW A TRAFFIC DRIVE AREA. TRANSITION TO EMT AT ELBOW PRIOR TO GOING ABOVE GRADE. USE RIGID CONDUIT BELOW ALL TRAFFIC AREAS AND TRANSITION MATERIALS ACCORDINGLY.
9. COORDINATE ALL NEW PRIMARY SERVICE WORK, OUTAGES, PAD REQUIREMENTS, ETC. WITH KCP&L FOR EXACT INSTALLATION REQUIREMENTS.



No.	Description	Date
1	SUBMITTED FOR OWNER APPROVAL	07/20/2020
2	REVISED PER CITY COMMENTS	10/28/2020



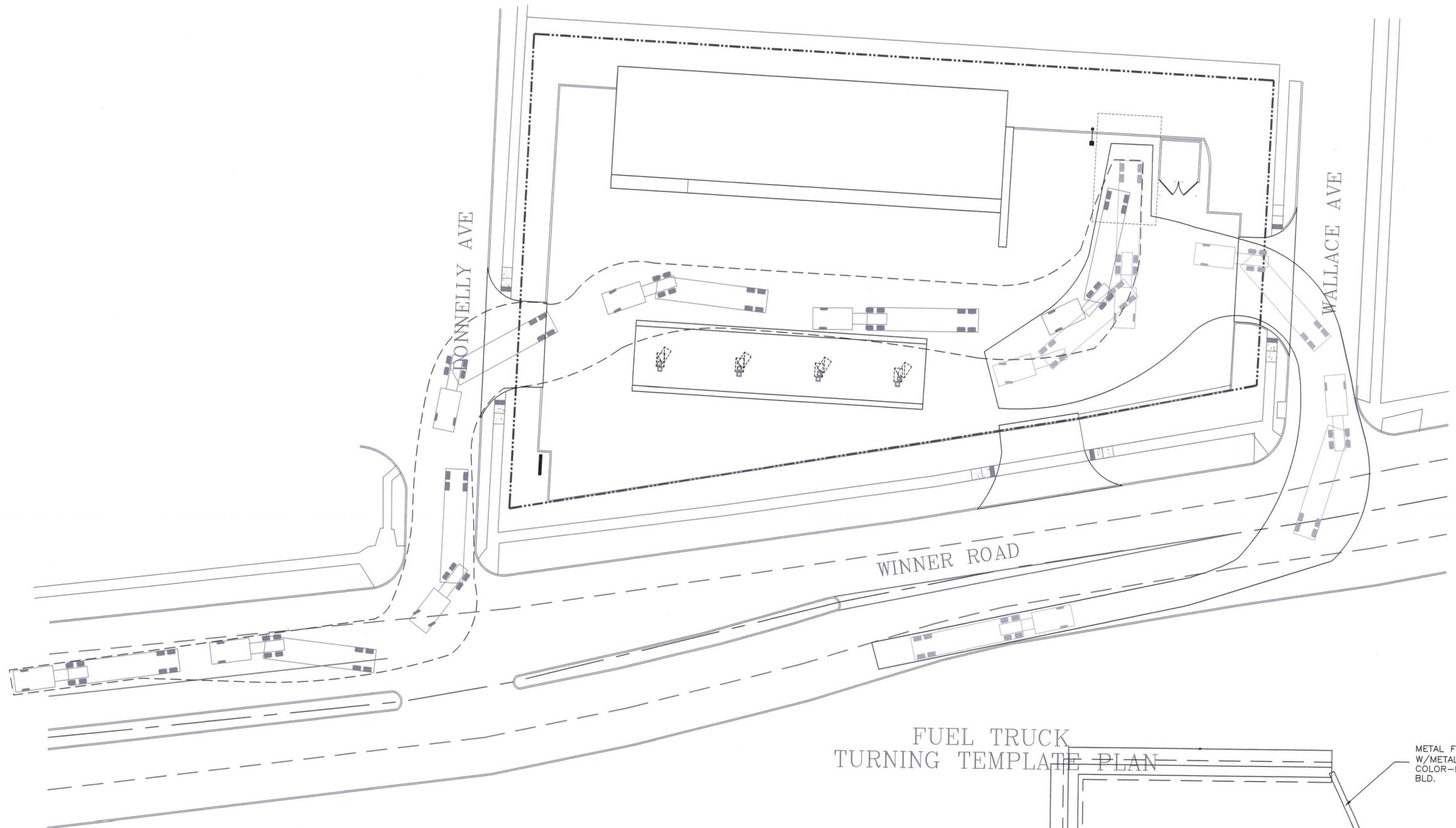
Design Group LLC.
9000 E Bannister Road
Suite 100
Kansas City, Missouri 64134
(816) 797-2065

**EXPRESS STOP GAS STATION
DEVELOPMENT PLAN APPLICATION**

**8400 WINNER ROAD
KANSAS CITY, MISSOURI**

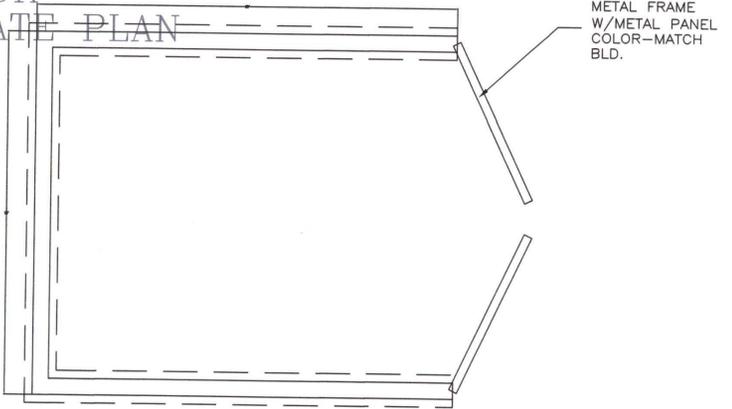
PARKING LOT PHOTOMETRIC PLAN

Project number	2020-105
Drawn by	KRB
Checked by	GWM



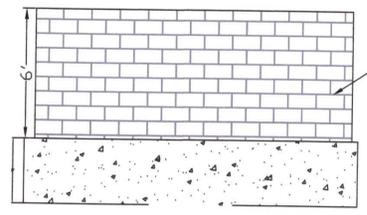
- LEGEND**
- OUTLINE OF TURNING SPACE REQUIRED FOR INCOMING TRUCK
 - - - OUTLINE OF TURNING SPACE REQUIRED FOR OUT GOING TRUCK
 - · - · - PROPERTY LINE

FUEL TRUCK TURNING TEMPLATE PLAN

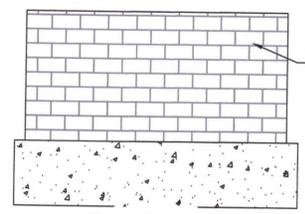


METAL FRAME W/METAL PANEL COLOR-MATCH BLD.

Trash Enclosure Plan



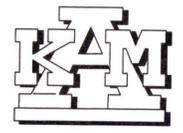
Side Elevation



Rear Elevation



No.	Description	Date
	SUBMITTED FOR OWNER APPROVAL	07/20/2020
	REV. 1 REVISED PER CITY COMMENTS	10/28/2020



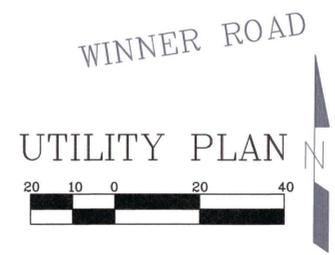
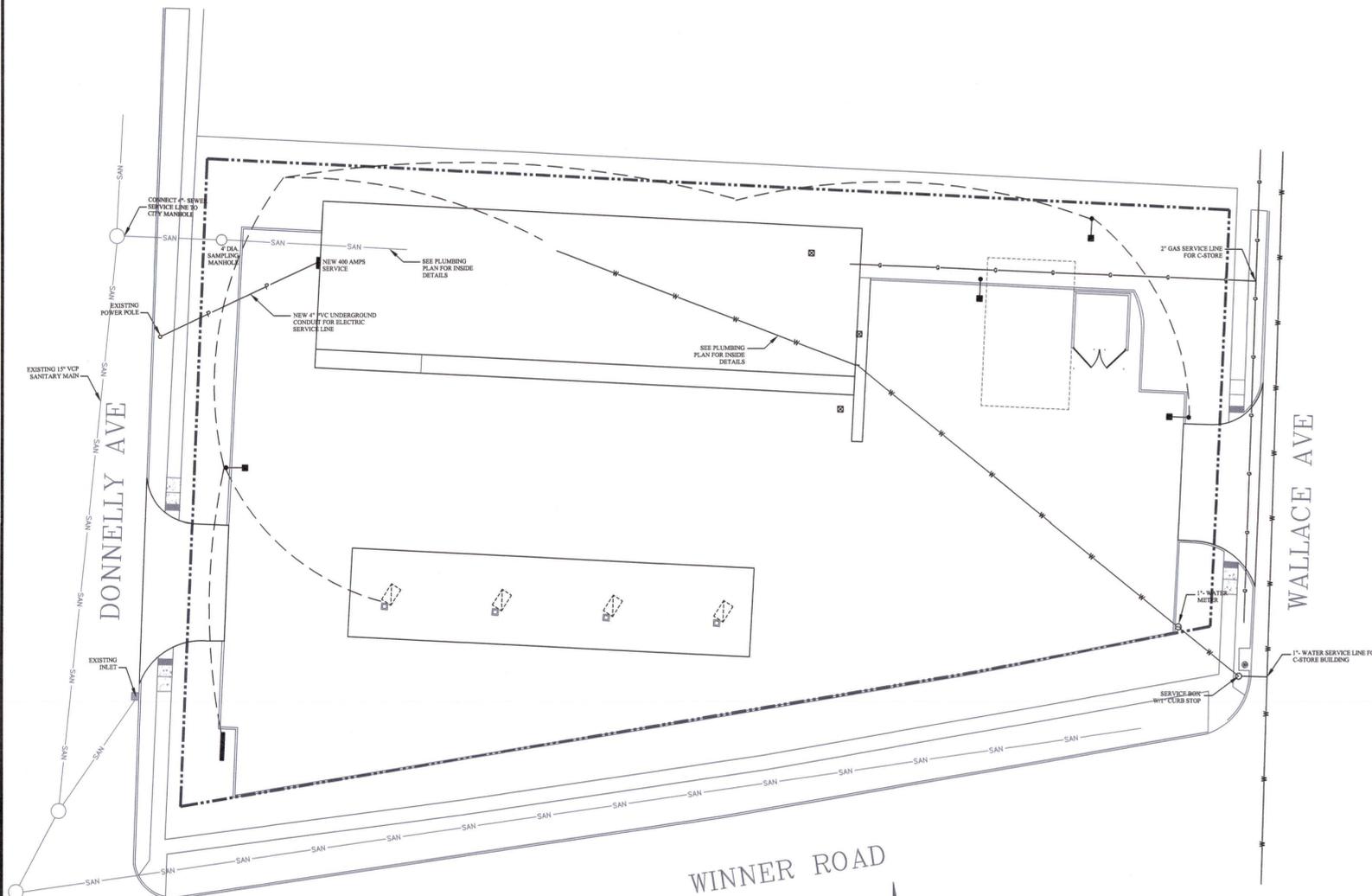
Design Group LLC.
 9000 E Bannister Road
 Suite 100
 Kansas City, Missouri 64134
 (816) 797-2065

EXPRESS STOP GAS STATION DEVELOPMENT PLAN APPLICATION

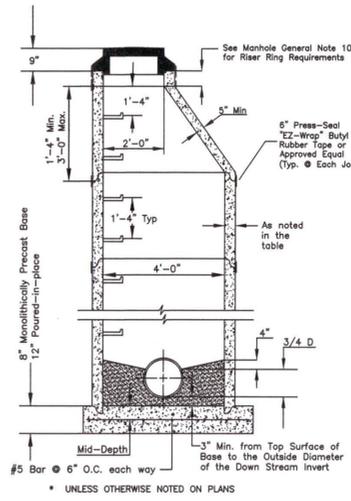
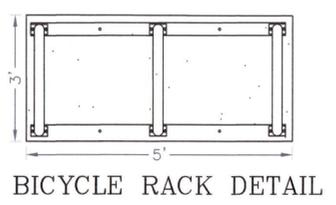
**8400 WINNER ROAD
 KANSAS CITY, MISSOURI**

TRUCK TURNING TEMPLATE

Project number	2020-105
Drawn by	KRB
Checked by	GWM

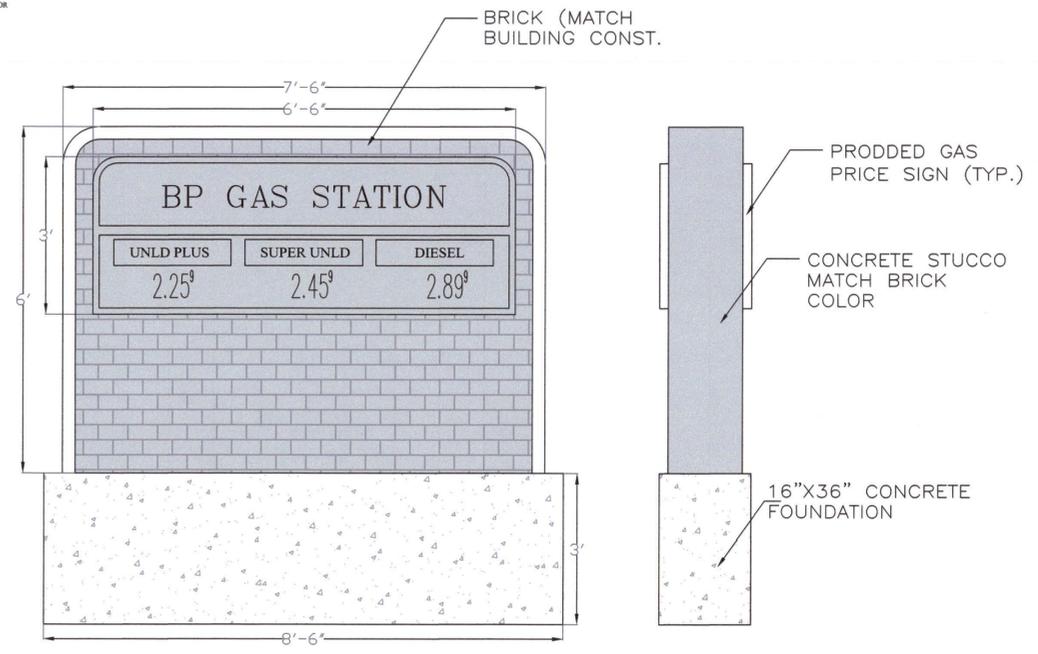


- LEGEND**
- BUILDING OUTLINE
 - - - PROPERTY LINE
 - WATER SERVICE LINE
 - GAS SERVICE LINE
 - SAN - SANITARY SERVICE LINE
 - P - ELECTRICAL SERVICE LINE
 - - - UNDERGROUND CONDUIT FOR LP'S



- MANHOLE GENERAL NOTES:**
- All manhole rings shall be set in a minimum of two (2) rows of 3/4 to 1 inch pre-formed butyl joint sealer.
 - All manhole rings to be placed in pavement or in areas to be subsequently paved shall have "Machined Horizontal Bearing Surfaces" and shall comply with Class #25 as established in ASTM A-48.
 - The inside diameter of the manhole shall be 4'-0" for pipe diameters from 8" thru 24" and shall be 5'-0" for pipe diameters from 27" thru 36". In addition, the inside diameter (ID) of manholes up to 20 feet deep shall be 4'-0", ID shall be 5'-0" for depths up to 25 feet and ID shall be 6'-0" for depths exceeding 25 feet unless otherwise noted on the plans.
 - All manhole bases (pre-cast or poured-in-place) shall have No. 5 reinforcing bars placed on 6" centers both ways.
 - All standard manhole rings and covers to be Deeter 1315-Jcs, Neenah NF-1536009/B (Frame) and NF-1536010/B (Cover), or approved equal. All manhole rings and covers shown in plans to be "bolt-down" to be Clay & Bailey Manufacturing Co. No. 20140R, Neenah R-1915-F2 or approved equal. An extra payment for furnishing "bolt-down" ring and cover as shown in plans will not be made, but shall be considered as subsidiary to the item, "Standard Manhole".
 - Standard manhole steps to be steel core, plastic coated steps (MA, Ind, Inc. No. PSI-PF, PSI-PF, or approved equal).
 - Maximum grade adjustment allowable is 8". Minimum allowable thickness for precast concrete grade adjustment ring is 4".
 - Reinforcement in all precast sections shall equal or exceed A.S.T.M. C-478 specifications.
 - Butyl material to be used at all precast sections joints. O-Rings may be used for joints below the cone section, but the cone section itself shall not have O-ring joints.
 - Riser Rings:
 - Manholes in Pavement: The thickness of the recycled rubber riser rings shall not be less than one (1) inch nor greater than four (4) inches. If the required thickness of riser rings exceeds 4 inches, a 4-inch or 6-inch precast concrete riser ring may be installed between the rubber riser ring and the cone. Riser rings may be used up to a maximum of 12 inches. The minimum number of riser rings required to achieve the necessary adjustment shall be used. The rubber riser rings shall be tapered to match the slope of the existing or proposed pavement at the manhole. The joints between the cone, rubber riser rings, and casting shall be sealed with the manufacturer-supplied sealant.
 - Manholes Not in Pavement: All manholes shall be provided with riser ring(s) underneath the casting as shown on drawings. A minimum of one (1) 4-inch riser ring shall be installed on top of the cone section. If a greater depth of adjustment rings is necessary, a combination of 4-inch and 6-inch riser rings may be used up to a maximum of 12 inches of riser rings. The minimum number of riser rings required to achieve the necessary adjustment shall be used. If precast concrete riser rings are used, the joints between the cone, riser rings, and casting shall be sealed with a double bead of preformed butyl rubber sealant. If recycled rubber riser rings are used, the joints between the cone, rubber riser rings, and casting shall be sealed with the manufacturer-supplied sealant.
 - Brick and mortar adjustments will not be allowed.

4' DIA. STANDARD PRECAST MANHOLE (ECCENTRIC CONE)
N.T.S.



SIGN NOTE:
THE CONTRACTOR SHALL APPLY SEPARATELY TO THE PERMIT DIVISION FOR SIGN PERMIT.

NEW MONUMENT SIGN



No.	Description	Date
1	SUBMITTED FOR OWNER APPROVAL	07/20/2020
2	REVISED PER CITY COMMENTS	10/28/2020

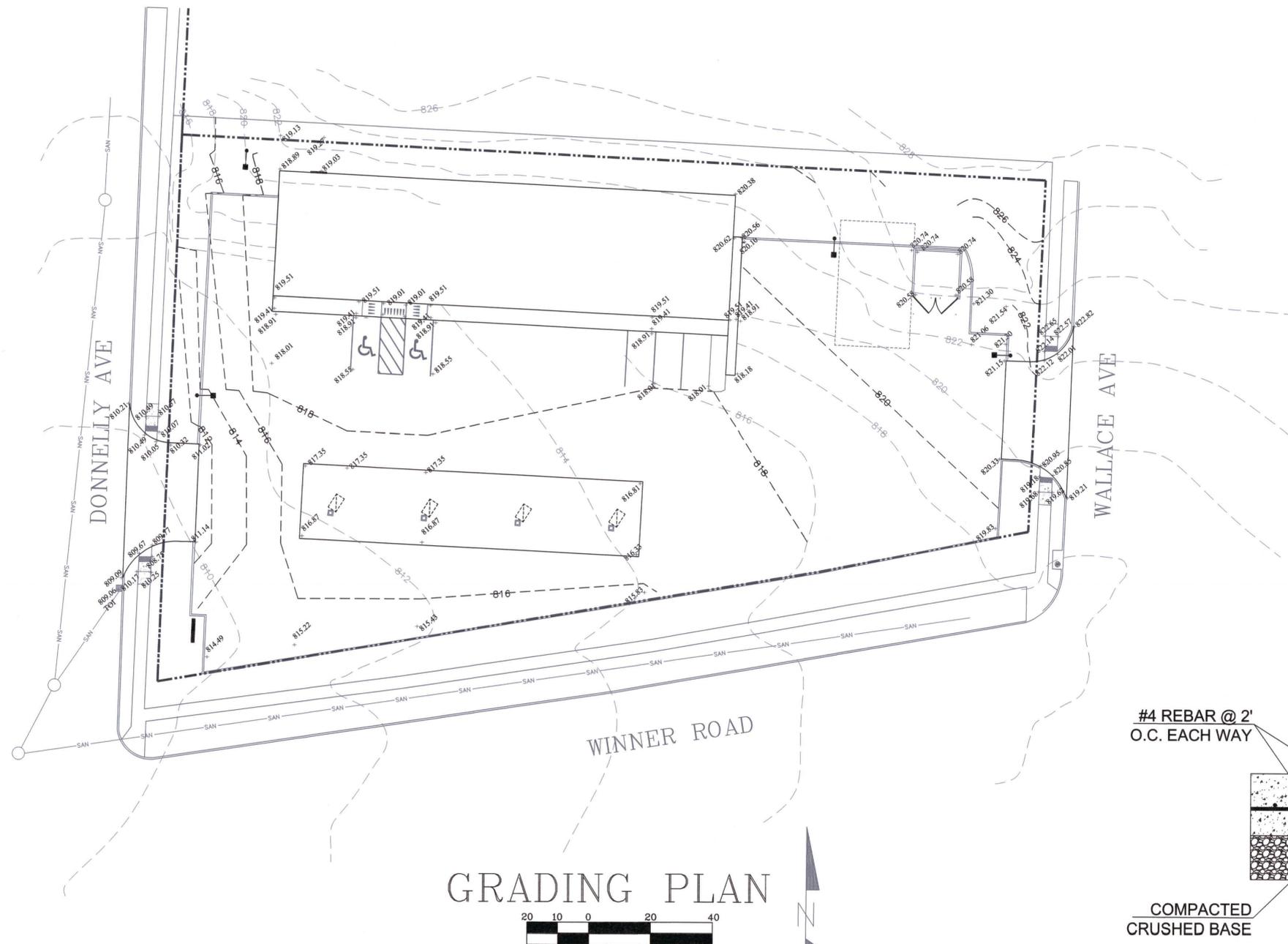
K&M
Design Group LLC
9000 E Bannister Road
Suite 100
Kansas City, Missouri 64134
(816) 797-2085

EXPRESS STOP GAS STATION DEVELOPMENT PLAN APPLICATION

**8400 WINNER ROAD
KANSAS CITY, MISSOURI**

UTILITY PLAN

Project number	2020-105
Drawn by	KRB
Checked by	GWM



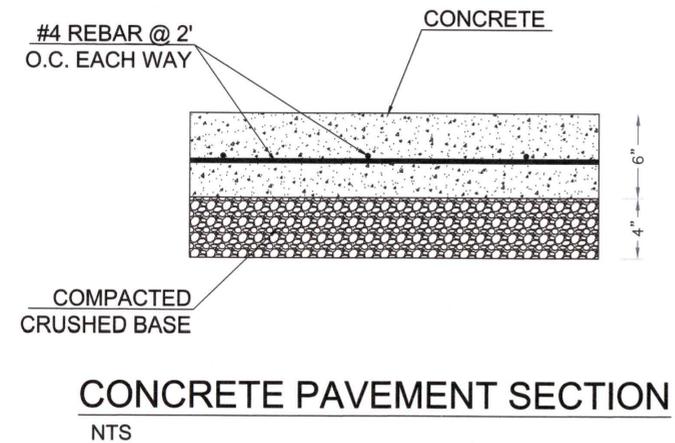
GRADING PLAN

LEGEND

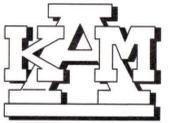
- BUILDING OUTLINE
- PROPERTY LINE
- 809.92 SPOT ELEVATIONS
- 809.92 TOP OF CURB ELEVATION
- 809.42 TOP OF PAVEMENT ELEVATION
- - - - EXISTING CONTOUR
- . - . - PROPOSED CONTOUR

GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OBSERVED DISCREPANCIES IN DIMENSIONS, DETAILING, OR OTHER ITEMS AS SHOWN ON THE PLANS OR SPECIFIED PRIOR TO PROCEEDING WITH WORK RELATED TO SAID DISCREPANCIES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL CODES.
3. CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIAL, AND EQUIPMENT TO PROVIDE COMPLETE AND FUNCTIONING INSTALLATIONS, AND ALL MATERIAL AND EQUIPMENT SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
4. ACCEPTANCE OF WORK SHALL BE SUBJECT TO OWNER'S REPRESENTATIVE APPROVAL OF WORK IN PLACE AS WELL AS SHOP DRAWINGS AND SAMPLE OF MATERIALS AND EQUIPMENT WHICH SHALL BE CHECKED BY CONTRACTOR BEFORE SUBMITTAL.
5. PROTECT ALL EXISTING UTILITIES ALONG THE SOUTH FOR FUTURE USE OF THE NEW BUILDING.
6. REMOVE ALL EXISTING PAVEMENT AND RESURFACE THE PARKING AREA WITH 6" CONCRETE PAVEMENT PLEASE FOLLOW THE DETAIL SHOWN ON THIS SHEET. THE TANK AREA SHALL BE PAVED WITH 8" CONCRETE PAVED WITH REINFORCEMENT.
7. INSTALL NEW DRIVEWAY ALONG THE WEST ACCESS ROAD. NEW DRIVE APPROACHES SHALL BE CONSTRUCTED PER KCMO STANDARD COMMERCIAL DRIVEWAY DRAWING. CONSTRUCT ADA COMPLIANCE ACCESSIBLE RAMPS ON EACH SIDE OF NEW DRIVEWAY.



No.	Description	Date
	SUBMITTED FOR OWNER APPROVAL	07/20/2020
	REV 1 REVISED PER CITY COMMENTS	10/28/2020



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EXPRESS STOP GAS STATION DEVELOPMENT PLAN APPLICATION

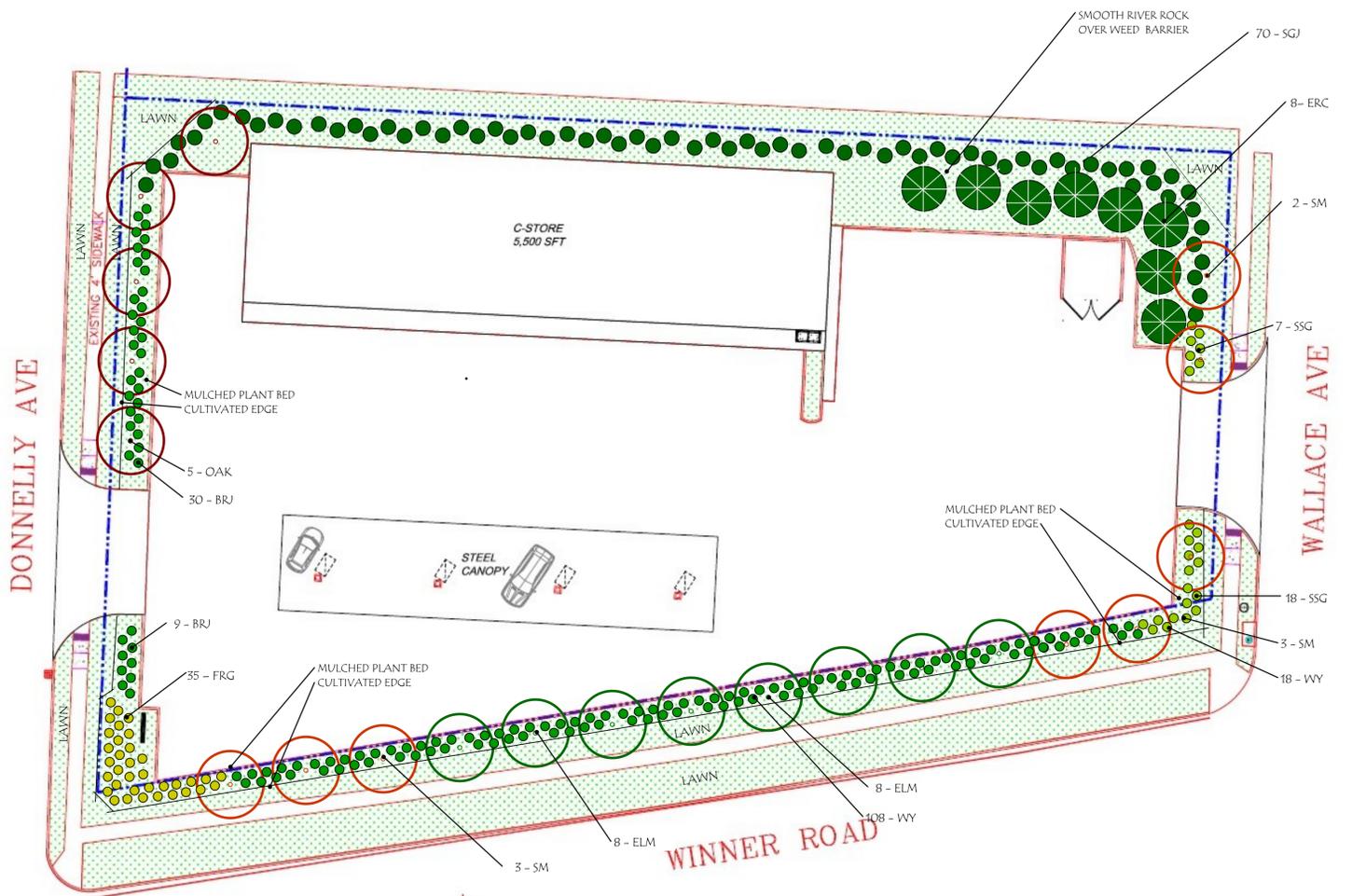
8400 WINNER ROAD
KANSAS CITY, MISSOURI



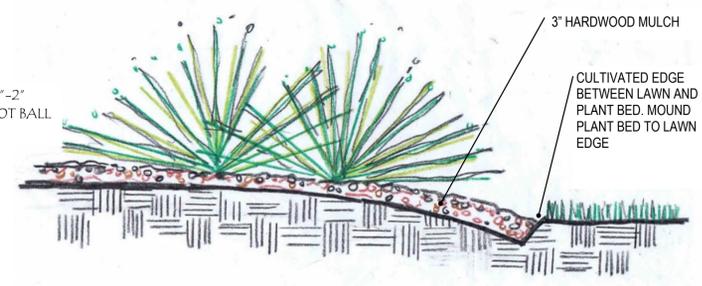
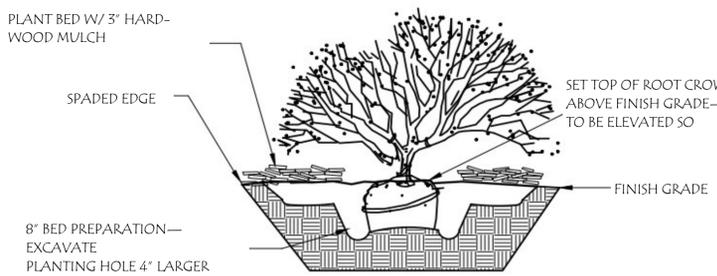
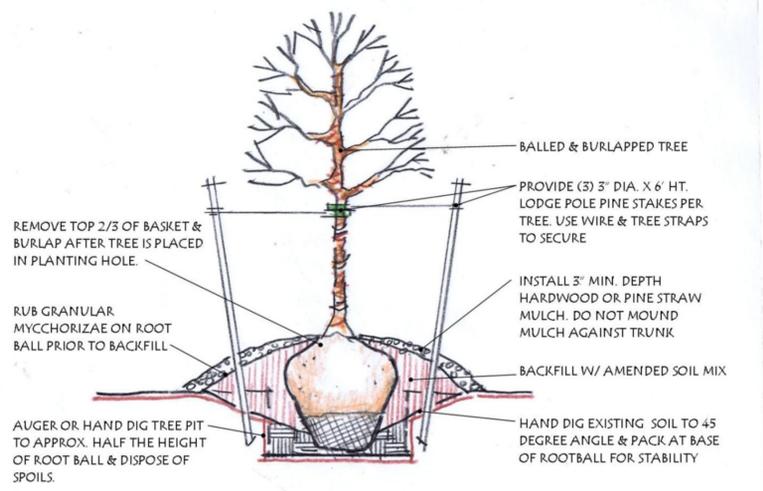
GRADING PLAN

Project number 2020-105
Drawn by KRB
Checked by GWM

SHEET 11



LANDSCAPE PLAN



LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FIRST CLASS REPRESENTATIVES OF SPECIFIED SPECIES, VARIETY OR CULTIVAR, IN HEALTHY CONDITION WITH NORMAL WELL DEVELOPED BRANCHES AND ROOT PATTERNS. PLANT MATERIAL MUST BE FREE OF OBJECTIONABLE FEATURES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH PROPER MOST RECENT STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN'S 'AMERICAN STANDARD OF NURSERY STOCK', ANSI Z60.1. ALL LANDSCAPE MATERIALS SHALL MEET THE AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERYMEN'S ASSOCIATION, AND BE SELECTED FOR ITS NATIVE CHARACTERISTICS OR SURVIVAL IN THE CLIMATE FOR THE KANSAS CITY REGION AND BE PLANTED AND MAINTAINED AS SPECIFICATIONS.
2. ORNAMENTALS AND SHRUBS SHALL BE CONTAINER GROWN AND WILL BE FREE OF DISEASE AND PESTS. ABSOLUTELY NO BARE ROOT MATERIALS. FERTILIZER OF 10-20-10. ONE PELLET OR 1/2 OZ. SHALL BE ADDED TO SOIL AT TIME OF PLANTING.
3. ALL TREES SHALL BE FERTILIZED WITH FERTILOME BRAND LIQUID ROOT STIMULATOR, 1.5 TABLESPOONS PER GAL. OF WATER. AS A SUBSTITUTE, 19-8-10 GRANULAR FERTILIZER, .75 LB. FOR 2" CAL. & 1.5 LBS. FOR 3" CAL. SHALL BE ADDED. INCORPORATE FERTILIZER INTO THE AMENDED PLANTING SOIL BEFORE PLANTING TREE. HOLE AREA FOR TREE TO BE TWICE (2x) THE DIAMETER OF THE ROOT BALL AND ROOT BALL SHALL BE MOUNDED. ALL TREES TO BE STAKED AND GUYED WITH A MINIMUM OF 3 POSTS AND PROTECTED W/ COVERING AT TREE W/ GUY WIRE.
4. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE THE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION.
5. AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL HABIT OR SHAPE OF THE PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS. CUTS OF ONE INCH OR MORE TO BE PAINTED WITH TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED.
6. THE INSTALLATION OF ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF KANSAS CITY, MO.
7. ALL LANDSCAPE AREAS TO BE FREE OF ALL BUILDING DEBRIS AND TRASH, BACK FILLED WITH CLEAN FILL SOIL AND TOP DRESSED WITH 6" OF TOPSOIL. TOPSOIL SHALL HAVE A pH RANGE OF 5.5 TO 7 AND A 4% ORGANIC MATERIAL MINIMUM, ASTM D5268.
8. ALL PLANT BED AREAS TO RECEIVE DAIRY COW MANURE SOIL CONDITIONER AT A RATE OF 4.5 CU. YDS. PER 1000 SF. AND ORGANIC COMPOST AT A RATE OF 4.5 CU. YDS. PER 1000 SF. TO DETERMINE THE AMOUNT OF PHOSPHOROUS AND POTASSIUM THE CONTRACTOR SHALL PERFORM A SOIL TEST AND ADD THOSE FERTILIZERS ACCORDING TO THE TEST RESULTS. AFTER APPLYING SOIL CONDITIONER AND FERTILIZER, THOROUGHLY TILL AREA TO A DEPTH OF 12". CONTRACTOR TO INSTALL A PERMEABLE LANDSCAPE WEED CONTROL FABRIC, 3 OZ. PER SQ. YD. MIN. IN ALL PLANT BEDS EXCEPT IN AREAS OF GROUND COVER, PERENNIAL OR ANNUAL PLANTINGS. PLANT BEDS TO BE "MOUNDED". ALL PLANT MATERIAL, PLANT BEDS, MULCH AND EDGING TO BE INSTALLED PER LANDSCAPE PLANS AND DETAILS.
9. REESTABLISH FINISH GRADES TO WITHIN ALLOWABLE TOLERANCES ALLOWING 1-1/2" FOR SOD AND 3" FOR MULCH IN PLANT BEDS. HAND RAKE ALL AREAS TO SMOOTH EVEN SURFACES FREE OF DEBRIS, CLODS, ROCKS, AND VEGETATIVE MATTER GREATER THAN 1".
10. THE EXACT LOCATION OF ALL UTILITIES, STRUCTURES, AND UNDERGROUND UTILITIES SHALL BE DETERMINED AND VERIFIED ON SITE BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION OF THE MATERIALS. DAMAGE TO EXISTING UTILITIES AND OR STRUCTURES SHALL BE REPLACED TO THEIR ORIGINAL CONDITION BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
11. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AND RECORD INSPECTIONS BY LEGAL AUTHORITIES. THE LANDSCAPE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL PLANT MATERIAL FOR ONE CALENDAR YEAR.
12. ANY SUBSTITUTIONS OF DEVIATIONS SHALL BE REQUESTED IN WRITING BY THE CONTRACTOR FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, OBTAINING AND INSTALLATION OF ALL IRRIGATION COMPONENTS, SLEEVING, PIPE, METERS, PERMITS, CONNECTION AND CONTROL SYSTEMS. DESIGN DRAWINGS OF THE PROPOSED IRRIGATION SYSTEM SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. INSTALL EROSION CONTROL MAT WHERE NEEDED FOR EROSION CONTROL. MAT TO BE NORTH AMERICAN SC 150-BN BIODEGRADABLE MAT OR EQUIVALENT.
15. ALL DISTURBED AREAS TO BE SODDED WITH TURF TYPE TALL FESCUE BLEND IN LOCATIONS INDICATED ON PLANS. SOD SHALL COMPLY WITH THE U.S. DEPT. OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT AND EQUAL IN QUALITY TO STANDARDS FOR CERTIFIED SEED. LAWN SHALL BE TURF TYPE TALL FESCUE 3 WAY BLEND.

LAWN SEED MIX
 3 WAY TURF TYPE TALL FESCUE OR SIMILAR BLEND:
 SEEDING RATE: 8-10 LBS PER 1,000 SF
 33% TITAN LTD FESCUE
 33% FALCON IV TALL FESCUE
 33% 2ND MILLENNIUM TALL FESCUE

PERIMETER PARKING LOT PLANTINGS

- GENERAL REQUIREMENTS**
- 1 STREET TREE PER 30 LINEAL FEET OF STREET FRONTAGE
 - CONTINUOUS SCREEN OF EVERGREEN SHRUBS MIN. 3' HIGH
 - TRASH ENCLOSURE SCREENING
- PROVIDED**
- STREET TREES AT 30' SPACING
 - EVERGREEN HEDGE WITH ORNAMENTAL GRASS ACCENTS
 - EVERGREEN SHRUBS & TREES TO SCREEN TRASH ENCLOSURE

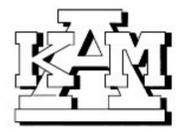
SYMBOL	NO.	COMMON NAME	BOTANICAL NAME	MIN. SIZE
SHADE TREES				
ELM	8	PRINCETON ELM CHALKBARK ELM	ULMUS AMERICANA 'PRINCETON' ULMUS PROPINQUA 'EMERALD SUNSHINE' OR 'FRONTIER'	2-2.5" CAL. (ALT. CHOICES FOR BEST SPECIMANS)
OAK	5	SWAMP WHITE OAK BUR OAK	QUERCUS BICOLOR QUERCUS MACROCARPA	2-2.5" CAL. 2-2.5" CAL.
SM	8	SUGAR MAPLE	ACER SACCHARUM 'FALL FIESTA', OR 'JOHN PAIR'	2-2.5" CAL. (ALT. CHOICES FOR BEST SPECIMANS)
EVERGREEN TREES				
ERC	8	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA	6'-7' HT.
EVERGREEN SHRUBS				
SGJ	70	SEA GREEN JUNIPER	JUNIPERUS PFITZERIANA 'SEA GREEN'	#5 CONTAINER - 18" MIN. HT.
BRJ	39	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	#5 CONTAINER - 18" MIN. HT.
WY	108	WARD'S YEW	TAXUS WARDII	#3-#5 CONTAINER - 18" MIN. HT.
ORNAMENTAL GRASSES				
FRG	39	FEATHER REED GRASS	CALAMGROSTIS ACUTIFLORA 'KARL FOERSTER'	#5 CONTAINER - 18" MIN. HT.
SHS	25	SHENANDOAH SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	#5 CONTAINER - 18" MIN. HT.



LANDSCAPE PLAN
 10.29.20

wlk urban design, LLC
 Community & Town Planning | Urban Revitalization |
 Amenity & Park Design | Landscape Architecture
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No.	Description	Date
	SUBMITTED FOR CITY APPROVAL	07/16/2020



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**EXPRESS STOP GAS STATION
 SPECIAL USE PERMIT APPLICATION**

**8400 WINNER ROAD.
 KANSAS CITY, MISSOURI**

LANDSCAPING PLAN	
Project number	2020-104
Drawn by	KRB
Checked by	GWM