



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

September 7, 2021

## Project Name Rockhurst MPD

**Docket #3**                      **Request**  
CD-CPC-2021-00130 – Rezoning with plan

**Applicant**  
Matt Nugent  
Gould Evans

**Owner**  
Rockhurst University

Location	1100 Rockhurst Rd.
Area	About 55 acres
Zoning	MPD
Council District	5 <sup>th</sup>
County	Jackson
School District	KCMO 110

## Surrounding Land Uses

**North:** zoned R-6, single family residences.  
**South:** zoned B3-2/ UR, mixed use commercial.  
**East:** zoned R-6/ UR, commercial and residential.  
**West:** zoned R-6/ B2-2/ UR, commercial and residential.

## Major Street Plan

The City's Major Street Plan classifies E. 55th Street as a "2-lane through Street" and a local link typology. Troost Avenue is classified as a four-lane thoroughfare and an established arterial. The Paseo is classified as a six-lane thoroughfare Historic/ Established Boulevard under the jurisdiction of the Parks and Recreation Department.

## Land Use Plan

The Midtown Plaza Area Plan, recommends Institutional land use for the campus. The existing MPD zoning allows for mixed use on the site.

## APPROVAL PROCESS



## NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

Notice of the public hearing was sent to 49/ 63 Coalition Neighborhood Association and surrounding properties within 300 feet.

## REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. The applicant held a public meeting on June 22, 2021, a summary of which is attached.

## EXISTING CONDITIONS

The subject site is the 55 acre Rockhurst University campus generally by E. 51st Street and Rockhurst Road on the north, E. 54th Street and E. 55th Street on the south, The Paseo on the east, and Troost Avenue on the west. In 2016, approved an amendment to the existing MPD plan to expand it and construct student housing.

The structures include a number of academic buildings, library, physical plant, field house, student life center, and eight student residential buildings. A baseball field, softball field, tennis courts and soccer field are located east of vacated Tracy Avenue, which extends through the center of the campus. A three-story, 423 space parking garage with 10,000 square feet of potential commercial use was recently constructed at the northeast corner of Rockhurst Road and Troost Avenue.

The campus is bordered on the north, south and partially on the east by residential uses within zoning districts R-2.5 and R-6 with commercial zoning extending one-half block east from the Troost Avenue frontage. Most of the streets within the campus are private streets.

## SUMMARY OF REQUEST

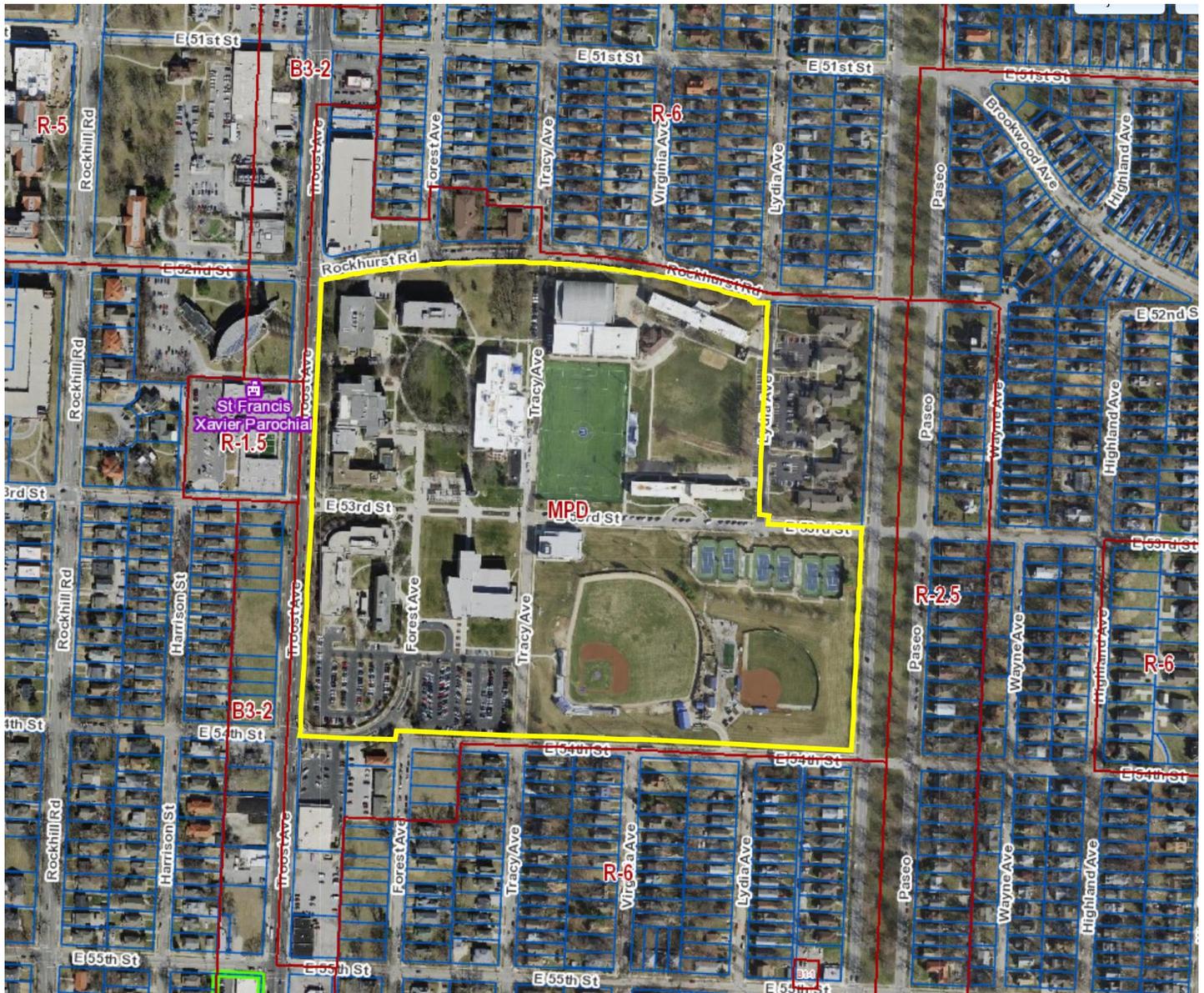
The applicant is seeking approval of an amendment to the existing MPD Plan in District MPD to allow for construction of a new student residence hall.

## PROFESSIONAL STAFF RECOMMENDATION

Docket #3      Recommendation  
Approval subject to conditions.

**CONTROLLING CASE**

**Case No. 7899-MPD-12** – On January 19, 2016, the City Plan Commission recommended approval of the request amend the existing educational institution MPD preliminary development plan on about 55 acres, in District MPD (Master Planned Development), to allow for two (2) four-plex townhomes. This case also passed by the City Council.

**RELATED RELEVANT CASES**

**Case No. 7899-MPD-13** – On February 2, 2016, the City Plan Commission approved an MPD final plan within the Rockhurst University Master Planned District, on approximately 0.52 acres, generally located on the west side of Forest Avenue, approximately 50 feet south of E. 54th Street, to allow for two (2) four-plex townhomes on one lot.

**Case No. 7899-MPD-11** – On November 7, 2012, the Development Review Committee approved an MPD final plan on about 4.8 acres located on the north side of E. 54th Street between vacated Forest Street and vacated Tracy Avenue to allow for an academic building.

**Case No. 7899-MPD-10** – Ordinance No. 110804 passed by City Council on November 3, 2011, rezoned about 55 acres generally bounded by Troost Avenue on the west, The Paseo on the east, E. 51st Street and Rockhurst Road on the north and E. 54th Street and E. 55th Street on the south, from Districts R-1.5 (Residential 1.5), R-2.5 (Residential 2.5), R-6 (Residential 6) and B3-2 (Community Business - 2) to District MPD (Master Planned Development), and approved a preliminary development plan for an educational institution.

## PLAN REVIEW

The request is to consider an amendment to the existing Rockhurst University MPD Plan to allow for future additions to the existing campus. The current approved MPD plan allowed for development within the campus over time in three phases between 2011 and 2030 and beyond. Phase 1 (2011-2015) allowed for a new lecture hall/ theater and a 250 bed residence hall. Additions were made to an administrative building, the physical plant, field house and science center. In Phase 2 (2015-2020) a 216 bed residence hall and several small support buildings were demolished. New construction includes a second parking structure at the southwest corner of E. 54th Street and Troost Avenue, two academic buildings, a 250 bed residence hall and athletic services building. Phase 3 (2011-2030) includes two new residence hall totaling 500 beds and a small chapel building with possible residential component.

This amendment will allow for the following:

1. Existing Xavier-Loyola Hall will be taken off line.
2. Allow for four future residence halls.
3. The Paseo Gateway residence hall (#4) is currently under review and targeted for 2022 occupancy.
4. This residence hall will replace the existing tennis courts.
5. Allow for additional academic and administrative buildings.

## Requested Deviations

The plan does not stipulate or request any deviation.

## Use-Specific (88-300) and Development Standards (88-400)

Standards	Applicability	Meets	More Information
<i>Boulevard and Parkway Standards (88-323)</i>	YES		TO BE REVIEWED WITH FINAL MPD PLAN
<i>Parkland Dedication (88-408)</i>	YES		SEE PLAN ANALYSIS
<i>Parking and Loading Standards (88-420)</i>	YES		SEE PLAN ANALYSIS
<i>Landscape and Screening Standards (88-425)</i>	YES		TO BE REVIEWED WITH FINAL MPD PLAN
<i>Outdoor Lighting Standards (88-430)</i>	YES		TO BE REVIEWED WITH FINAL MPD PLAN
<i>Sign Standards (88-445)</i>	YES	YES	
<i>Pedestrian Standards (88-450)</i>	YES		TO BE REVIEWED WITH FINAL MPD PLAN

## PLAN ANALYSIS

**Per Section 88-280-01**, the MPD district is intended to accommodate development that may be difficult if not impossible to carry out under otherwise applicable zoning district standards. The proposed MPD does not serve as a preliminary plat. The MPD district will allow for multiple buildings and uses on one lot and establish the building setbacks and other site development standards.

### 88-520-03-F. MPD Review Criteria

In reviewing and making decisions on proposed MPD rezonings and preliminary development plans, review and decision-making bodies must consider at least the following factors:

1. the preliminary development plan's consistency with any adopted land use plans for the area;

*The Midtown Plaza Area Plan recommends Institutional land use. The existing MPD zoning allows for the institutional use.*

2. the preliminary development plan's consistency with the MPD district provisions of 88-280; and *The proposed amendment is consistent with the MPD plan.*
3. the sufficiency of the terms and conditions proposed to protect the interest of the public and the residents of the MPD in the case of a plan that proposes development over a long period of time. *This plan is proposed to allow for the campus development in three phases.*

### **88-280-06 Approval Criterion**

MPD zoning may be approved only when the city council, after receiving the recommendation of the city plan commission, determines that the proposed development cannot be reasonably accommodated by other available regulations of this zoning and development code, and that a MPD would result in a greater benefit to the city as a whole than would development under conventional zoning district regulations. Such greater benefit may include implementation of adopted planning policies, natural resource preservation, urban design, neighborhood/community amenities, or a general level of development quality.

### **Parkland Dedication:**

Parking is provided at a rate of one parking space per 4 employees and 1 parking space per 10 students. The current count is 350 employees and 3,000 students, requiring a total of 388 spaces. The 2030 projection is about 440 employees and 4,000 students requiring a total of 510 spaces. The master plan provides for 1,052 parking spaces.

The developer is required to submit a final MPD plan to the City Plan Commission for approval prior to issuance of building permit. This includes building elevations showing material for construction, plans for landscaping, grading, screening, berming, fencing for each building or private open space tract containing a detention area, pedestrian pathways, pool/ clubhouse, fencing, playground equipment, etc.; and building elevation and materials for the pool/ clubhouse. Phase 1 final UR plan will be approved by the Director of City Planning and Development prior to issuance of building permit.

### **Parkland Dedication:**

According to Chapter 88-408 of the Zoning and Development Code, the developer can either dedicate land for public park, provide open space for park purposes or provide money in lieu of parkland dedication. The development is providing a need for the following:

$$\begin{aligned} &\# \text{ of multi-family units} \times 2 \times 0.006 = \text{acres required} \\ &\text{acres} \times \$48,801.37 \text{ (2021 fees)} = \text{Parkland Fees} \end{aligned}$$

That the developer dedicate parkland or contribute money in lieu of parkland dedication for the proposed multifamily units in satisfaction of Chapter 88-408 of the Zoning and Development Code. The developer is asking for waiver of this requirement. There is no waiver criteria in the code.

### **PROFESSIONAL STAFF RECOMMENDATION**

Staff recommends Approval Subject to the Corrections and Conditions as reflected in the attached Plan Correction Report and Plan Conditions Report.

Respectfully Submitted,



Olofu Agbaji  
Planner



## Plan Conditions, Corrections, & Recommendations Report

Recommended to City Plan Commission  
Recommended by Development Review Committee

Report Date: September 02, 2021

Case Number: CD-CPC-2021-00130

Project: Rockhurst

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### Plan Corrections

*Correction(s) by Development Management of the City Planning and Development Department. Contact Olofu Agbaji at 816-513-8815 / Olofu.Agbaji@kcmo.org with questions.*

1. Revise this plan to focus on the overall Rockhurst MPD Plan area only. (7/30/2021)
2. Remove all elements of the Paseo Gateway project from this plan. Except for proposed building as this is the preliminary plan. (7/30/2021)
3. Eliminate sheets C2, C3, L101, E001, E002 & E003 Revise Plans and Resubmit (8/27/2021)

*Correction(s) by Water Services - Water of the Water Services Department. Contact Kirk Rome at 816-513-0368 / kirk.rome@kcmo.org with questions.*

4. Show sizes & locations of all adjacent water and sewer mains & fire lines. Show easements for water mains in private streets. A main extension may be needed depending on the proposed flow demand and capacity. The plans need to show the proposed fire service line and any private fire hydrants. A public fire hydrant will be needed between H-13 and H-15 to meet the 300' maximum spacing requirement. Plans for any public infrastructure will need to be submitted to the Water Main Extension desk for review and permitting. (7/28/2021)

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### Plan Conditions

*Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at 816-513-8815 / Olofu.Agbaji@kcmo.org with questions.*

5. That the developer receive approval of an MPD Final Plan from the City Plan Commission prior to issuance of Building Permit. (7/30/2021)
6. As part of the public entitlement process you are required to meet the public engagement Section 88-505-12 of the City's Zoning and Development Code. Submit all required public engagement documentation to your assigned planner by \_\_/\_\_/\_\_ via publicengagement@kcmo.org (7/30/2021)

*Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.*

7. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy. (7/29/2021)
8. The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (7/29/2021)
9. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities. (7/29/2021)
10. The developer must integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards. (7/29/2021)
11. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (7/29/2021)

*Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.*

12. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy. (7/29/2021)
13. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits. (7/29/2021)
14. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting (7/29/2021)

*Condition(s) by Fire Department. Contact Michael Schroeder at 816-513-4611 / michael.schroeder@kcmo.org with questions.*

15. • The expectation is the project will meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (7/28/2021)
16. • Fire hydrant distribution shall follow IFC-2018 Table C102.1 (7/28/2021)
17. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2) (7/28/2021)
18. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) (7/28/2021)
19. Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) (7/28/2021)
20. • The turning radius for fire department access roads is 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4) (7/28/2021)
21. • Buildings exceeding three (3) stories or 30 feet in height shall have at least two means of fire apparatus access. (IFC-2018: § D104.1) (7/28/2021)
22. • Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105). (7/28/2021)

*Condition(s) by Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.*

23. The developer shall submit plans to Parks & Recreation Department and obtain permits prior to beginning construction of streetscape improvements (including but not limited to sidewalks, curbs, gutters, streetscape elements, pedestrian and street lighting) on the Parks jurisdictional streets and construct improvements, ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired. Such improvements shall be installed per Parks & Recreation Department Standards (7/29/2021)
24. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way. (7/29/2021)
25. The developer shall fully comply with the Parkway and Boulevard Standards of 88-323. (7/29/2021)

*Condition(s) by Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.*

26. The developer shall submit a letter to the Parks and Recreation Department from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, stating the condition of the sidewalks, curbs, and gutters along boulevard/parkway, which is a parks and recreation jurisdictional street. The letter shall identify state of repair as defined in Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters. It shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages, as required by the Parks and Recreation Department, prior to recording the plat/issuance of any certificate of occupancy permits including temporary certificate occupancy permits (7/29/2021)
27. The developer is responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the (2021) acquisition rate of (\$48,801.37) per acre. This requirement shall be satisfied prior to certificate of occupancy. (7/29/2021)

*Condition(s) by Public Works Department. Contact Jeffrey Bryan at 816-513-9865 / Jeffrey.Bryan@kcmo.org with questions.*

28. A Traffic Impact Study may be required as the future residence halls are constructed. (8/17/2021)

*Condition(s) by Water Services Department. Contact Heather Massey at / heather.massey@kcmo.org with questions.*

29. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.  
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>  
(7/30/2021)
30. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact –Sean Allen -816-513-0318  
North of River contact Dan Richardson – 816-513-4883 (7/30/2021)

*Condition(s) by Water Services Department. Contact Kirk Rome at 816-513-0368 / kirk.rome@kcmo.org with questions.*

31. The developer shall submit an analysis by a registered Professional Engineer in Missouri to verify adequate capacity of the existing water mains and verify fire flow capacity prior to the issuance of new water service permits. Depending on adequacy of the existing water mains, upsizing or extending mains and/or other improvements may be required. (7/28/2021)

### **Plan Recommendations**

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*Recommendation(s) by Public Works Department. Contact Jeffrey Bryan at 816-513-9865 / Jeffrey.Bryan@kcmo.org with questions.*

32. When will the South Parking Garage be constructed? What is the plan for traffic/parking related to the future residence halls? (8/22/2021)



# 2021-06-22 RUNC/Neighborhood Meeting

Tuesday, June 22, 2021 5:13 PM

5:35 start: 2 neighbors on zoom, 1 in person

Q: what is the city council required to approve?

A: the addition of the building to the master plan

Q: will there be a sidewalk connecting porches?

A: yes. But also we are early in the process and still have work to do refining the design

C: like the porch because we are a porch community but concerned about being so open to street

A: we have same concerns, want to make them more seprerate/secluded from street for privacy

Q: sliding glass doors on porches?

A: single swing door, no sliders

Q: Do you have a net add on parking

A: 192 spaces net add, 20% increase to campus

C: loving stone and brick materials and lanterns and entrance gates

C: seems more welcoming to people walking along paseo

Q: have you thought anything from a conservation standpoint? Raingardens? Lots of concrete and hardscape right now.

A: as of right now we are looking at incorporating the existing basin at the MAC

Q: will parking be restricted on Paseo?

A: we can't control parking on Paseo, but RU and RUNC prefers avoiding parking on Paseo and will share that desire with the city.

C: 5300 block of Paseo will naturally be used for parking. That's a concern.

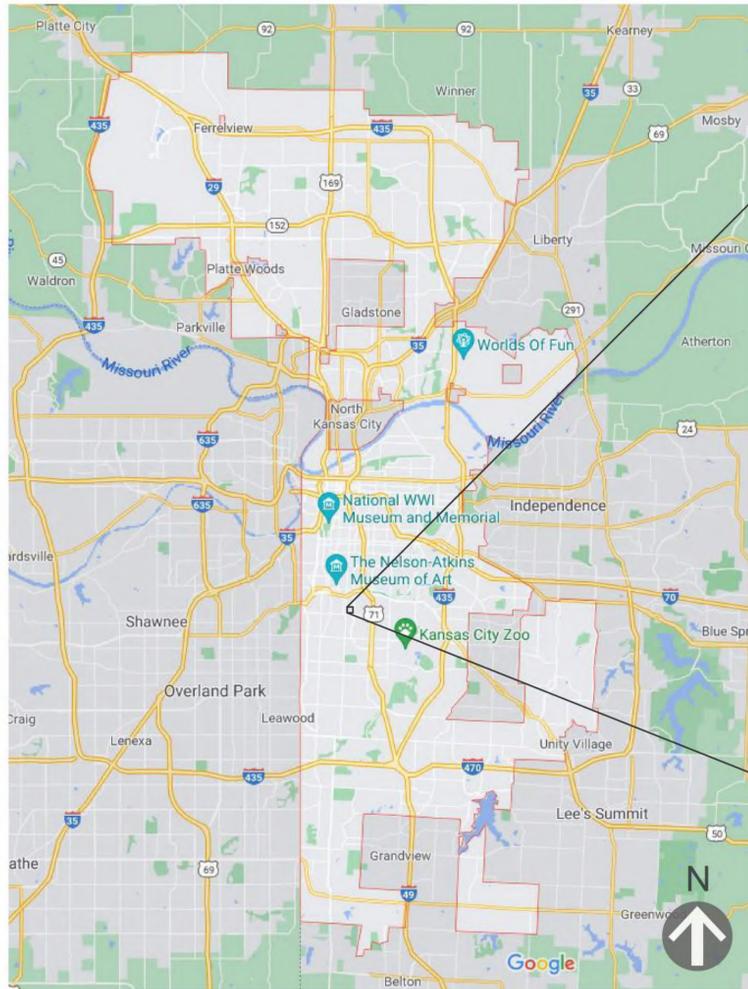
C: Thank you for listening to our feedback and responding.

6:02 End



Adam Sterns 7:55 AM

Names for those attending Neighborhood meeting via Zoom. Belinda Black, Anthony Maly, Keema CcCoy, Kesi Milligan. 👍 1



VICINITY MAP

**SHEET INDEX:**

- Cover Sheet
- C1.00 Site Plan
- C2.00 Dimension Plan
- C3.00 Grading Plan
- C4.00 Existing and Proposed Utilities
  
- L101 Landscape & Planting Plan
  
- AS100 Plan Amendment
- AS101 Signage Plan
- AS102 Surrounding Zoning
  
- E001 Site Plan - Electrical
- E002 Site Plan - Photometrics
- E003 Fixture Cutsheets
  
- Survey with Legal Description

# ROCKHURST UNIVERSITY MASTER PLAN AMENDMENT

NOT FOR CONSTRUCTION

PRELIMINARY PLAN

August 19, 2021

**Master Plan District Statement**

The proposed update to the MPD for the Rockhurst University Campus provides a current master plan for the campus, as well as creates a vision for the future that serves our students, faculty, and staff. The MPD allows the creation of a physically and visually connected campus, which can relate to the surrounding neighborhoods in a complete, consistent manner while considering the entire campus in our decision making.

**gouldevans**

kansas city • lawrence • new orleans  
phoenix • san francisco

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Rockhurst University  
MPD Plan Amendment

1400 East 53rd Street  
Kansas City, Missouri 64110

owner:  
Rockhurst University  
1100 Rockhurst Road  
Kansas City, MO 64110  
816.501.4000 voice  
www.rockhurst.edu

developer:  
Sunflower Development Group  
1125 Grand Boulevard #202  
Kansas City, MO 64106  
816.581.3993 voice

general contractor:  
JE Dunn Construction Group  
1001 Locust Street  
Kansas City, MO 64106  
816.474.6500

architect:  
Gould Evans  
4200 Pennsylvania Avenue  
Kansas City, MO 64111  
816.931.6655 voice  
www.gould-evans.com

structural engineer:  
Bob O. Campbell & Company  
4338 Bellevue Avenue  
Kansas City, MO 64111  
816.531.4144 voice  
www.bdc-engr.com

civil engineer:  
SK Design Group  
4000 College Boulevard, #100  
Shawnee, Mission, KS 66211  
913.451.1838 voice  
www.skg.com

mechanical/electrical engineer:  
Lankford | Fendler + associates  
1730 Walnut Street  
Kansas City, MO 64108  
816.221.1411 voice  
www.lankfordfendler.com

landscape architect:  
Gould Evans  
4200 Pennsylvania Avenue  
Kansas City, MO 64111  
816.931.6655 voice  
www.gould-evans.com

NOT FOR  
CONSTRUCTION

REVISIONS

NUMBER	DESCRIPTION	DATE

PROJECT NO: 0221-2010  
DATE: August 19, 2021

Amended Master Plan

AS100

KCMO Planning Submittal

GENERAL NOTES:

- REFER TO ATTACHED SURVEY SHEETS FOR THE FOLLOWING INFORMATION:
  - LEGAL DESCRIPTION OF PROPERTY
  - LOCATION OF EXISTING PROPERTY LINES
  - LOCATION OF EXISTING EASEMENTS, EXISTING INTERIOR STREETS, AND RIGHT OF WAYS, VEHICULAR ACCESS
  - IDENTIFICATION OF ADJACENT PLATTED SUBDIVISION WITH LOTS AND TRACT NUMBERS
  - LOCATION AND DIMENSIONS OF EXISTING BUILDINGS AND SITE FEATURES
  - LOCATION OF EXISTING PARKING AND PARKING COUNTS
  - EXISTING SITE LIGHTING
- NO CHANGES TO THE EXISTING LANDSCAPING ARE PROPOSED. ALL FUTURE LANDSCAPING WILL BE CONSISTENT WITH THE LANDSCAPING IN THE AREA.
- THE DEVELOPER SHALL CAUSE THE AREA TO BE PLATTED AND PROCESSED IN ACCORDANCE WITH CHAPTER 86, CODE OF ORDINANCES OF THE CITY OF KANSAS CITY, MISSOURI, AS AMENDED, COMMONLY KNOWN AS THE DEVELOPMENT REGULATIONS.
- CONDITIONS SHOWN ARE BASED ON CURRENTLY AVAILABLE INFORMATION. ADDITIONAL INFORMATION WILL BE PROVIDED AS NEEDED IN CONJUNCTION WITH PERMITTING AND PLATTING.
- THE DEVELOPER MUST REDICATE RIGHT OF WAY FOR EAST 55TH STREET AS REQUIRED BY WAY AS MEASURED FROM THE CENTERLINE OF EAST 55TH STREET.
- PRIOR TO IMPLEMENTATION OF ANY PART OF PHASES 2 OR 3 AS SHOWN ON THE DEVELOPMENT PLAN, A TRAFFIC STUDY ACCEPTABLE TO THE PUBLIC WORKS DEPARTMENT SHALL BE SUBMITTED TO, REVIEWED BY AND ACCEPTED BY THE PUBLIC WORKS DEPARTMENT. THE DEVELOPER SHALL CONSTRUCT ANY IMPROVEMENTS REQUIRED BY THE PUBLIC WORKS DEPARTMENT BASED ON THE ACCEPTED TRAFFIC STUDY.
- THE DEVELOPER IS CURRENTLY UNAWARE OF ANY PENDING REPAIR OF PUBLIC SIDEWALKS.
- THE DEVELOPER UNDERSTANDS THE OBLIGATION TO ADDRESS STORMWATER/SEWER MANAGEMENT REQUIREMENTS IN CONJUNCTION WITH PERMITTING AND PLATTING.
- USES FRONTING TROOST AVENUE WILL MAINTAIN SIDE YARD SETBACKS FROM ADJACENT RESIDENTIAL PROPERTIES AS REQUIRED BY BS-2 ZONING.

KEY:

PROPOSED MASTER PLAN DEVELOPMENT LINE  
2,366,631 SF = 54.33 ACRES

PARKING NOTES:

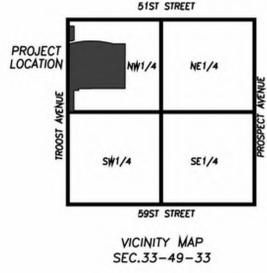
- NEW ZONING ORDINANCE 420-06 FOR COLLEGES AND UNIVERSITIES:
- 1 PER 4 EMPLOYEES; 1 PER 10 STUDENTS
  - TOTAL REQUIRED CURRENTLY - 388 SPACES
  - CURRENT COUNT:
    - 350 EMPLOYEES @ 1 PER 4 = 88 SPACES
    - 3,000 STUDENTS @ 1 PER 10 = 300 SPACES
    - 2030 PROJECTED COUNT
    - 440 EMPLOYEES @ 1 PER 4 = 110 SPACES
    - 4,000 STUDENTS @ 1 PER 10 = 400 SPACES
  - TOTAL REQUIRED SPACES FOR 2030 = 510
  - SPACES PROVIDED IN MASTER PLAN DEVELOPMENT=1052

BUILDING KEY (CONT):

- PHYSICAL PLANT OPERATIONS  
Building Use: Facilities Services  
Existing Gross Floor Area SF: 8,478  
Existing Building SF: 5,428  
Additional Gross Floor Area SF: 2,700  
Additional Building SF: 3,000  
Modified Total Building SF: 8,478  
Building Stories: 1
- GREENLEASE LIBRARY  
Building Use: Library  
Existing Gross Floor Area SF: 14,386  
Existing Building SF: 42,100  
Additional Gross Floor Area SF: 25,700  
Additional Building SF: 77,100  
Modified Total Building SF: 25,700  
Building Stories: 3
- MASSMAN HALL EXPANSION  
Building Use: Campus Life  
Existing Gross Floor Area SF: 34,128  
Existing Building SF: 77,000  
Additional Building SF: 50,000  
Modified Total Building SF: 127,000  
Modified Floor Area SF: 90,785  
Building Stories: 2-3  
Date Constructed: 1955 (55,333 SF)  
Addition 1984 (18,000)
- MASON HALPHIN FIELDHOUSE & CONVOCATION CENTER EXPANSION  
Building Use: Athletic  
Existing Gross Floor Area SF: 42,334  
Existing Building SF: 32,333  
Additional Building SF: 30,000  
Modified Total Building SF: 103,333  
Modified Floor Area SF: 52,400  
Building Stories: 2-3  
Date Constructed: 1940 (31,704 SF)  
Addition 1974 (41,629 SF)
- ROCKHURST SCIENCE CENTER & EXPANSION  
Building Use: Academic/Administrative/Support  
Existing Gross Floor Area SF: 25,430  
Existing Building SF: 76,290  
Additional Building SF: 37,500  
Modified Total Building SF: 113,790  
Modified Floor Area SF: 37,300  
Building Stories: 3  
Date Constructed: 1996
- ACADEMIC BUILDING W/500 SEAT LEASURE HALL & BLACKBOX THEATER  
Building Use: Academic/Administrative/Support  
Gross Floor Area SF: 30,000  
Building SF: 87,000 (76,000 with 11,000 Theater)  
Building Stories: 4 w/ 75' Tall Theater
- NORTH PARKING STRUCTURE  
Building Use: Parking Structure with 10,000 SF Level 1 Commercial as noted below:  
a. Uses allowed in B-1 zoning  
b. Business Equipment Sales & Service  
c. Business Support Service (except day labor)  
d. Communication Service Establishments  
e. Drive-Through Facility (subject to traffic analysis)  
Gross Floor Area SF: 48,666 - 423 Parking Stalls  
Building SF: 140,000  
Building Stories: 3
- ATHLETIC FIELD FACILITIES  
Building Use: Facilities Services  
Gross Floor Area SF: 11,500  
Building SF: 11,500  
Building Stories: 1-2
- RESIDENCE HALL 4  
Building Use: Housing  
Gross Floor Area SF: 23,300  
Building SF: 80,600  
Building Stories: 3 - 4  
Date Constructed: 2022
- RESIDENCE HALL 1 (250 Beds)  
Building Use: Housing  
Gross Floor Area SF: 20,000  
Building SF: 90,000  
Building Stories: 5
- RESIDENCE HALL 2 (250 Beds)  
Building Use: Housing  
Gross Floor Area SF: 20,000  
Building SF: 90,000  
Building Stories: 5
- RESIDENCE HALL 3 (250 Beds)  
Building Use: Housing  
Gross Floor Area SF: 20,000  
Building SF: 90,000  
Building Stories: 5
- ACADEMIC GATEWAY BUILDING NORTH  
Building Use: Academic/Administrative/Support  
Gross Floor Area SF: +/- 28,000  
Building SF: 83,000  
Building Stories: 3 + 1 Level Wing
- ACADEMIC GATEWAY BUILDING SOUTH  
Building Use: Academic/Administrative/Support  
Gross Floor Area SF: +/- 28,000  
Building SF: 83,000  
Building Stories: 3 + 1 Level Wing

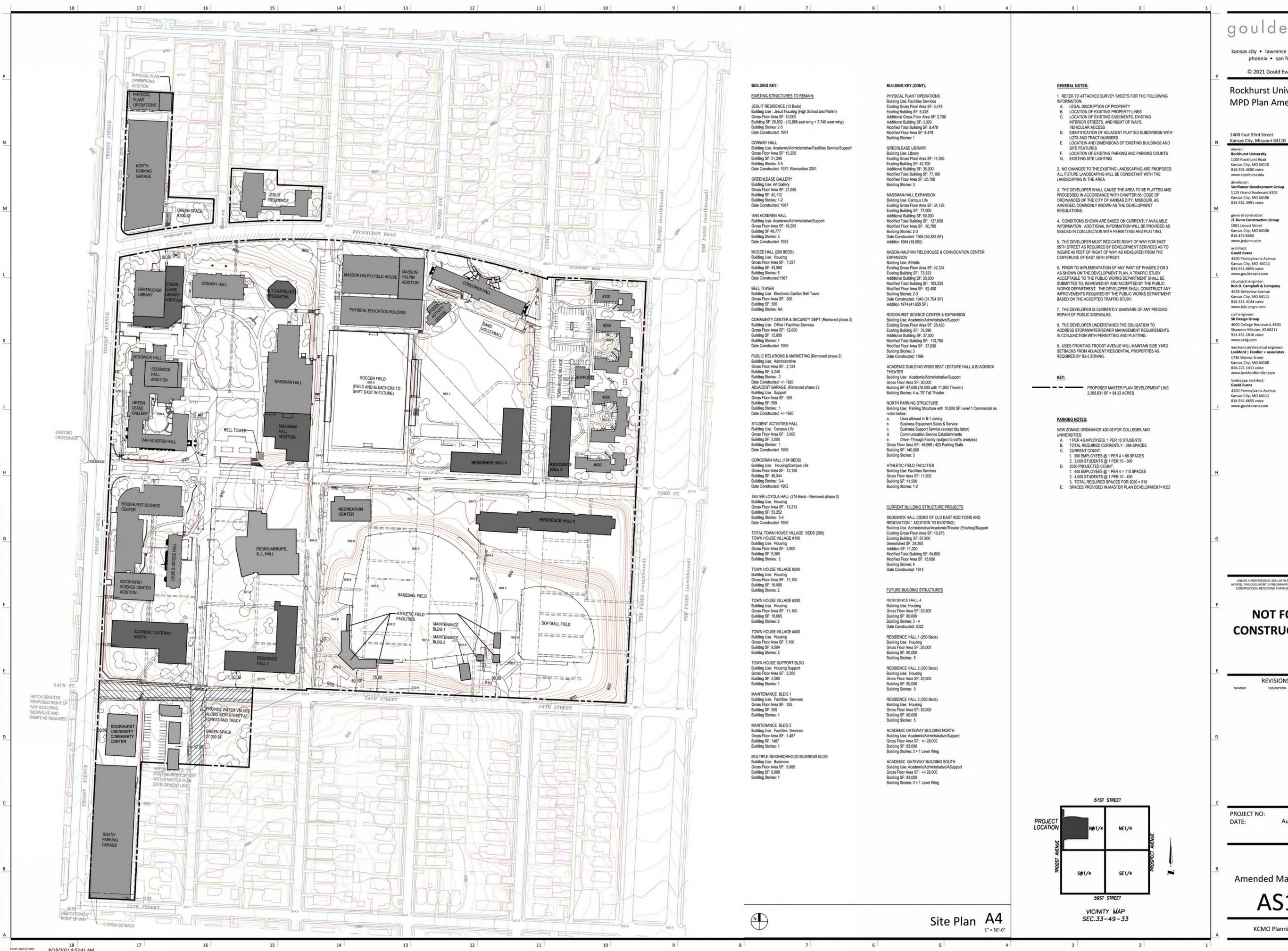
BUILDING KEY:

- EXISTING STRUCTURES TO REMAIN:
- JESUIT RESIDENCE (13 Beds)  
Building Use: Jesuit Housing (High School and Parish)  
Gross Floor Area SF: 10,000  
Building SF: 20,000 (12,896 east wing + 7,746 west wing)  
Building Stories: 2-3  
Date Constructed: 1991
- CONWAY HALL  
Building Use: Academic/Administrative/Facilities Service/Support  
Gross Floor Area SF: 10,258  
Building SF: 51,200  
Building Stories: 4-5  
Date Constructed: 1937, Renovation 2001
- GREENLEASE GALLERY  
Building Use: Art Gallery  
Gross Floor Area SF: 21,098  
Building SF: 42,112  
Building Stories: 1-2  
Date Constructed: 1987
- VAN ACKEREN HALL  
Building Use: Academic/Administrative/Support  
Gross Floor Area SF: 16,259  
Building SF: 48,777  
Building Stories: 3  
Date Constructed: 1953
- MCGEE HALL (209 BEDS)  
Building Use: Housing  
Gross Floor Area SF: 7,327  
Building SF: 43,960  
Building Stories: 6  
Date Constructed: 1967
- BELL TOWER  
Building Use: Electronic Carillon Bell Tower  
Gross Floor Area SF: 300  
Building SF: 300  
Building Stories: 1A
- COMMUNITY CENTER & SECURITY DEPT (Removed phase 2)  
Building Use: Office/Facilities Services  
Gross Floor Area SF: 12,000  
Building SF: 12,000  
Building Stories: 1  
Date Constructed: 1995
- PUBLIC RELATIONS & MARKETING (Removed phase 2)  
Building Use: Administrative  
Gross Floor Area SF: 2,124  
Building SF: 4,248  
Building Stories: 2  
Date Constructed: +/- 1920
- ADJACENT GARAGE (Removed phase 2)  
Building Use: Support  
Gross Floor Area SF: 555  
Building SF: 555  
Building Stories: 1  
Date Constructed: +/- 1920
- STUDENT ACTIVITIES HALL  
Building Use: Campus Life  
Gross Floor Area SF: 3,000  
Building SF: 3,000  
Building Stories: 1  
Date Constructed: 1999
- CORCORAN HALL (194 BEDS)  
Building Use: Housing/Campus Life  
Gross Floor Area SF: 12,136  
Building SF: 48,544  
Building Stories: 3-4  
Date Constructed: 1962
- XAVIER-LOYOLA HALL (216 Beds - Removed phase 2)  
Building Use: Housing  
Gross Floor Area SF: 13,313  
Building SF: 53,262  
Building Stories: 3-4  
Date Constructed: 1959
- TOTAL TOWN HOUSE VILLAGE BEDS (206)  
TOWN HOUSE VILLAGE #100  
Building Use: Housing  
Gross Floor Area SF: 5,900  
Building SF: 9,360  
Building Stories: 2
- TOWN HOUSE VILLAGE #200  
Building Use: Housing  
Gross Floor Area SF: 11,100  
Building SF: 18,065  
Building Stories: 2
- TOWN HOUSE VILLAGE #300  
Building Use: Housing  
Gross Floor Area SF: 11,100  
Building SF: 18,065  
Building Stories: 2
- TOWN HOUSE VILLAGE #400  
Building Use: Housing  
Gross Floor Area SF: 7,100  
Building SF: 9,594  
Building Stories: 2
- TOWN HOUSE SUPPORT BLDG  
Building Use: Housing Support  
Gross Floor Area SF: 2,500  
Building SF: 2,500  
Building Stories: 1
- MAINTENANCE BLDG 1  
Building Use: Facilities Services  
Gross Floor Area SF: 355  
Building SF: 355  
Building Stories: 1
- MAINTENANCE BLDG 2  
Building Use: Facilities Services  
Gross Floor Area SF: 1,487  
Building SF: 1487  
Building Stories: 1
- MULTIPLE NEIGHBORHOOD BUSINESS BLDG  
Building Use: Business  
Gross Floor Area SF: 8,888  
Building SF: 8,888  
Building Stories: 1



Site Plan A4

1" = 50'-0"



**Rockhurst University  
MPD Plan Amendment**

1400 East 53rd Street  
Kansas City, Missouri 64110

owner:  
Rockhurst University  
1100 Rockhurst Road  
Kansas City, MO 64110  
816.501.4000 voice  
www.rockhurst.edu

developer:  
Sunflower Development Group  
1125 Grand Boulevard #202  
Kansas City, MO 64106  
816.581.3993 voice

general contractor:  
JE Dunn Construction Group  
1001 Locust Street  
Kansas City, MO 64106  
816.474.8500  
www.jedunn.com

architect:  
Gould Evans  
4200 Pennsylvania Avenue  
Kansas City, MO 64111  
816.931.6655 voice  
www.gouldevans.com

structural engineer:  
Bob O. Campbell & Company  
4338 Bellevue Avenue  
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civil engineer:  
SK Design Group  
4000 College Boulevard, #100  
Shawnee Mission, KS 66211  
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mechanical/electrical engineer:  
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Kansas City, MO 64108  
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landscape architect:  
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**REVISIONS**

NUMBER	DESCRIPTION	DATE

PROJECT NO: 0221-2010  
DATE: August 19, 2021

Signage Plan

**AS101**

KCMO Planning Submittal

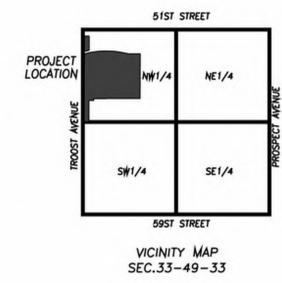
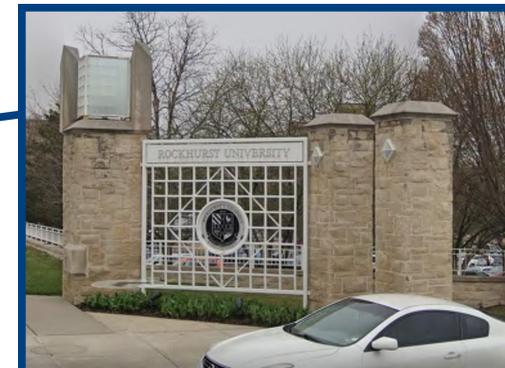


Existing Signage  
Size:

Material:  
Limestone



New Signage  
Materials:  
Limestone  
Painted Metal



Site Plan **A4**  
1" = 50'-0"

Rockhurst University  
MPD Plan Amendment

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Surrounding Zoning Map

AS102

KCMO Planning Submittal

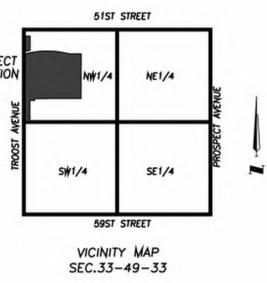
- GENERAL NOTES:**
- REFER TO ATTACHED SURVEY SHEETS FOR THE FOLLOWING INFORMATION:
    - LEGAL DESCRIPTION OF PROPERTY
    - LOCATION OF EXISTING PROPERTY LINES
    - LOCATION OF EXISTING EASEMENTS, EXISTING INTERIOR STREETS, AND RIGHT OF WAYS, VEHICULAR ACCESS
    - IDENTIFICATION OF ADJACENT PLATTED SUBDIVISION WITH LOTS AND TRACT NUMBERS
    - LOCATION AND DIMENSIONS OF EXISTING BUILDINGS AND SITE FEATURES
    - LOCATION OF EXISTING PARKING AND PARKING COUNTS
    - EXISTING SITE LIGHTING
  - NO CHANGES TO THE EXISTING LANDSCAPING ARE PROPOSED. ALL FUTURE LANDSCAPING WILL BE CONSISTENT WITH THE LANDSCAPING IN THE AREA.
  - THE DEVELOPER SHALL CAUSE THE AREA TO BE PLATTED AND PROCESSED IN ACCORDANCE WITH CHAPTER 86, CODE OF ORDINANCES OF THE CITY OF KANSAS CITY, MISSOURI, AS AMENDED, COMMONLY KNOWN AS THE DEVELOPMENT REGULATIONS.
  - CONDITIONS SHOWN ARE BASED ON CURRENTLY AVAILABLE INFORMATION. ADDITIONAL INFORMATION WILL BE PROVIDED AS NEEDED IN CONJUNCTION WITH PERMITTING AND PLATTING.
  - THE DEVELOPER MUST REDICATE RIGHT OF WAY FOR EAST 55TH STREET AS REQUIRED BY WAY AS MEASURED FROM THE CENTERLINE OF EAST 55TH STREET.
  - PRIOR TO IMPLEMENTATION OF ANY PART OF PHASES 2 OR 3 AS SHOWN ON THE DEVELOPMENT PLAN, A TRAFFIC STUDY ACCEPTABLE TO THE PUBLIC WORKS DEPARTMENT SHALL BE SUBMITTED TO, REVIEWED BY AND ACCEPTED BY THE PUBLIC WORKS DEPARTMENT. THE DEVELOPER SHALL CONSTRUCT ANY IMPROVEMENTS REQUIRED BY THE PUBLIC WORKS DEPARTMENT BASED ON THE ACCEPTED TRAFFIC STUDY.
  - THE DEVELOPER IS CURRENTLY UNAWARE OF ANY PENDING REPAIR OF PUBLIC SIDEWALKS.
  - THE DEVELOPER UNDERSTANDS THE OBLIGATION TO ADDRESS STORMWATER/SEWER MANAGEMENT REQUIREMENTS IN CONJUNCTION WITH PERMITTING AND PLATTING.
  - USES FRONTING TROOST AVENUE WILL MAINTAIN SIDE YARD SETBACKS FROM ADJACENT RESIDENTIAL PROPERTIES AS REQUIRED BY BS-2 ZONING.

**KEY:**

----- PROPOSED MASTER PLAN DEVELOPMENT LINE  
2,366,531 SF = 54.33 ACRES

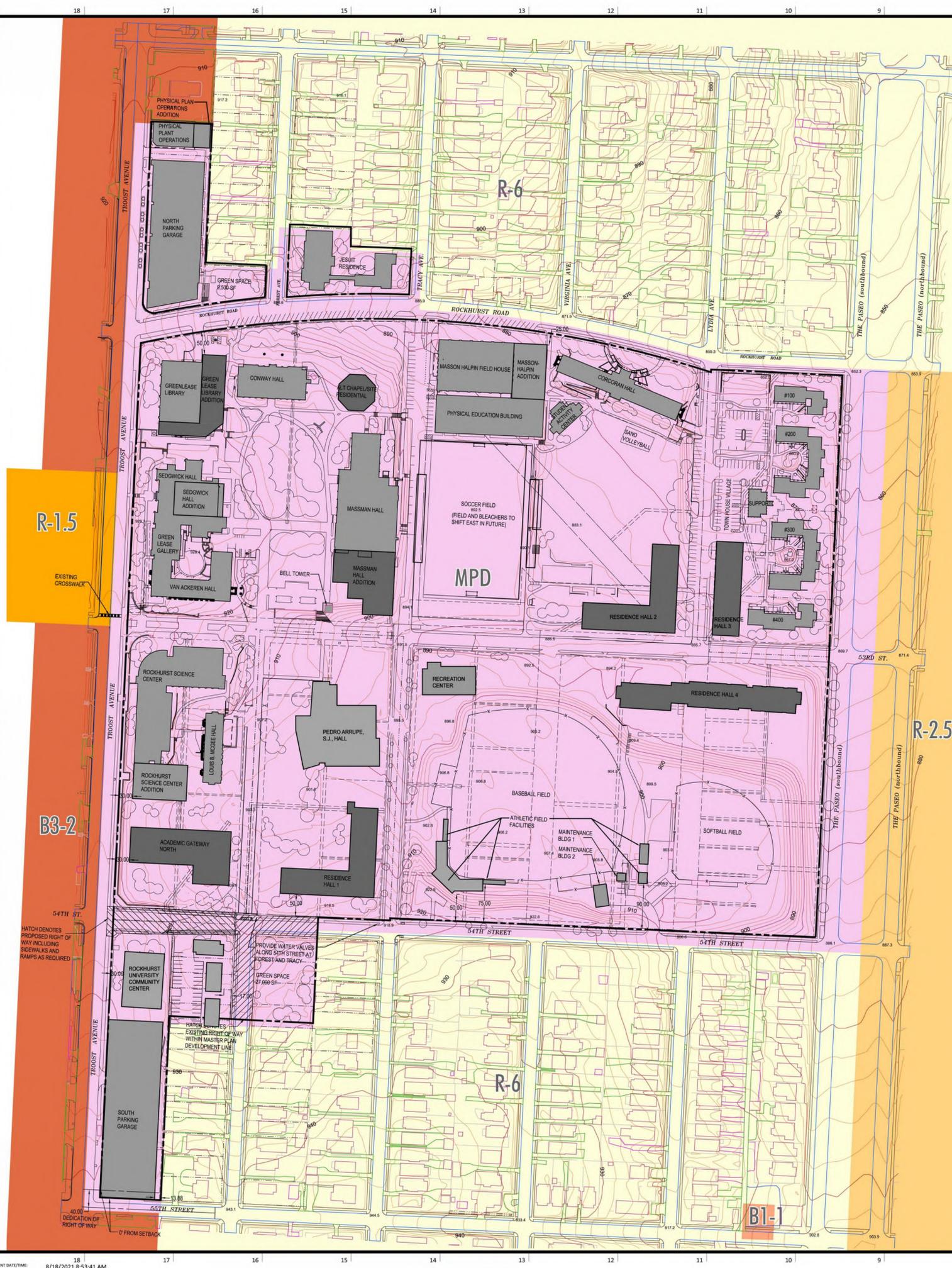
- PARKING NOTES:**
- NEW ZONING ORDINANCE 420-06 FOR COLLEGES AND UNIVERSITIES:
- 1 PER 4 EMPLOYEES; 1 PER 10 STUDENTS
  - TOTAL REQUIRED CURRENTLY - 388 SPACES
  - CURRENT COUNT:
    - 350 EMPLOYEES @ 1 PER 4 = 88 SPACES
    - 3,000 STUDENTS @ 1 PER 10 = 300 SPACES
    - 2,000 PROJECTED COUNT
    - 440 EMPLOYEES @ 1 PER 4 = 110 SPACES
    - 2,400 STUDENTS @ 1 PER 10 = 240 SPACES
  - TOTAL REQUIRED SPACES FOR 2030 = 510
  - SPACES PROVIDED IN MASTER PLAN DEVELOPMENT=1052

- CURRENT BUILDING STRUCTURE PROJECTS**
- SEDGWICK HALL (DEMO OF OLD EAST ADDITIONS AND RENOVATION / ADDITION TO EXISTING)  
Building Use: Administrative/Academic/Theater (Existing)/Support  
Existing Gross Floor Area SF: 16,975  
Existing Building SF: 67,800  
Demolished SF: 24,300  
Addition SF: 11,000  
Modified Total Building SF: 54,600  
Modified Floor Area SF: 13,650  
Building Stories: 4  
Date Constructed: 1914
- FUTURE BUILDING STRUCTURES**
- RESIDENCE HALL 4  
Building Use: Housing  
Gross Floor Area SF: 23,300  
Building SF: 80,600  
Building Stories: 3 - 4  
Date Constructed: 2022
- RESIDENCE HALL 1 (250 Beds)  
Building Use: Housing  
Gross Floor Area SF: 20,000  
Building SF: 90,000  
Building Stories: 5
- RESIDENCE HALL 2 (250 Beds)  
Building Use: Housing  
Gross Floor Area SF: 20,000  
Building SF: 90,000  
Building Stories: 5
- RESIDENCE HALL 3 (250 Beds)  
Building Use: Housing  
Gross Floor Area SF: 20,000  
Building SF: 90,000  
Building Stories: 5
- ACADEMIC GATEWAY BUILDING NORTH  
Building Use: Academic/Administrative/Support  
Gross Floor Area SF: +/- 28,000  
Building SF: 83,000  
Building Stories: 3 + 1 Level Wing
- ACADEMIC GATEWAY BUILDING SOUTH  
Building Use: Academic/Administrative/Support  
Gross Floor Area SF: +/- 28,000  
Building SF: 83,000  
Building Stories: 3 + 1 Level Wing



Site Plan A4  
1" = 50'-0"

- BUILDING KEY:**
- EXISTING STRUCTURES TO REMAIN:**
- JESUIT RESIDENCE (13 Beds)  
Building Use: Jesuit Housing (High School and Parish)  
Gross Floor Area SF: 10,000  
Building SF: 20,000 - (12,898 east wing + 7,146 west wing)  
Additional Building SF: 3,000  
Modified Total Building SF: 8,478  
Building Stories: 2-3  
Date Constructed: 1991
- CONWAY HALL  
Building Use: Academic/Administrative/Facilities Service/Support  
Gross Floor Area SF: 10,258  
Building SF: 51,200  
Building Stories: 4-5  
Date Constructed: 1937, Renovation 2001
- GREENLEASE GALLERY  
Building Use: Art Gallery  
Gross Floor Area SF: 21,958  
Building SF: 42,112  
Building Stories: 1-2  
Date Constructed: 1987
- VAN ACKEREN HALL  
Building Use: Academic/Administrative/Support  
Gross Floor Area SF: 16,259  
Building SF: 48,777  
Building Stories: 3  
Date Constructed: 1953
- MCGEE HALL (209 BEDS)  
Building Use: Housing  
Gross Floor Area SF: 7,327  
Building SF: 43,960  
Building Stories: 6  
Date Constructed: 1967
- BELL TOWER  
Building Use: Electronic Carillon Bell Tower  
Gross Floor Area SF: 300  
Building SF: 300  
Building Stories: NA
- COMMUNITY CENTER & SECURITY DEPT (Removed phase 2)  
Building Use: Office/Facilities Services  
Gross Floor Area SF: 12,000  
Building SF: 12,000  
Building Stories: 2  
Date Constructed: 1995
- PUBLIC RELATIONS & MARKETING (Removed phase 2)  
Building Use: Administrative  
Gross Floor Area SF: 2,124  
Building SF: 4,248  
Building Stories: 2  
Date Constructed: +/- 1920
- ADJACENT GARAGE (Removed phase 2)  
Building Use: Support  
Gross Floor Area SF: 555  
Building SF: 555  
Building Stories: 1  
Date Constructed: +/- 1920
- STUDENT ACTIVITIES HALL  
Building Use: Campus Life  
Gross Floor Area SF: 3,000  
Building SF: 3,000  
Building Stories: 1  
Date Constructed: 1999
- CORCORAN HALL (194 BEDS)  
Building Use: Housing/Campus Life  
Gross Floor Area SF: 12,136  
Building SF: 48,544  
Building Stories: 3-4  
Date Constructed: 1962
- XAVIER-LOYOLA HALL (216 Beds - Removed phase 2)  
Building Use: Housing  
Gross Floor Area SF: 13,313  
Building SF: 53,222  
Building Stories: 3-4  
Date Constructed: 1959
- TOTAL TOWN HOUSE VILLAGE BEDS (206)  
TOWN HOUSE VILLAGE #100  
Building Use: Housing  
Gross Floor Area SF: 5,900  
Building SF: 9,360  
Building Stories: 2
- TOWN HOUSE VILLAGE #200  
Building Use: Housing  
Gross Floor Area SF: 11,100  
Building SF: 18,065  
Building Stories: 2
- TOWN HOUSE VILLAGE #300  
Building Use: Housing  
Gross Floor Area SF: 11,100  
Building SF: 18,065  
Building Stories: 2
- TOWN HOUSE VILLAGE #400  
Building Use: Housing  
Gross Floor Area SF: 7,100  
Building SF: 9,194  
Building Stories: 2
- TOWN HOUSE SUPPORT BLDG  
Building Use: Housing Support  
Gross Floor Area SF: 2,500  
Building SF: 2,500  
Building Stories: 1
- MAINTENANCE BLDG 1  
Building Use: Facilities Services  
Gross Floor Area SF: 355  
Building SF: 355  
Building Stories: 1
- MAINTENANCE BLDG 2  
Building Use: Facilities Services  
Gross Floor Area SF: 1,487  
Building SF: 1487  
Building Stories: 1
- MULTIPLE NEIGHBORHOOD BUSINESS BLDG  
Building Use: Business  
Gross Floor Area SF: 8,888  
Building SF: 8,888  
Building Stories: 1
- BUILDING KEY (CONT):**
- PHYSICAL PLANT OPERATIONS  
Building Use: Facilities Services  
Existing Gross Floor Area SF: 5,478  
Existing Building SF: 5,478  
Additional Gross Floor Area SF: 2,700  
Additional Building SF: 3,000  
Modified Total Building SF: 8,478  
Building Stories: 1
- GREENLEASE LIBRARY  
Building Use: Library  
Existing Gross Floor Area SF: 34,186  
Existing Building SF: 42,100  
Additional Building SF: 35,000  
Modified Total Building SF: 77,100  
Modified Floor Area SF: 25,700  
Building Stories: 3
- MASSMAN HALL EXPANSION  
Building Use: Campus Life  
Existing Gross Floor Area SF: 34,128  
Existing Building SF: 77,000  
Additional Building SF: 50,000  
Modified Total Building SF: 127,000  
Modified Floor Area SF: 80,785  
Building Stories: 2-3  
Date Constructed: 1955 (55,333 SF)  
Addition 1984 (18,000)
- MASON HALPHIN FIELDHOUSE & CONVOCATION CENTER EXPANSION  
Building Use: Athletic  
Existing Gross Floor Area SF: 42,334  
Existing Building SF: 73,333  
Additional Building SF: 30,000  
Modified Total Building SF: 103,333  
Modified Floor Area SF: 52,400  
Building Stories: 2-3  
Date Constructed: 1940 (31,704 SF)  
Addition 1974 (41,629 SF)
- ROCKHURST SCIENCE CENTER & EXPANSION  
Building Use: Academic/Administrative/Support  
Existing Gross Floor Area SF: 25,430  
Existing Building SF: 76,290  
Additional Building SF: 37,500  
Modified Total Building SF: 113,790  
Modified Floor Area SF: 37,300  
Building Stories: 3  
Date Constructed: 1996
- ACADEMIC BUILDING W/500 SEAT LEATURE HALL & BLACKBOX THEATER  
Building Use: Academic/Administrative/Support  
Gross Floor Area SF: 30,000  
Building SF: 87,000 (76,000 with 11,000 Theater)  
Building Stories: 4 w/ 7th Tall Theater
- NORTH PARKING STRUCTURE  
Building Use: Parking Structure with 10,000 SF Level 1 Commercial as noted below:  
a. Uses allowed in B-1 zoning  
b. Business Equipment Sales & Service  
c. Business Support Service (except day labor)  
d. Communication Service Establishments  
e. Drive-Through Facility (subject to traffic analysis)  
Gross Floor Area SF: 48,666 - 423 Parking Stalls  
Building SF: 140,000  
Building Stories: 3
- ATHLETIC FIELD FACILITIES  
Building Use: Facilities Services  
Gross Floor Area SF: 11,500  
Building SF: 11,500  
Building Stories: 1-2



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MPD Plan Amendment

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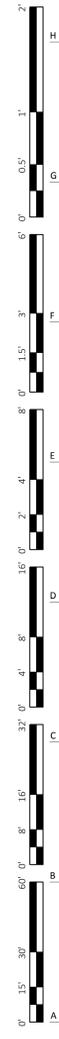
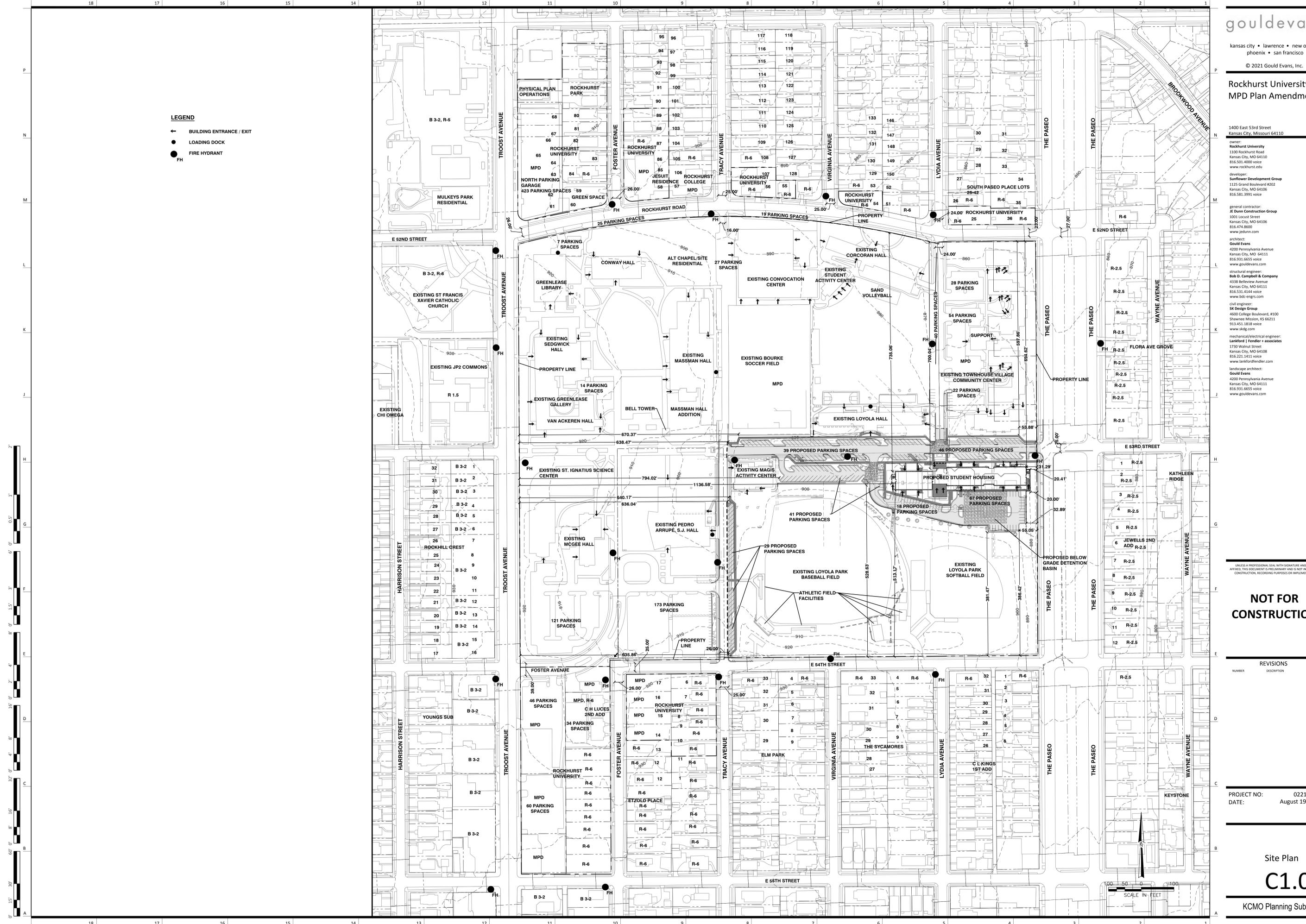
Site Plan

**C1.00**

KCMO Planning Submittal

LEGEND

- ← BUILDING ENTRANCE / EXIT
- LOADING DOCK
- FH FIRE HYDRANT



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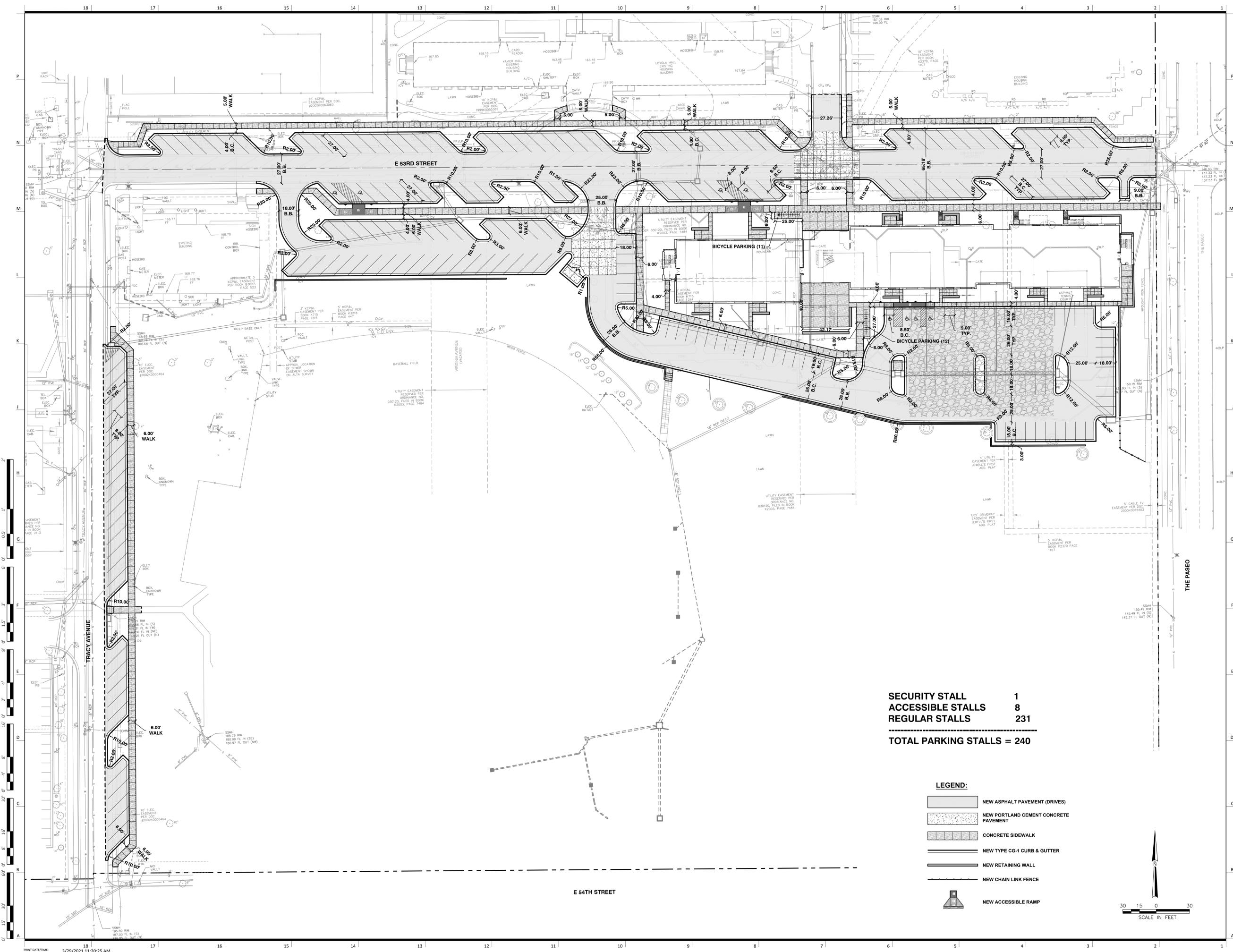
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Dimension Plan

**C2.00**

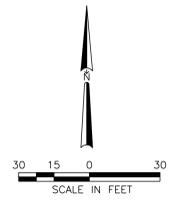
KCMO Planning Submittal



SECURITY STALL	1
ACCESSIBLE STALLS	8
REGULAR STALLS	231
<b>TOTAL PARKING STALLS = 240</b>	

**LEGEND:**

- NEW ASPHALT PAVEMENT (DRIVES)
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- NEW TYPE CG-1 CURB & GUTTER
- NEW RETAINING WALL
- NEW CHAIN LINK FENCE
- NEW ACCESSIBLE RAMP



Rockhurst University  
MPD Plan Amendment

1400 East 53rd Street  
Kansas City, Missouri 64110

owner:  
Rockhurst University  
1100 Rockhurst Road  
Kansas City, MO 64110  
816.501.4000 voice  
www.rockhurst.edu

developer:  
Sunflower Development Group  
1125 Grand Boulevard #202  
Kansas City, MO 64106  
816.581.3991 voice

general contractor:  
JE Dunn Construction Group  
1001 Locust Street  
Kansas City, MO 64106  
816.474.8500  
www.jedunn.com

architect:  
Gould Evans  
4200 Pennsylvania Avenue  
Kansas City, MO 64111  
816.931.6655 voice  
www.gouldevans.com

structural engineer:  
Bob O. Campbell & Company  
4338 Bellevue Avenue  
Kansas City, MO 64111  
816.531.4144 voice  
www.bdc-engr.com

civil engineer:  
SK Design Group  
4000 College Boulevard, #100  
Shawnee Mission, KS 66211  
913.451.1838 voice  
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mechanical/electrical engineer:  
Lankford | Fendler + associates  
1730 Walnut Street  
Kansas City, MO 64108  
816.221.1411 voice  
www.lankfordfendler.com

landscape architect:  
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REVISIONS

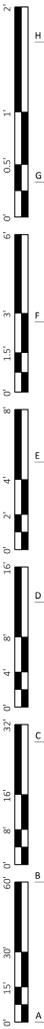
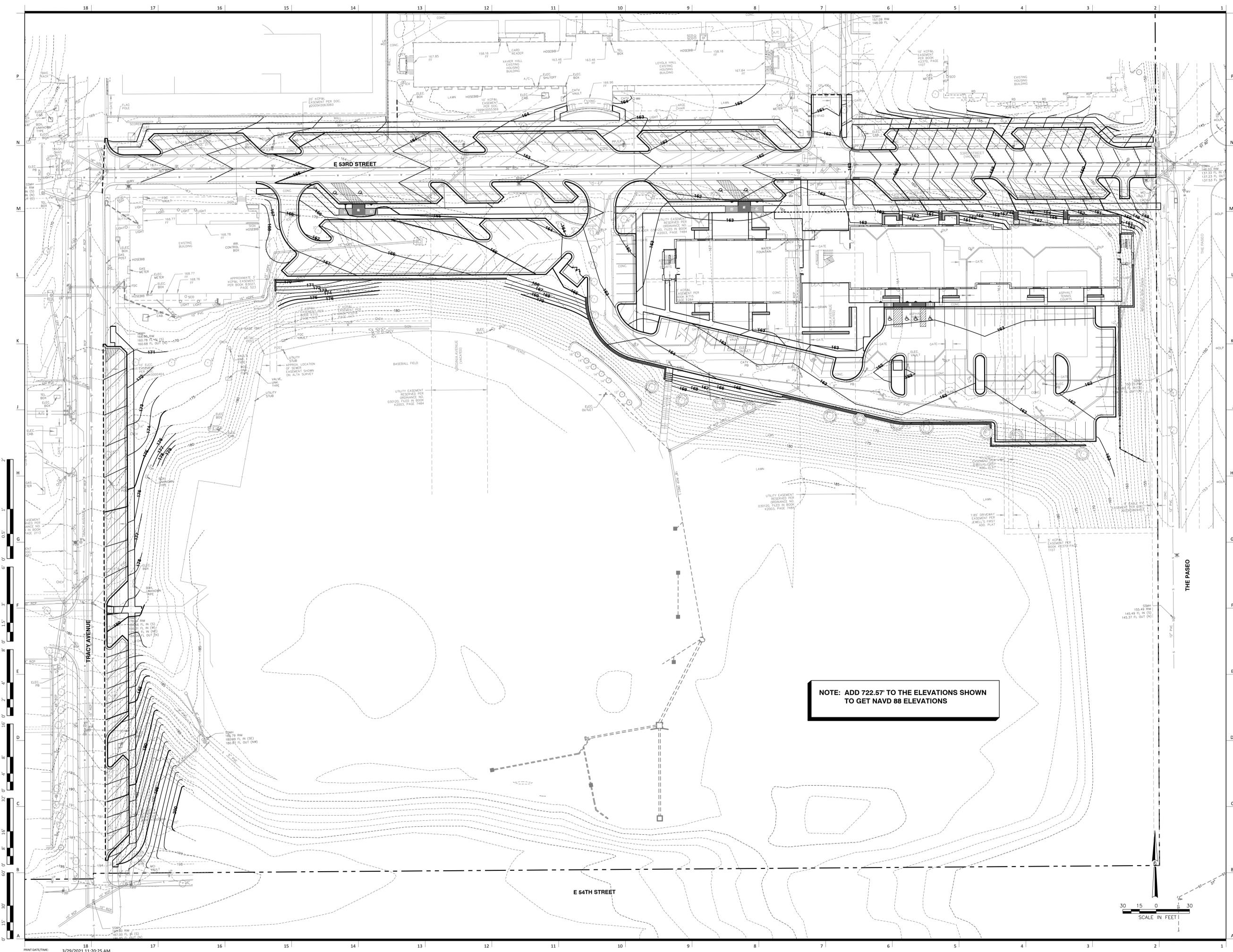
NUMBER DESCRIPTION DATE

PROJECT NO: 0221-2010  
DATE: August 19, 2021

Grading Plan

**C3.00**

KCMO Planning Submittal



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MPD Plan Amendment

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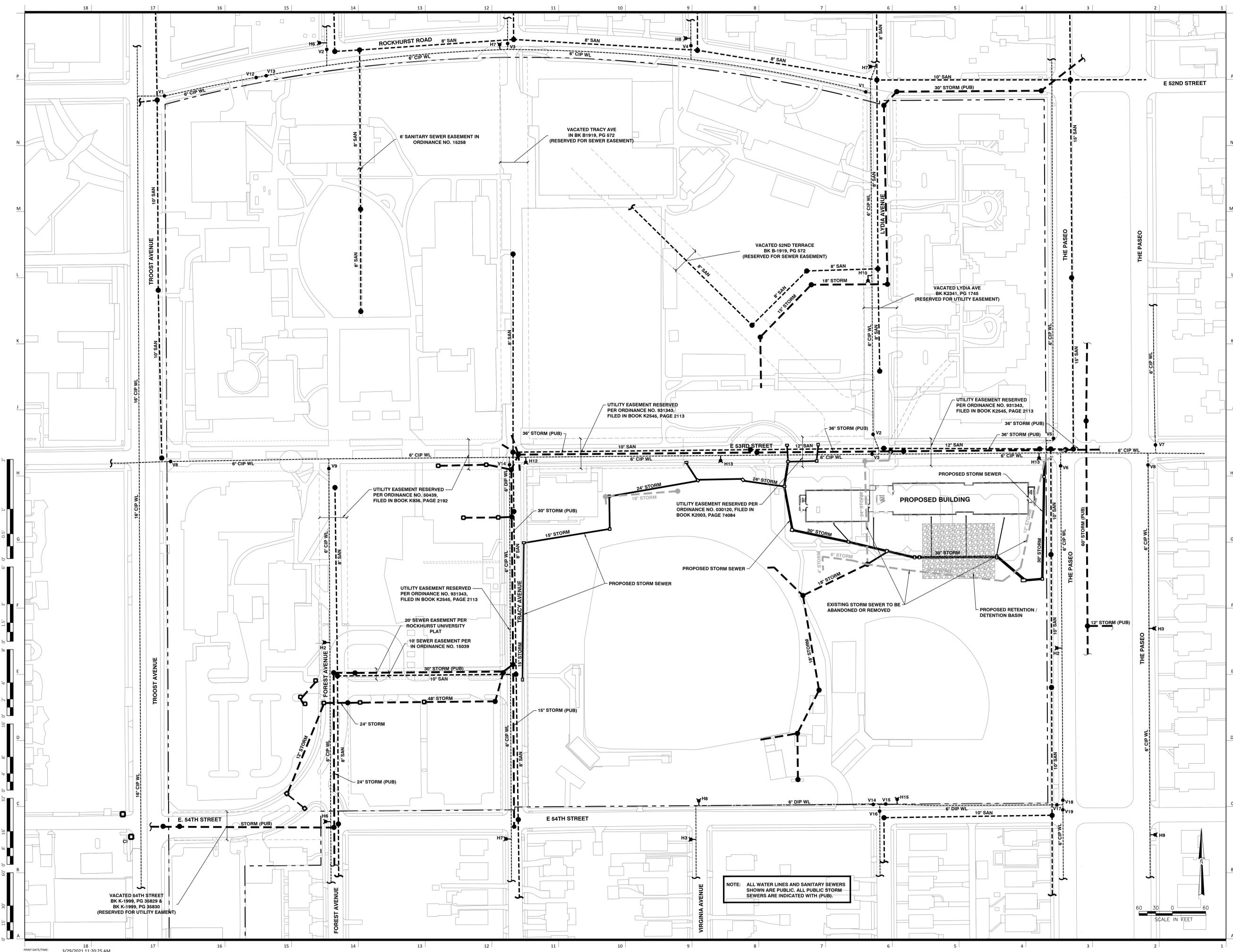
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PROJECT NO: 0221-2010  
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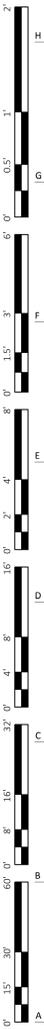
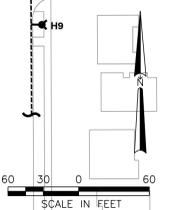
Existing and Proposed  
Utilities

**C4.00**

KCMO Planning Submittal



NOTE: ALL WATER LINES AND SANITARY SEWERS  
SHOWN ARE PUBLIC. ALL PUBLIC STORM  
SEWERS ARE INDICATED WITH (PUB).





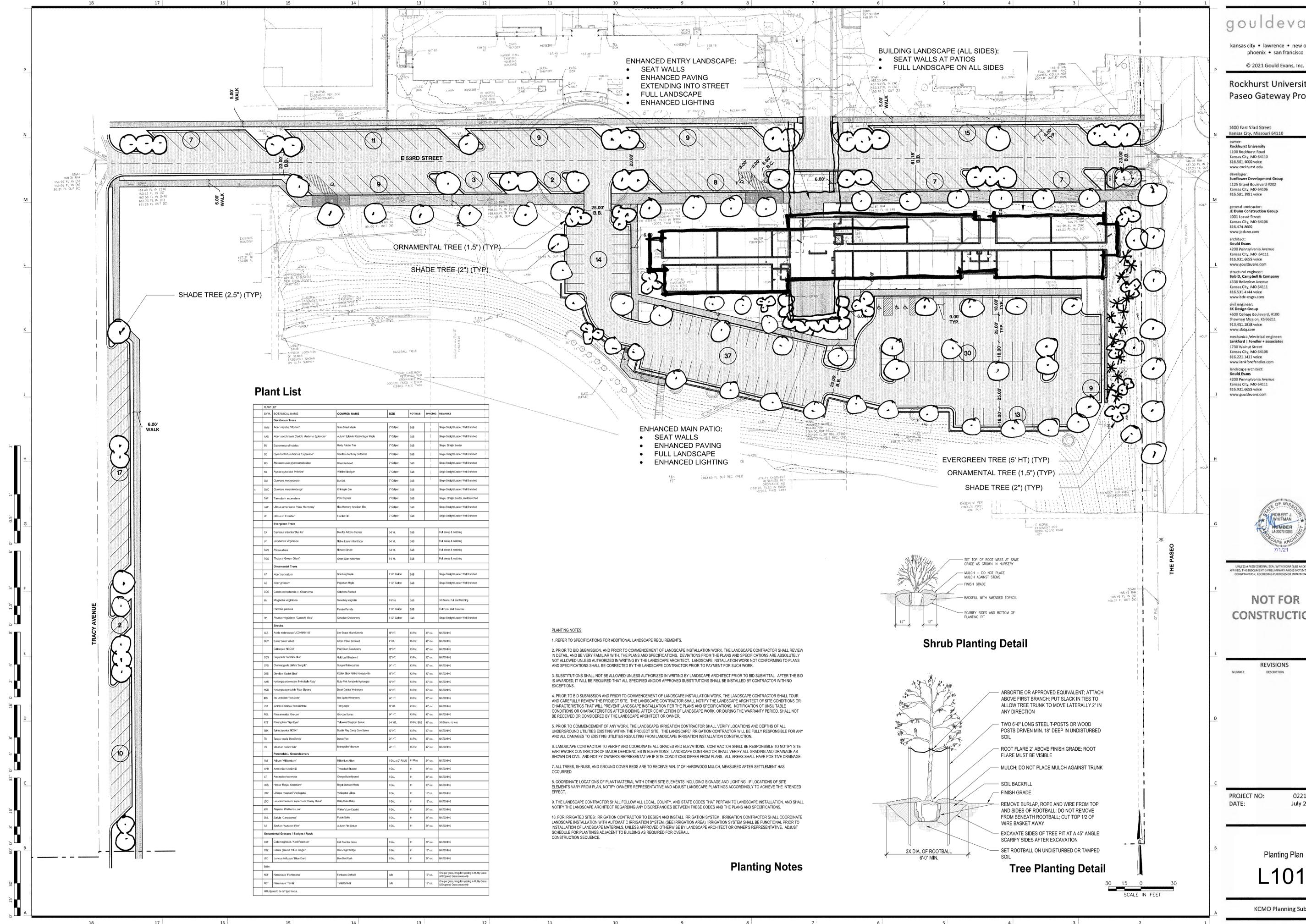
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REVISIONS		
NUMBER	DESCRIPTION	DATE

PROJECT NO: 0221-2010  
DATE: July 2, 2021

Planting Plan  
**L101**



**Plant List**

PLANT LIST	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	POT/BA	SPACING	REMARKS
<b>Deciduous Trees</b>							
AMB		Acer miquelii 'Morton'	State Street Maple	2" Caliper	8.5B		Single Straight Leader, Well Branched
AAS		Acer saccharinum 'Caddo' 'Muhlenbergii'	Autumn Splendor Caddo Sugar Maple	2" Caliper	8.5B		Single Straight Leader, Well Branched
EU		Euonymus alatus	Hardy Rubber Tree	2" Caliper	8.5B		Single, Straight Leader
GD		Gymnocladia dioica 'Elegant'	Southern Horned Locust	2" Caliper	8.5B		Single Straight Leader, Well Branched
MS		Malus domestica 'Empire'	Dawn Redwood	2" Caliper	8.5B		Single Straight Leader, Well Branched
NS		Nyssa sylvatica 'Moltisani'	Wilder's Hicory	2" Caliper	8.5B		Single Straight Leader, Well Branched
OM		Quercus macrocarpa	Bur Oak	2" Caliper	8.5B		Single Straight Leader, Well Branched
QMC		Quercus macrocarpa	Chickadee Oak	2" Caliper	8.5B		Single Straight Leader, Well Branched
TSP		Taxodium ascendens	Point Cypress	2" Caliper	8.5B		Single, Straight Leader, Well Branched
UAF		Ulmus americana 'New Harmony'	New Harmony American Elm	2" Caliper	8.5B		Single Straight Leader, Well Branched
UF		Ulmus x 'Fischeri'	Fischer Elm	2" Caliper	8.5B		Single Straight Leader, Well Branched
<b>Evergreen Trees</b>							
CA		Caryopteris albertina 'Blue Boy'	Blue Boy Arborvitae	5.4" Ht.	8.5B		F.U. done & masting
ZV		Juniperus virginiana	Noble Eastern Red Cedar	5.4" Ht.	8.5B		F.U. done & masting
FW		Flourensia	Money Spire	5.4" Ht.	8.5B		F.U. done & masting
TGS		Thuja x 'Green Glaze'	Green Glaze Arborvitae	5.4" Ht.	8.5B		F.U. done & masting
<b>Ornamental Trees</b>							
AT		Acer fraxinifolium	Shantung Maple	1 1/2" Caliper	8.5B		Single Straight Leader, Well Branched
AD		Acer glabrum	Fairport Maple	1 1/2" Caliper	8.5B		Single Straight Leader, Well Branched
ODD		Cornus canadensis v. Okanawa	Okanawa Redbud	1 1/2" Caliper	8.5B		
MI		Magnolia virginiana	Sweetbay Magnolia	7/8" Ht.	8.5B		3/8 stems, Full and healthy
PD		Parrotia persica	Parrotia Persia	1 1/2" Caliper	8.5B		F.U. done, Well Branched
PP		Prunella virginiana 'Candyflair'	Canadian Doxycary	1 1/2" Caliper	8.5B		Single Straight Leader, Well Branched
<b>Shrubs</b>							
ALS		Andromeda neriifolia 'LUCOMARIE'	Low Spine Mount Anemone	18" Ht.	43/48	30" dia.	MATCHING
BVU		Buxus 'Green Velvet'	Green Velvet Boxwood	4" Ht.	48/48	48" dia.	MATCHING
CLC		Calluna v. 'NICOZ'	Red Dawn Hebe	18" Ht.	48/48	48" dia.	MATCHING
COB		Corydalis 'Sundance Blue'	Blue Leaf Butcherbush	12" Ht.	48/48	30" dia.	MATCHING
CFB		Chamaecyparis 'Blue Spire'	Single Blue Cypress	24" Ht.	48/48	30" dia.	MATCHING
DBS		Dirca 'Huckle Blue'	Huckle Blue Hollyhock	18" Ht.	48/48	42" dia.	MATCHING
HAB		Hydrangea arborescens 'Invincible Ruby'	Ruby Pink Arborescens Hydrangea	12" Ht.	48/48	30" dia.	MATCHING
HOD		Hydrangea coccinea Ruby (dormy)	Dwarf Oakleaf Hydrangea	12" Ht.	48/48	30" dia.	MATCHING
RES		Rosa 'Archibuteo Red Spire'	Red Spire Waterbury	24" Ht.	48/48	30" dia.	MATCHING
JST		Junko sibirica v. canadensis	Tree Juniper	12" Ht.	48/48	48" dia.	MATCHING
RLS		Rosa 'Sundance Blue'	Orange Sunset	24" Ht.	48/48	42" dia.	MATCHING
HTT		Hydrangea 'Tiger Eye'	Velvet Stippled Hydrangea	34" Ht.	48/48	48" dia.	3/8 stems, no loss
SLC		Salix 'Sundance Blue'	Double Play Candy Gum Salix	12" Ht.	48/48	30" dia.	MATCHING
TSV		Taxus v. canadensis	Canada Spruce	24" Ht.	48/48	30" dia.	MATCHING
WH		Witchamander 'Blue'	Witchamander Hydrangea	24" Ht.	48/48	42" dia.	MATCHING
<b>Perennials / Groundcovers</b>							
AB		Abutilon 'Yellow'	Yellow Abutilon	1 GAL w/ 2" PIPES	48/48	30" dia.	MATCHING
ABP		Asplenium nidus	Thatched Asplenium	1 GAL	#1	24" dia.	MATCHING
AT		Asplenium nidus	Orange Asplenium	1 GAL	#1	24" dia.	MATCHING
HRS		Hemerocallis 'Royal Standard'	Royal Standard Hemerocallis	1 GAL	#1	30" dia.	MATCHING
LW		Liriodendron 'Viregata'	Viregated Liriodendron	1 GAL	#1	12" dia.	MATCHING
LDD		Leucodermis superba 'Daisy Daisy'	Daisy Daisy Daylily	1 GAL	#1	12" dia.	MATCHING
NY		Nyssa 'Walker's Low'	Walker's Low Nyssa	1 GAL	#1	24" dia.	MATCHING
SL		Salix 'Carolinensis'	Carolinensis Salix	1 GAL	#1	24" dia.	MATCHING
AL		Alumina 'Autumn Fire'	Autumn Fire Alumina	1 GAL	#1	24" dia.	MATCHING
<b>Ornamental Grasses / Hedger / Bush</b>							
COF		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 GAL	#1	24" dia.	MATCHING
COZ		Carex glauca 'Blue Zinger'	Blue Zinger Sedge	1 GAL	#1	12" dia.	MATCHING
JED		Juniperus 'Blue Dwarf'	Blue Dwarf Juniper	1 GAL	#1	24" dia.	MATCHING
<b>Shrub</b>							
NDF		Nandina 'Fortunata'	Fortunata Nandina	sub		12" dia.	One per group, single leader in 1 1/2" x 1 1/2" x 1 1/2" Green & Drained Green area only
NDT		Nandina 'Tall'	Tall Nandina	sub		12" dia.	One per group, single leader in 1 1/2" x 1 1/2" x 1 1/2" Green & Drained Green area only
<b>Sub</b>							

**ENHANCED MAIN PATIO:**

- SEAT WALLS
- ENHANCED PAVING
- FULL LANDSCAPE
- ENHANCED LIGHTING

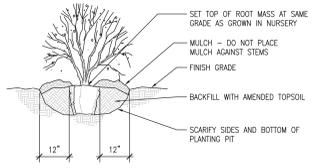
**BUILDING LANDSCAPE (ALL SIDES):**

- SEAT WALLS AT PATIOS
- FULL LANDSCAPE ON ALL SIDES

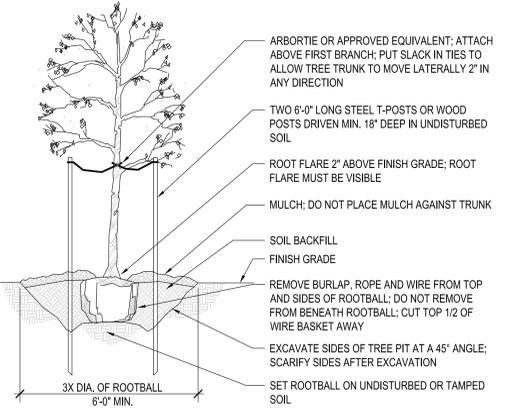
**ENHANCED ENTRY LANDSCAPE:**

- SEAT WALLS
- ENHANCED PAVING
- EXTENDING INTO STREET
- FULL LANDSCAPE
- ENHANCED LIGHTING

**EVERGREEN TREE (5' HT) (TYP)**  
**ORNAMENTAL TREE (1.5") (TYP)**  
**SHADE TREE (2") (TYP)**



**Shrub Planting Detail**

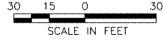


**Tree Planting Detail**

**PLANTING NOTES:**

- REFER TO SPECIFICATIONS FOR ADDITIONAL LANDSCAPE REQUIREMENTS.
- PRIOR TO BID SUBMISSION, AND PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION WORK, THE LANDSCAPE CONTRACTOR SHALL REVIEW IN DETAIL AND BE VERY FAMILIAR WITH THE PLANS AND SPECIFICATIONS. DEVIATIONS FROM THE PLANS AND SPECIFICATIONS ARE ABSOLUTELY NOT ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. LANDSCAPE INSTALLATION WORK NOT CONFORMING TO PLANS AND SPECIFICATIONS SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR PRIOR TO PAYMENT FOR SUCH WORK.
- SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL. AFTER THE BID IS AWARDED, IT WILL BE REQUIRED THAT ALL SPECIFIED AND/OR APPROVED SUBSTITUTIONS SHALL BE INSTALLED BY CONTRACTOR WITH NO EXCEPTIONS.
- PRIOR TO BID SUBMISSION AND PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION WORK, THE LANDSCAPE CONTRACTOR SHALL TOUR AND CAREFULLY REVIEW THE PROJECT SITE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS OR CHARACTERISTICS THAT WILL PREVENT LANDSCAPE INSTALLATION PER THE PLANS AND SPECIFICATIONS. NOTIFICATION OF UNSUITABLE CONDITIONS OR CHARACTERISTICS AFTER BIDDING, AFTER COMPLETION OF LANDSCAPE WORK, OR DURING THE WARRANTY PERIOD, SHALL NOT BE RECEIVED OR CONSIDERED BY THE LANDSCAPE ARCHITECT OR OWNER.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE LANDSCAPE/IRRIGATION CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND AND UTILITIES EXISTING WITHIN THE PROJECT SITE. THE LANDSCAPE/IRRIGATION CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES RESULTING FROM LANDSCAPE/IRRIGATION INSTALLATION CONSTRUCTION.
- LANDSCAPE CONTRACTOR TO VERIFY AND COORDINATE ALL GRADES AND ELEVATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY SITE EARTHWORK CONTRACTOR OF MAJOR DEFICIENCIES IN ELEVATIONS. LANDSCAPE CONTRACTOR SHALL VERIFY ALL GRADING AND DRAINAGE AS SHOWN ON CIVIL, AND NOTIFY OWNER'S REPRESENTATIVE IF SITE CONDITIONS DIFFER FROM PLANS. ALL AREAS SHALL HAVE POSITIVE DRAINAGE.
- ALL TREES, SHRUBS, AND GROUND COVER BEDS ARE TO RECEIVE MIN. 3" OF HARDWOOD MULCH, MEASURED AFTER SETTLEMENT HAS OCCURRED.
- COORDINATE LOCATIONS OF PLANT MATERIAL WITH OTHER SITE ELEMENTS INCLUDING SIGNAGE AND LIGHTING. IF LOCATIONS OF SITE ELEMENTS VARY FROM PLAN, NOTIFY OWNER'S REPRESENTATIVE AND ADJUST LANDSCAPE PLANTINGS ACCORDINGLY TO ACHIEVE THE INTENDED EFFECT.
- THE LANDSCAPE CONTRACTOR SHALL FOLLOW ALL LOCAL, COUNTY, AND STATE CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT REGARDING ANY DISCREPANCIES BETWEEN THESE CODES AND THE PLANS AND SPECIFICATIONS.
- FOR IRRIGATED SITES, IRRIGATION CONTRACTOR TO DESIGN AND INSTALL IRRIGATION SYSTEM. IRRIGATION CONTRACTOR SHALL COORDINATE LANDSCAPE INSTALLATION WITH AUTOMATIC IRRIGATION SYSTEM. (SEE IRRIGATION AREA) IRRIGATION SYSTEM SHALL BE FUNCTIONAL PRIOR TO INSTALLATION OF LANDSCAPE MATERIALS, UNLESS APPROVED OTHERWISE BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ADJUST SCHEDULE FOR PLANTINGS ADJACENT TO BUILDING AS REQUIRED FOR OVERALL CONSTRUCTION SEQUENCE.

**Planting Notes**



LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	LAMPS	WATTS VOLTS	DIMMING PROTOCOL	DESCRIPTION	NOTES
BL1	ERCO CASTOR	LED 92CRI	TBD TBD	10% 0-10V	~36" TALL X ~7" DIAMETER CAST ALUMINUM BOLLARD LIGHT, INTEGRAL DRIVER, CONCEALED LED BOARD AND OPTIC.	
FL1	BK LIGHTING MICRO NITE STAR	LED 80CRI	TBD TBD	10% 0-10V	~3.5' LONG X ~1.75' DIAMETER FLOODLIGHT, INTEGRAL DRIVER, PROVIDE WITH 45 DEGREE SNOOT.	
SL1	RAB LOTBLASTER	LED 72CRI 12,000 LUMENS	110 TBD	10% 0-10V	POLE-MOUNTED AREA LIGHT WITH DIE-CAST ALUMINUM HOUSING, INTEGRAL DRIVER, PROVIDE WITH HINGED POLE. MOUNT LUMINAIRE AT 25FT ABOVE FINISHED GRADE. PROVIDE POLE LENGTH TO ACCOMMODATE MOUNTING HEIGHT AND POLE BASE HEIGHT. TYPE IV DISTRIBUTION.	
SL1-2	RAB LOTBLASTER	LED 72CRI 12,000 LUMENS	110 TBD	10% 0-10V	POLE-MOUNTED AREA LIGHT WITH DIE-CAST ALUMINUM HOUSING, INTEGRAL DRIVER, DUAL-HEAD CONFIGURATION, PROVIDE WITH HINGED POLE. MOUNT LUMINAIRE AT 25FT ABOVE FINISHED GRADE. PROVIDE POLE LENGTH TO ACCOMMODATE MOUNTING HEIGHT AND POLE BASE HEIGHT. TYPE IV DISTRIBUTION.	
SL2	RAB IVELOT	LED 72CRI	TBD TBD	10% 0-10V	POLE-MOUNTED PEDESTRIAN LIGHT WITH DIE-CAST ALUMINUM HOUSING, INTEGRAL DRIVER, PROVIDE WITH HINGED POLE. MOUNT LUMINAIRE AT 12FT ABOVE FINISHED GRADE. PROVIDE POLE LENGTH TO ACCOMMODATE MOUNTING HEIGHT AND POLE BASE HEIGHT.	
WP1	BK LIGHTING CATSKILL LED	LED 80CRI	TBD 120	5% ELV	3' DIAMETER WALL-MOUNTED CYLINDER LIGHT, INTEGRAL DRIVER, DOWNLIGHT ONLY.	
WP2	LITHONIA WSTLED	LED 70CRI	TBD TBD	10% 0-10V	TRAPEZOIDAL WALL LIGHT WITH INTEGRAL DRIVER, INTEGRAL COLD-WEATHER RATED BATTERY BACKUP.	

SPECIFIC NOTES:

1.

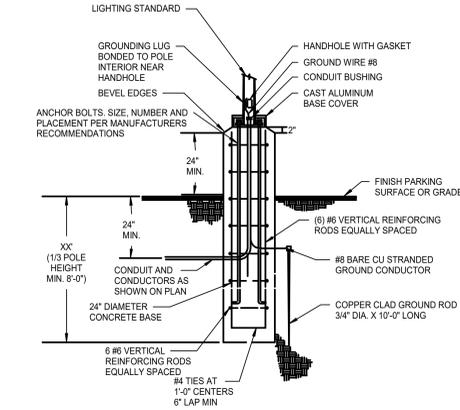
SUBSTITUTION NOTES:

THE LIGHTING DESIGN FOR THIS PROJECT IS BASED UPON THE MANUFACTURERS SPECIFIED. IF AN ADDITIONAL SUBSTITUTION IS DESIRED BY THE CONTRACTOR, A SUBSTITUTION REQUEST SUBMITTAL MUST BE PROVIDED AS FOLLOWS:

- S1. SUBSTITUTION REQUEST MUST BE RECEIVED BY THE ENGINEER IN WRITING 10 DAYS PRIOR TO BID. FAILURE TO SUBMIT CONSTITUTES A GUARANTEE TO SUPPLY THE SPECIFIED FIXTURES.
- S2. INFORMATION IS TO BE SUPPLIED COMPARING PHOTOMETRY, (WITH FLOOR PLANS INDICATING POINT BY POINT CALCULATIONS) DIMENSIONS, MATERIAL COMPOSITION, FINISH, VISUAL APPEARANCE AS WELL AS THE "CONTRACTOR NET" PRICING. SAMPLES ARE TO BE PROVIDED UPON REQUEST.
- S3. GREAT CARE, TIME AND EXPENSE HAVE BEEN USED TO PROVIDE OUR CLIENT WITH THE LIGHTING AND CONTROLS SYSTEM. THEREFORE, FOR EACH AND EVERY TYPE OF FIXTURE OFFERED AS AN UNSOLICITED ALTERNATE, A \$500.00 FEE WILL BE CHARGED TO THE CONTRACTOR FOR REVIEW OF THE ALTERNATE FIXTURE. THIS CHARGE IS IN NO WAY A GUARANTEE OF APPROVAL, BUT IS SOLELY TO COMPENSATE THE ENGINEER FOR TIME SPENT VALIDATING EQUALITY AND COMPATIBILITY WITH THE PROJECT REQUIREMENTS. THIS REIMBURSEMENT MUST BE RECEIVED BY THE ENGINEER PRIOR TO ANY REVIEW COMMENCING.
- S4. PACKAGING OF LIGHT FIXTURES WILL NOT BE CONSIDERED OR APPROVED.
- S5. MANUFACTURER'S REPRESENTATIVE AGENTS SHALL BE ALLOWED TO OFFER MINI-LOT PRICING FOR SPECIFIED LIGHTING FIXTURES.
- S6. LIGHTING CONTROLS PRICING SHALL BE COMPLETELY SEPARATE OF ANY LIGHT FIXTURE PRICING. ANY LIGHTING CONTROLS PRICING THAT IS SUBMITTED WITH LIGHT FIXTURE PRICING (UNIT OR MINI-LOT) WILL BE IMMEDIATELY REJECTED IN ITS ENTIRETY.

GENERAL NOTE:

- G1. ELECTRICAL CONTRACTOR SHALL VERIFY CEILING TYPE PRIOR TO ORDERING ANY LIGHT FIXTURES.
- G2. ELECTRICAL CONTRACTOR SHALL COORDINATE DIMMING DRIVERS/BALLASTS WITH DIMMING SWITCHES/SYSTEMS AND SHALL INCLUDE ALL REQUIRED CONTROL WIRING.

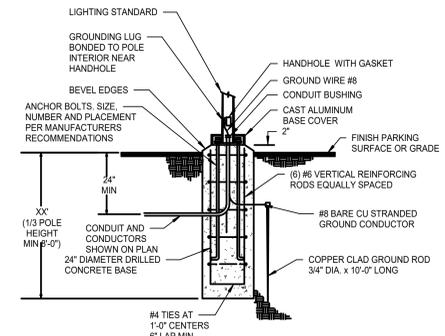


\*POLE BASE SHALL BE CALCULATED USING THE FOLLOWING CRITERIA:

WIND LOADING  
80MPH (104 GUST)

TOTAL EPA OF LUMINAIRES  
+ TOTAL EPA OF BRACKETS  
= TOTAL EPA OF LUMINAIRES/BRACKETS

LIGHTING POLE BASE DETAIL  
NOT TO SCALE



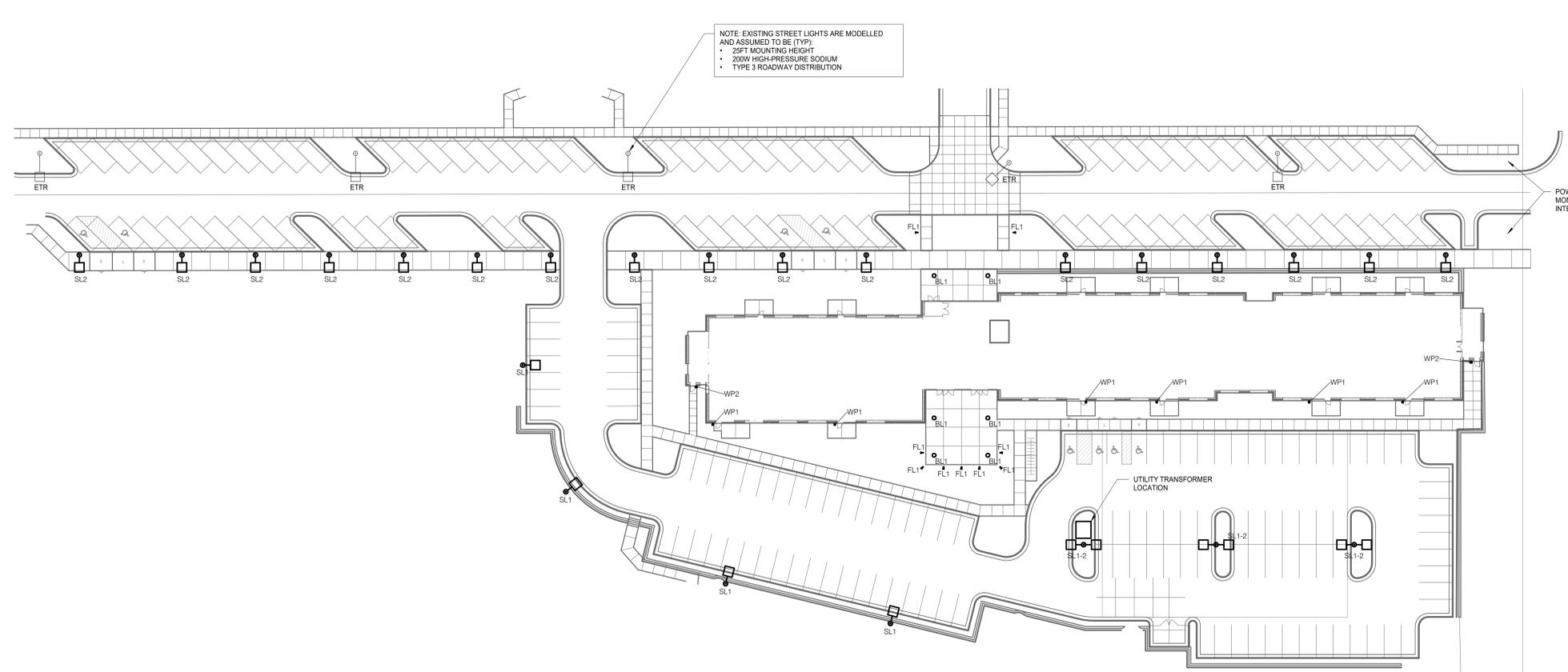
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WIND LOADING  
80MPH (104 GUST)

TOTAL EPA OF LUMINAIRES  
+ TOTAL EPA OF BRACKETS  
= TOTAL EPA OF LUMINAIRES/BRACKETS

LIGHTING POLE BASE DETAIL  
NOT TO SCALE

SELECT POLE BASED ON MAXIMUM EPA LISTED IN MANUFACTURERS CATALOG. IN ANY CASE MIN. POLE BASE DEPTH SHALL BE 81" FINAL DEPTH OF POLE BASE SHALL BE VERIFIED WITH STRUCTURAL ENGINEER PRIOR TO PLACEMENT.



SITE PLAN - ELECTRICAL  
SCALE: 1" = 30'-0"

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REVISIONS

NUMBER	DESCRIPTION	DATE

PROJECT NO: 0221-2010  
DATE: July 2, 2021

SITE PLAN - ELECTRICAL

E001

**Rockhurst University  
Paseo Gateway Project**

1400 East 53rd Street  
Kansas City, Missouri 64110

owner:  
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www.gould-evans.com

PHOTOMETRIC SUMMARY					
AREA	AVERAGE (FC)	MAXIMUM (FC)	MINIMUM (FC)	AVERAGE TO MINIMUM	MAXIMUM TO MINIMUM
PARKING LOT	1.69	4.10	0.50	3.38	8.20
53RD ST PARKING	1.00	4.10	0.00	N/A	N/A
PROPERTY LINE	N/A	0.20	0.00	N/A	N/A

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

**NOT FOR  
CONSTRUCTION**

**REVISIONS**

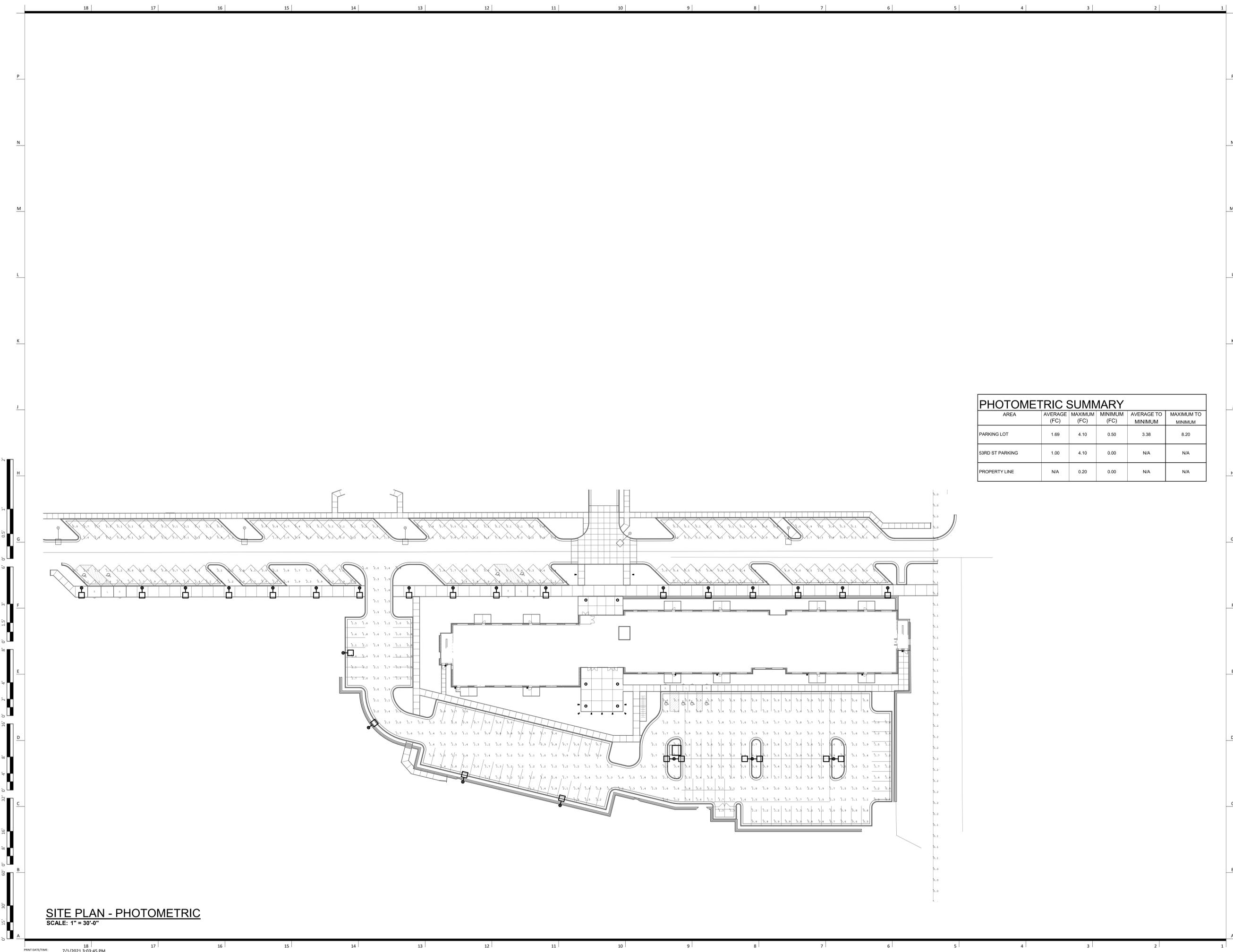
NUMBER	DESCRIPTION	DATE

PROJECT NO: 0221-2010  
DATE: July 2, 2021

**SITE PLAN -  
PHOTOMETRICS**

**E002**

KCMO Planning Submittal



**SITE PLAN - PHOTOMETRIC**  
SCALE: 1" = 30'-0"

